



Planning Board – July 24, 2017, 6:30PM
City Hall Council Chambers – 3 Washington Street, 2nd floor

AGENDA

- I. **Call to order** – roll call
- II. **Minutes of previous meeting** – June 22, 2017
- III. **Public Hearing**
 1. **S-04-17 – 62 Nims Road – Subdivision** – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf of owners John & Frances Bolles, proposes to subdivide property located 62 Nims Road into three lots. A waiver is requested from Section III.B.6 Hillside Protection of the Planning Board Site Plan and Subdivision Regulations. The existing site is 19.48 acres in size and located in the Rural Zoning District (TMP# 903-19-015).
 2. **S-03-17 – 72 Old Walpole Road – Subdivision** – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf owner, Rick Willson proposes to subdivide property located 72 Old Walpole Road. The site is 1.03 acres in size and located in the Low Density Zoning District (TMP# 152-04-003).
 3. **SPR-08-17 – Water & Grove Streets – Site Plan** – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf owner Jeanette Wright proposes a commercial parking lot. The site is 4,635 SF in size and located in the High Density Zoning District (TMP# 028-03-011).
 4. **SPR-578, Mod. 1 – 219 West Street – Mobil Gas Station – Site Plan** – Applicant/Owner Summit Distributing, LLC proposes re-development of a gas station/convenience store/canopy/underground fuel storage and shifting of Ashuelot Street driveway. The site is 18,240 sf in size and located in the Commerce Zoning District (TMP# 098-02-014).
- VI. **New Business**
- VII. **Director Reports**

Transition to Electronic Devices
- VII. **Upcoming Dates of Interest – August 2017**

Planning Board Meeting – August 28, 6:30 PM
Planning Board Steering Committee – August 15, 12:00 PM
Joint PB/PLD Committee – August 14, 6:30 PM
Planning Board Site Visits – August 23, 8:00 AM – To Be Confirmed

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**CITY OF KEENE
NEW HAMPSHIRE**

**PLANNING BOARD
MEETING MINUTES**

Monday, June 26, 2017

6:30 PM

Council Chambers

Members Present

Gary Spykman, Chairman
Douglas Barrett, Vice-Chair Spykman
Mayor Kendall Lane
Andrew Bohannon
George Hansel
Pamela Russell Slack
Chris Cusack

Staff:

Tara Kessler, Planner
Michelle Chalice, Planner

Members Not Present:

Nathaniel Stout
Martha Landry
Tammy Adams, Alternate
David Webb, Alternate

I. Call to order – Roll Call

Chair Spykman called the meeting to order at 6:30 PM and a roll call was taken.

II. Minutes of previous meeting – May 22, 2017

A motion was made by George Hansel to accept the May 22, 2017 minutes. The motion was seconded by Pamela Russell Slack and was unanimously approved.

III. Driveway

1. **Archway Farms – 183 Arch Street – Driveway** – Property owner Mark Florenz, owner of Archway Farms seeks to add a second driveway to the property. The existing driveway serves the residence. An additional driveway is proposed to accommodate the truck deliveries needed for the family’s farm business. The 56-acre property is in the Agricultural Zoning District (TMP# 917-11-028).

Chair Spykman noted this is not a public hearing although the Board does accommodate public comment.

Mr. Mark Florenz, Applicant, stated this property contains two parcels, 80 acres in size. It is a historic property that has not been actively farmed in many years. They are starting a farm business, which will be mostly wholesale. He noted the existing driveway is not adequate as it is too sharp and too close to the house. He talked about a cement truck that punctured its tire because it could not make the turn and hit the stonewall. Mr. Florenz stated this driveway is very picturesque and he hates to block it off. He stated he would like to keep the existing driveway and use it just for the personal residence. He stated there is not much traffic that comes into the property because they are mostly a wholesale business. He stated this is a property, which is zoned agricultural, and felt it might be a good area for commercial activity.

Planner Michel Chalice addressed the Board next. Ms. Chalice stated this is a circumstance where a local business is trying to support the community. The Applicant has met all the requirements for a second driveway, and staff has no concerns. Engineering staff has also reviewed the application and recommends approval, but indicates the requirement of a culvert. Staff had no additional comments.

Councilor Hansel clarified there was sufficient sight distance on both sides. Ms. Chalice stated there was adequate sight distance on both sides.

Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve an application and exception for a second residential driveway on the west side of Arch Street (TMP917-11-028) subject to the following conditions:

1. The applicant will procure all necessary permits and approvals prior to commencing construction.

The motion was seconded by Pamela Russell Slack and was unanimously approved.

IV. Public Hearing

1. S-02-17 – 533 Winchester Street – Subdivision – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf of owner SNG, LLC, proposes to subdivide the existing 2.88 acre parcel at 533 Winchester Street into two lots. The site is located in the Low Density Zoning District (TMP# 911-26-040).

A. Board Determination of Completeness.

Planner Tara Kessler stated the applicant requests exemption from providing the following technical reports: grading, landscaping, and traffic plan. Since this application is not associated with any new development, staff feels it would have no merits on the application. Staff recommended the Board accept the application for S-02-17 as complete. A motion was made by George Hansel that the Board accept this application as complete. The motion was seconded by Pamela Russell Slack and was unanimously approved.

B. Public Hearing

Ms. Wendy Pelletier addressed the Board on behalf of the applicant. Ms. Pelletier referred to the long and skinny 2.88 acre lot. There are currently two dwellings on this lot and the applicant is proposing to divide the lot into two parcels. The existing house would be located on one parcel and the existing cottage on the other. Currently the existing parcel is served by one driveway and the proposal is to close off that driveway and move to a shared driveway, which would be provide direct access to the cottage and house.

Both dwellings are accessed by city water and sewer.

Dr. Cusack asked for clarification as to what exactly is going to happen with the existing driveway. Ms. Pelletier stated the existing driveway will be closed off and relocated to the south.

Staff comments were next. Ms. Kessler addressed the Board. She noted that most of the Board's development standards are not applicable for this request since there is no new development being proposed at this time. Ms. Kessler stated they did receive communication from an abutting property owner regarding drainage concerns and referred to photos with respect to this issue.

Ms. Kessler stated staff did visit the site and noticed the existing drainage pattern is such that the storm water flows from the adjacent property to the south over the site and pools in a lower area. At times the water might pool onto adjacent properties to the north. In an attempt to address any future drainage concerns, staff recommend the Board consider a condition of approval that would require the owner or future owners to have a drainage report be prepared by a licensed engineer and approved by the City Engineer before the issuance of a building permit for any future development on the sites.

Mr. Bohannon asked what assurance the City has that the first driveway would be actually discontinued because it does have a curb cut. Mr. Kessler stated according to City Code they would not be permitted to have two curb cuts without Planning Board approval. The Applicant will need to apply for an excavation permit when they relocate the second driveway, at which time the applicant would need to show the first driveway has been or will be closed off.

Chair Spykman asked whether there was any evidence that the drainage issue was exasperated by the clearing of the land. Ms. Kessler stated it is staff's understanding from communication with abutters that the drainage issue was a pre-existing condition, prior to the clearing of the land and it is continuing to be an issue. Chair Spykman asked whether the proposed language has been reviewed by the City Attorney. Ms. Kessler stated that the language is nearly identical to that used previously for a subdivision on Elm Street. This language had been developed and reviewed by the City Attorney for the Board to consider in its review and approval of the Elm Street subdivision.

Chair Spykman asked for public comment next.

Ms. Amanda Henderson 16 Bergeron Avenue stated the pictures the Board has are ones taken from her property. Ms. Henderson agreed there have always been issues with water but the clearing has increased this problem and the drainage goes further down than it used to. She indicated the concern is the water table, pooling of the water and mosquito issues. She felt these issues need to be addressed before anything more is done on the property.

Ms. Patricia Dion of 10 Bergeron Avenue stated she was confused as to what exactly is being subdivided. Ms. Pelletier stated there would a ¼ acre around the house and the remaining 2.6 acres will go with the cottage (cottage and house will be on separate lots).

Ms. Dion asked whether this means the driveway, road etc. will all be approved today. Ms. Kessler stated what the applicant is requesting today is a subdivision and what the Board would be doing today is approving the discontinuance of the existing driveway and its relocation to the south.

With no further comments, the Chair closed the public hearing.

C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve S-02-17, as shown on the plan identified as "Subdivision Plan, 917-26-040-0000 533 Winchester Street Keene, NH 03431" prepared by Wendy S. Pelletier, dated May 17, 2017 at varying scales with the following conditions:

1. Owner's signature appears on plan prior to signing by Planning Board Chair.
2. A conditional note be added to the plan that reads as follows: "The Owner and the owner's heirs, successors, and assigns agree that any future development of the 2.6 acre lot be in a manner consistent with the Planning Board Development Standards 1 (A) and 1 (D) in that all drainage systems shall be designed to void changing surface water and groundwater levels on adjacent properties, unless specifically approved by the City Engineer and unless agree to by mutual agreement of the affected property owner(s) through appropriate easement or other covenant intent to run with the affected lands. Prior to the issuance of a building permit, the owner shall submit a drainage report prepared and sealed by a professional engineer and reviewed by the City Engineer that demonstrates compliance with these standards.

The motion was seconded by George Hansel.

2. **SPR-895, Mod. 1 – 30-42 Production Avenue – Site Plan** – Applicant Jim Phippard of Brickstone Land Use Consultants, LLC, on behalf of owner A. Ranger Curran Jr., proposes to build a 3,200 sf addition for warehouse space at the rear of the existing 30,000 sf building. The site is 3.08 acres in size and located in the Industrial Zoning District (TMP# 702-01-010).

A. Board Determination of Completeness.

Ms. Kessler stated the applicant requested exemption for providing a landscape plan. Due to the nature of the application, staff feels this will have no bearing on the merits of this application. Ms. Kessler recommended to the Board that they accept the application for SPR-895 as complete. A motion was made

by George Hansel that the Board accept this application as complete. The motion was seconded by Pamela Russell Slack and was unanimously approved.

B. Public Hearing

Mr. David Bergeron of Brickstone Land Use Consultants addressed the Board and stated this property is located on Production Avenue. The rear of the building has a large gravel area as well as loading docks. The building has separate tenants and one of those tenants would like to add on warehouse space to their property to the rear. Mr. Bergeron showed how vehicles would enter and exit the property. There will be a dumpster located to the back of the building, which will not be visible.

Mr. Bergeron went on to say that there is no additional lighting being proposed for this site except for some security lighting. He added this addition is for extra warehouse space. Offices will be located to the front of the site. The addition will mimic the design and appearance of the existing building, which is painted concrete blocks.

Staff comment was next. Ms. Kessler stated because this addition is located to the rear of the site it will not be visible from Production Avenue. Some of the Board's standards like screening and landscaping are not applicable to this application. She indicated the applicant did request a waiver from the lighting standard's uniformity ratio requirement. Since the parking lot lighting is not being changed and only a few new wall-mounted fixtures are being added, a waiver would not be necessary. The lighting being proposed meets the Board's standards.

With respect to Comprehensive Access Management, Ms. Kessler noted that at last month's meeting, the Board approved the temporary CNG facility at the end of Production Avenue for Liberty Utilities. The owners of that parcel will have an easement on this property for tractor trailer trucks to turn in and out of the southern entrance. Staff does not see a conflict with this applicant's proposal.

There are wetlands and a tax ditch on this parcel (east of the parcel). The existing hard pack gravel area is within the surface water protection buffer but the applicant is not proposing to do any work within this buffer and hence this meets the standard. Staff did raise concern about the increase in paved areas and the potential impact it might have on the adjacent wetland complex. However, the applicant's drainage report shows there won't be any increase of stormwater runoff as a result of this addition. The report notes that the existing hard pack surface has the same drainage co-efficient as the proposed addition and pavement. This concluded staff's comments.

There was no public present for comment.

C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve SPR-895, Modification #1 as shown on the plan set entitled "Building Addition for Autoparts International 32 Production Avenue Keene New Hampshire 03431 prepared by Brickstone Land Use Consultants LLC, on May 19, 2017 and last revised on June 9, 2017 at a scale of 1" = 20'; with the following conditions:

1. Prior to signature by Planning Board Chair, Owner's signature on plan.

The motion was seconded by George Hansel and was unanimously approved.

- 3. SPR-07-17 – 143 West Street – Site Plan** – Applicant David Bergeron of Brickstone Land Use Consultants, LLC, on behalf 143 West Street, LLC proposes to build a 2-story addition with a 1,520 sf footprint to the rear of the building. The site is 0.40± acres in size and located in the Office Zoning District (TMP# 002-02-012). 38

A. Board Determination of Completeness

Ms. Chalice stated the applicant has requested exemptions for items not present on the site and recommended to the Board that the application SPR-07-17 be accepted as complete. A motion was made

by George Hansel that the Board accept this application as complete. The motion was seconded by Pamela Russell Slack and was unanimously approved.

B. Public Hearing

Mr. David Bergeron addressed the Board and stated this property is located on West Street across from Peoples Bank (corner of West and Colorado Streets). The owner of this property has a law office at this location and would now like to add a residence to the rear so he could live here.

This would be a two-story addition. The first floor would be for storage space, mechanical space and for a two bay garage. The parking will be reconfigured to add more parking to accommodate the needs of the residence, and the circular driveway will be closed off. The Applicant received a variance to allow for 12 parking spaces when 16 parking spaces are required. The Applicant also received approval from the Zoning Board to permit mixed use on this property, which is not allowed in the Office District.

Mr. Bergeron referred to where the handicap spaces and the ADA ramp is located. The ramp is now going to be placed inside the building to access the porch. It will still meet the requirement for slope and access. The ADA ramp is just to serve the office.

Mr. Bergeron referred to where the water and sewer lines would come in from Colorado Street to strictly service the residence.

Mr. Bergeron noted that by reconfiguring the parking lot, there is a small increase in lot coverage (600 square feet). To accommodate this increase, an infiltration strip is being added to the rear of the site for roof runoff. There will also be an infiltration catch basin installed in the parking lot with a perforated pipe with stone attached to it.

Some of the landscaping is going to be replaced and new landscaping will be installed to the rear of the site. The two large trees will be preserved. Landscaping will be added to screen the parking lot.

Two lights are being added to meet the standard. The original plan was to reduce the light levels to 50%. However, per staff advice the light will be turned off at night.

Mr. Bergeron referred to a rendering of what the addition would look like. The building would be of a type of composite material used commonly for trim and siding. Mr. Bergeron stated there is going to be a bike rack installed but it will be located on the covered porch.

Chair Spykman referred to the lower elevation facing the abutter and felt this seemed like a large blank wall. Mr. Bergeron stated there is landscaping along this façade. The Chair stated as long as there was some landscaping to break up the wall he was satisfied.

Staff comments were next. Ms. Chalice stated this application supports the smart growth principles of the City, specifically, the ability to create a live work situation. Ms. Chalice talked about the drywell being created in the center of the parking lot and hoped more could be seen in the city as this isolates the infiltration in the center of the lot through a perforated pipe.

Ms. Chalice further noted this application reduces the number of curb cuts on Colorado Street from two down to one. She stated staff also appreciates the accommodation with lighting. Ms. Chalice noted the addition does reflect traditional architectural aspects like a gable roof as well as the faux garage door. The applicant did not have a landscaping requirement but they chose to do so anyway.

There was no public comment so the Chairman closed the public hearing.

C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve SPR-07-17 as shown on the plan set entitled “Proposed Addition for Single Family Residency” prepared by Brickstone Land Use Consultants, LLC, dated May 19, 2017, at a scale of 1” = 20’; with the following conditions:

1. Prior to signature by Planning Board Chair, Owner’s signature on plan.
2. Prior to signature, submittal security for landscaping, site stabilization and an “as-built” plan in a form and amount acceptable to the Planning Director and City Engineer.

The motion was seconded by Pamela Russell Slack and was unanimously approved.

V. New Business

Dr. Cusack stated the City’s new website is a great step up and complemented the staff who worked on this project.

VI. Director Reports
Board Survey

Ms. Kessler stated this is an initiative of the City Manager and all Boards and Commissions of the City are being requested to complete this survey. The Manager is asking that the survey be completed by mid-July. She asked that Board members submit their completed surveys to the Planning Department or to the Clerk’s Office at City Hall.

Transition to Electronic Devices

Ms. Chalice stated in an effort to save on paper, the City is transitioning to digital material and to that end all Board members would be provided with a Chrome Books. There will be trial run in July where there will be Chrome Books and paper brought in. Councilor Hansel who has had some experience in using this at Council level but felt writing down comments was a little difficult.

VII. Upcoming Dates of Interest – July 2017

Planning Board Meeting – July 24, 6:30 PM

Planning Board Steering Committee – July 11, 12:00 PM

Joint PB/PLD Committee – July 10, 6:30 PM

Planning Board Site Visits – July 19, 8:00 AM – To Be Confirmed

The meeting adjourned at 7:35 pm.

Respectfully submitted,

Krishni Pahl
Minute Taker

Reviewed by: Tara Kessler, Planner

STAFF REPORT

S-04-17 – 62 NIMS ROAD SUBDIVISION

Request:

Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf of owners John & Frances Bolles, proposes to subdivide property located 62 Nims Road into three lots. A waiver is requested from Section III.B.6 Hillside Protection of the Planning Board Site Plan and Subdivision Regulations. The existing site is 19.48 acres in size and located in the Rural Zoning District (TMP# 903-19-015).

Background:

The Applicant proposes to subdivide the lot at 62 Nims Road into three residential building lots. The existing 19.48-acre parcel is currently located on the east side of Nims Road, and slopes east towards Otter Brook Dam. There is an existing residential structure located on the property as well as multiple out buildings.

The proposed subdivision would create a 6.73-acre lot where the existing dwelling is located. To the south of this lot would be a new 7.21-acre lot. This lot would contain an existing shed and barn. To the north of this lot would be a new 5.54-acre lot. Currently a small spring house is located in this area; however, the proposed northern-most lot would remain predominately undeveloped. No new development is proposed at this time.

Completeness:

Since this application is not associated with any new development, the Applicant has requested exemptions from having to provide the following technical reports / plans: Grading, Landscaping, Lighting, Drainage, and Traffic. After reviewing this request, Staff has determined that exempting the Applicant from submitting this information would have no bearing on the merits of the application. Staff recommends that the Planning Board grant these exemptions and accept the application as “complete.”

Departmental Comments:

Staff from the City’s Police, Public Works and Code Departments did not identify any issues with this proposal. The Applicant has addressed comments made from the Fire Department.

Application Analysis:

The following is a review of the Board’s relevant development standards in relation to the proposed application:

1. **Drainage:** As no new development is proposed at this time, this standard appears to be met. However, the Applicant has provided a note on the Plan that states, “Grading of the proposed house sites shall be done in accordance with the City of Keene Development Standards.”
2. **Sedimentation & Erosion Control:** As no new development is proposed at this time, this standard appears to be met.
3. **Hillside Protection:** The Applicant notes that 20% of the existing 19.48-acre lot is precautionary slopes and 8.5% are prohibitive slopes. Precautionary slopes are those of 15% - 25% slope where any land area is shown to have an elevation gain of 10-feet over a horizontal distance between 66- and 40-feet. Prohibitive slopes are those of >25% slope where any land area is shown to have an elevation gain of greater than 10-feet over a horizontal distance of 40-feet or less.

Section III.B.6 Hillside Protection of the Planning Board Site Plan and Subdivision Regulations, which states “Except for Conservation Residential Development Subdivisions, for all proposed subdivisions of parcels greater than fifteen (15) acres in size, land areas meeting the definition of a prohibitive slope shall be excluded in the calculation of minimum lot size for each new lot...fifty (50)

STAFF REPORT

percent of land areas meeting the definition of a precautionary slope shall be excluded in the calculation of minimum lot size for each new lot.”

After calculating for the presence of precautionary and prohibitive slopes, the proposed northern most lot of 5.54-acres would have only 2.68-acres of land to attribute towards minimum lot size. The Rural Zone requires a minimum lot size of 5 acres.

The Applicant is seeking a waiver from the Section III.B.6. of the Planning Board Subdivision Regulations. The Applicant notes that there is 1.13-acres of the proposed northern lot that are not affected by steep slopes or wetlands. This area is at the front of the lot, where there is adequate space for a potential residential structure, driveway, septic system and well.

The Applicant has included a note on the proposed Subdivision Plan that states, “Work performed within the precautionary and prohibitive slope areas shall conform to the City of Keene Hillside Protection Ordinance.” The City’s Hillside Protection Ordinance (Article XII of the Zoning Ordinance) was developed with the purpose of protecting the City’s ecological and scenic resources from undue adverse impacts resulting from development of steep slopes and to guide development of those hillside areas where development can be safely accomplished through carefully designed, low-impact development. The issuance of any future building permit would be dependent on compliance with this Ordinance, and would involve a review by the City Engineer.

The Applicant has been asked to address the following four waiver criteria in their presentation before the Board. The Board must determine that these criteria have been met in order to issue a waiver from the standard.

- a) *That granting the waiver will not be contrary to the spirit and intent of these regulations;*
- b) *That granting the waiver will not increase the potential for creating adverse impacts to abutters, the community or the environment;*
- c) *That granting the waiver has not been shown to diminish the property values of abutting properties.*
- d) *Consideration will also be given to whether strict conformity with the regulations or Development Standards would pose an unnecessary hardship to the applicant.*

4. Snow Storage & Removal: The proposed lots would have ample space for snow storage on site.
5. Flooding: This property is not located within the 100-year floodplain.
6. Landscaping: No new landscaping is proposed at this time.
7. Noise: No noise impacts would be generated as a result of this proposal.
8. Screening: This standard is not applicable to this proposal.
9. Air Quality: No impacts to air quality would be generated as a result of this proposal.
10. Lighting: No new lighting is proposed at this time.
11. Sewer and Water: No City sewer and water connections currently service this lot. The existing dwelling has an onsite septic system and well.
12. Traffic: This standard is not applicable to this proposal.

STAFF REPORT

13. Comprehensive Access Management: The Applicant includes a note on the Subdivision Plan that states “The proposed driveway(s) will be constructed in accordance with City Driveway Standards. A permit shall be obtained from the Code Enforcement Office before construction of the driveway begins. A permit shall be obtained from the Public Works Department Prior to any excavation within the City Right of Way. The City Engineering Division shall be contacted 48-hours in advance to inspect the driveway. Driveways over 300 feet long shall have a turn around for fire equipment.” This standard appears to be met.
14. Hazardous & Toxic Materials: The Applicant notes that there are no known hazardous and toxic materials on the site.
15. Filling & Excavation: No filling and excavation is proposed.
16. Wetlands: Wetlands are present on the property. Approximately 1.7-acres of wetlands are located on the south-east portion of the existing lot. A smaller area of wetlands is located along the northern edge of the existing parcel. The Applicant has depicted the delineated wetlands areas as well as the 75’ Surface Water Protection Buffer on the proposed Subdivision Plan. The wetland delineation was completed on April 11, 2017 by a NH Certified Wetland Scientist.

The Applicant has deducted the wetland areas from the calculation of minimum lot size, and has demonstrated there is sufficient remaining developable area on the proposed lots. This standard appears to be met.
17. Surface Waters: There are no surface waters present on the property other than wetlands.
18. Stump Dumps: The Applicant has included a note on the Subdivision Plan that states: “*On-site burial of stumps from land clearing shall be in accordance with RSA 14-M:1. Stump burial shall not be within 75’ of any public or private water system. The Bureau of Solid Waste shall be notified of any intent to bury stumps.*”
19. Architecture & Visual Appearance: This standard is not applicable to this proposal.

RECOMMENDATION FOR APPLICATION:

Staff will provide a recommendation at the Planning Board meeting on July 24, 2017.

CITY OF KEENE | PLANNING BOARD

SUBDIVISION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.



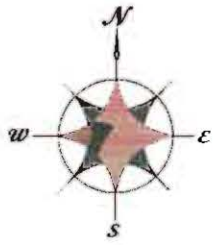
A Project Name 3LOT SUBDIVISION 62 NIMS ROAD	Date Received/Date of Submission:	
	Date of pre-application meeting:	
Tax Map Parcel number(s) 703-19-015-0000	Date Application is Complete:	
Planning Department File #: S-04-17		
Project Address: 62 NIMS ROAD	Owner	Name: JOHN BOLLES P.O.A. FRANCES BOLLES
		Address: 62 NIMS ROAD
		Telephone/E-mail: JOHN 352-8821
		Signature: John Bolles P.A.
Acreage/S.F. of Parcel: 19.48 /	Applicant	Name: CARDINAL SURVEYING & LAND PLANNING WENDY PELLETIER
Zoning District: RURAL		Address: 403 WASHINGTON ST
		Telephone/E-mail: 499-6151
		Signature: Wendy A Pelletier

B Descriptive Narrative Including

- | | | |
|---|---|---|
| <input type="checkbox"/> Type of development | <input type="checkbox"/> Sedimentation Control | <input type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input type="checkbox"/> Vegetation | <input type="checkbox"/> Parcel size |
| <input type="checkbox"/> Location of access points | <input type="checkbox"/> Debris management | <input type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

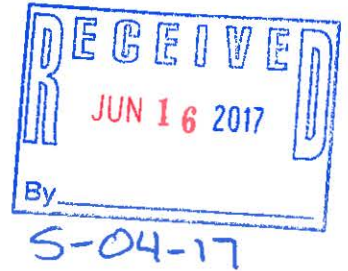
C A complete application must include the following

- | | |
|---|---|
| <input type="checkbox"/> Two (2) copies of completed application forms signed & dated | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional |
| <input checked="" type="checkbox"/> Two (2) copies of descriptive narrative | <input checked="" type="checkbox"/> Two (2) copies on 8.5" x 11" or 11" x 17" |
| <input checked="" type="checkbox"/> Certified list of all owners of property within 200' | <input checked="" type="checkbox"/> Three (3) copies of all technical reports |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (22" x 36") | the public hearing, mailing notices out to abutters |



CARDINAL SURVEYING AND LAND PLANNING, LLC

463 Washington Street
Keene, NH 03431
(603) 209-1989
www.cardinalsurveying.net
"Know Your Boundaries"



June 15, 2017

62 Nims Road
3 Lot Subdivision

Project Narrative

Map 903-19-015-0000 is a 19.48-acre lot with 20% precautionary slopes and 8.5% prohibitive slopes, primarily on the north side of the lot. The remainder of the lot slope gently from the road to the rear. There is an existing dwelling and several out buildings on the property. Approximately 4 acres is open field at the front of the lot. There is 1.7 acres of wetlands in the south-east half of the lot.

Nims Road is a dead-end road, approximately 3200' long with 11 homes. 62 Nims Road is approximately half way up the road on the east side.

The lot is in the rural district and is directly abutted by eight 5+ acre lots. The remaining lots on the road are in excess of 10 acres.

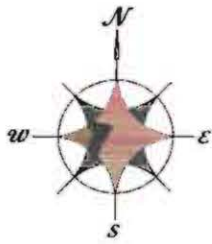
This is a proposed residential 3 lot subdivision. The existing dwelling will be on a 6.73 acre lot with a lot to the north and the south of it.

The lot to the south is 7.21 acres and is impacted by wetlands and a small area of prohibitive slopes. There is 1.3 acres of open area for building. The driveway will be approximately 300' long from the road with a slope of 1.5%.

This lot will consist of 2 tracts. Tract 2 will be retained by this lot if the house lot is sold before the other two lots to allow for the remainder of the land to be kept in current use. Upon the sale of this lot, tract 2 will be transferred to the house lot.

The lot to the north is 5.54 acres and is impacted by most of the steep slopes on the entire lot and two small areas of wetlands. There is 1.13 acres of open area suitable for building, septic and the driveway. The driveway will be approximately 250' long with a slope of 1%.

There is no building proposed at this time. The requirements for drainage, erosion control, stump and debris management is noted in the general notes and will be addressed at the time building permits are applied for.



CARDINAL SURVEYING AND LAND PLANNING, LLC

463 Washington Street
Keene, NH 03431
(603) 209-1989

www.cardinalsurveying.net

"Know Your Boundaries"

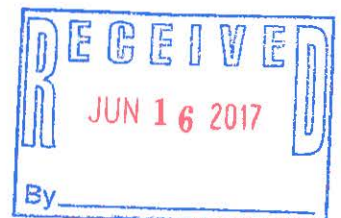
June 15, 2017

62 Nims Road
3 Lot Subdivision

Waiver Request of Subdivision Regulations IV.C.6-Hillside Protection

Map 903-19-015-0000 is a 19.48-acre lot with 20% precautionary slopes and 8.5% prohibitive slopes, primarily on the north side of the lot.

A waiver is requested for lot 903-19-015-01000. The proposed lot is 5.54 acres with 2.68 acres of useable land, see the lot area calculations on the plans. 1.13 acres of this lot is not affected by slopes, is at the front of the lot and has adequate space for a house, driveway, septic and well without impacting the slope areas.

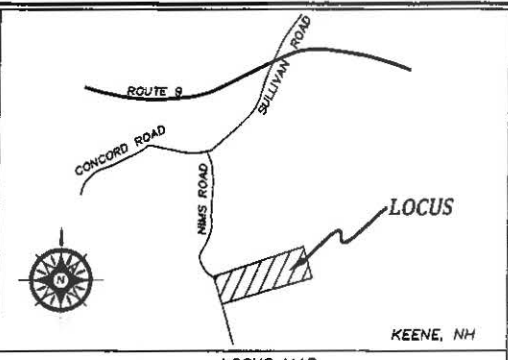


S-04-17

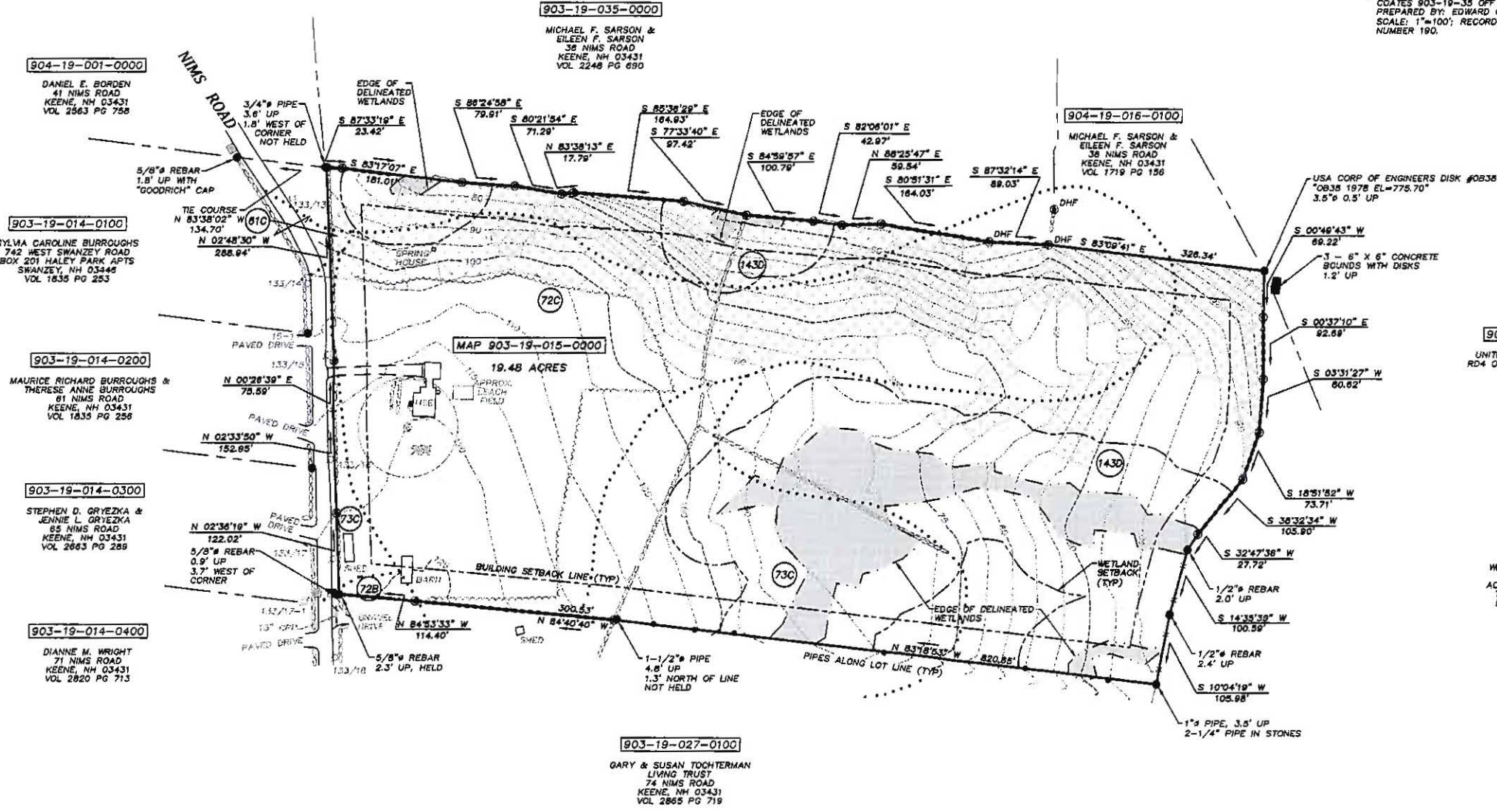


- SOILS LEGEND**
- 72B - BERKSHIRE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
 - 72C - BERKSHIRE FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
 - 73B - BERKSHIRE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES, VERY STONY
 - 73C - BERKSHIRE FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
 - 61C - TUNBRIDGE-LYMAN-ROCK OUTCROP COMPLEX, 8 TO 15 PERCENT SLOPES
 - 143C - MONADNOCK FINE SANDY LOAM, 15 TO 25 PERCENT SLOPES, VERY STONY

- PLAN REFERENCES**
- 1) PLAN ENTITLED: "SUBDIVISION OF PROPERTY OF JAMES T. & CHERYL A. POTTER KEENE, NEW HAMPSHIRE"; PREPARED BY: DIBERNARDO ASSOCIATES; DATED: 5/30/95; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 11 DRAWER 10 NUMBER 12.
 - 2) PLAN ENTITLED: "TAX MAP 904 SECTION 19 LOT 16 SUBDIVISION PLAN OF LAND OF BRIAN A. HOULE & NIMS ROAD KEENE, NEW HAMPSHIRE 03431 PREPARED FOR EILEEN SARSON 153 BAKER STREET, KEENE, NEW HAMPSHIRE 03431"; PREPARED BY: TFMORAN; DATED: JULY 22, 1999; REVISED THROUGH: 8/26/99; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 4 NUMBER 72.
 - 3) PLAN ENTITLED: "PLAT OF WILLIAM H. COATES SUBDIVISION NIMS ROAD KEENE, N.H."; PREPARED BY: THOMAS W. FLAVIN, JR.; DATED: FEB. 3, 2001; REVISED THROUGH: 4/17/01; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 6 NUMBER 110.
 - 4) PLAN ENTITLED: "PLAN OF LAND OF THE ESTATE OF WILLIAM H. COATES 903-19-35 OFF NIMS ROAD, KEENE, NEW HAMPSHIRE"; PREPARED BY: EDWARD C. GOODRICH, JR.; DATED: APRIL 7, 2005; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 5 NUMBER 190.

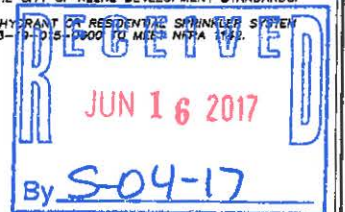


- NOTES**
- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 903-19-015-0000 INTO 3 RESIDENTIAL LOTS.
 - 2) OWNER OF RECORD: FRANCES E. BOLLES IRREVOCABLE TRUST, 469 SOUTH ROAD, EAST SULLIVAN, NH 03445, VOLUME 2514 PAGE 590.
 - 3) EXISTING AREA OF 903-19-015-0000: 19.48 ACRES.
 - 4) MAP NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
 - 5) CURRENT ZONING: RURAL. MIN. LOT AREA - 5 ACRES. MIN. FRONTAGE - 50 FEET. MIN. WIDTH AT BUILDING LINE - 200 FEET. SETBACKS: FRONT - 50 FEET, SIDE - 50 FEET, REAR - 50 FEET.
 - 6) THE RIGHT OF WAY OF NIMS ROAD WAS DETERMINED BY THE LOCATION OF STONEWALLS AND MONUMENTS AND IS SHOWN TO BE 3 RCD'S WIDE (49.5') BASED ON THE LAYOUT OF 1857 RECORDED IN VOLUME 1 PAGE 187 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
 - 7) WETLANDS WERE DELINEATED ON APRIL 11, 2017 BY TIMOTHY J. FERWERDA, CWS 032, OF MERIDIAN LAND SERVICES, INC., 31 OLD NASHUA ROAD, SUITE 2, AMHERST, NH 03031, PHONE #603-873-1441.
 - 8) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. CONTOUR INTERVAL IS 5 FEET.
 - 9) 903-19-015-0000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
 - 10) WORK PERFORMED WITHIN THE PRECAUTIONARY AND PROHIBITIVE SLOPE AREAS SHALL CONFORM TO THE CITY OF KEENE HILLSIDE PROTECTION ORDINANCE.
 - 11) THE PROPOSED DRIVEWAY(S) WILL BE CONSTRUCTED IN ACCORDANCE WITH CITY DRIVEWAY STANDARDS. A PERMIT SHALL BE OBTAINED FROM THE CODE ENFORCEMENT OFFICE BEFORE CONSTRUCTION OF THE DRIVEWAY BEGINS. A PERMIT SHALL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY EXCAVATION WITHIN THE CITY RIGHT OF WAY. THE CITY ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS MINIMUM IN ADVANCE TO INSPECT THE DRIVEWAY. DRIVEWAYS OVER 300 FEET LONG SHALL HAVE A TURN AROUND FOR FIRE EQUIPMENT.
 - 12) ON-SITE BURIAL OF STUMPS FROM LAND CLEARING SHALL BE IN ACCORDANCE WITH RSA 14-M:1. STUMP BURIAL SHALL NOT BE WITHIN 75' OF ANY PUBLIC OR PRIVATE WATER SYSTEM. THE BUREAU OF SOLID WASTE SHALL BE NOTIFIED OF ANY INTENT TO BURY STUMPS.
 - 13) GRADING OF THE PROPOSED HOUSE SITES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KEENE DEVELOPMENT STANDARDS.
 - 14) A CISTERN AND DRY HYDRANT OR RESIDENTIAL SPRINKLER SYSTEM IS REQUIRED FOR 903-19-015-0000 TO MEET NHSA 1522.



903-19-031-0000
 UNITED STATES OF AMERICA
 RD4 OTTER BROOK DAM CORPS
 OF ENGINEERS
 KEENE, NH 03431
 VOL 054 PG 249

WETLAND DELINEATION WAS COMPLETED IN THE AREAS SHOWN ON APRIL 11, 2017 ACCORDING TO THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012 (ERDC/EL TR-12-1).



PLAN SET

SHEETS 1/2 AND 2/2: EXISTING CONDITIONS PLAN & PROPOSED CONDITIONS - 3 LOT SUBDIVISION TO REMAIN ON FILE AT THE CITY OFFICE

SHEET 1/1 SUBDIVISION PLAN TO BE RECORDED AT CHESHIRE COUNTY REGISTRY OF DEEDS.

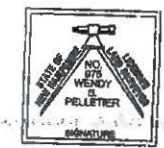
2017
 APPROVED AS A BOUNDARY LINE ADJUSTMENT
 IN ACCORDANCE WITH THE PROVISIONS OF RSA 674.
 THE CITY OF KEENE PLANNING BOARD

BY _____, CHAIRMAN

SURVEYOR'S CERTIFICATION

THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN RURAL SURVEY AS SPECIFIED IN NH LAN 500.1.

I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.



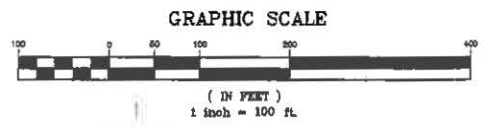
OWNER CERTIFICATION

I, FRANCES E. BOLLES, CERTIFY THAT I AM THE OWNER OF 903-19-015-0000, AND APPROVE OF THIS SUBDIVISION.

John A. Bolles, P.A.
 JOHN A. BOLLES, POA DATE _____

No.	Date	Revision	By
EXISTING CONDITIONS			
MAP 903-19-015-0000			
62 NIMS ROAD			
KEENE, NH 03431			
DATE: JUNE 16, 2017		SCALE: 1"=100'	
PREPARED FOR: FRANCES E. BOLLES JOHN A. BOLLES, POA 469 SOUTH ROAD EAST SULLIVAN, NH 03445			
CARDINAL SURVEYING & LAND PLANNING			
Keene, New Hampshire 03431 Tel. (603) 499-6151			

- LEGEND**
- - PIN FOUND
 - - MONUMENT FOUND
 - - REBAR SET
 - ⊙ - DRILL HOLE FOUND
 - ⊙ - DRILL HOLE SET
 - ⊙ - UTILITY POLE
 - ⊙ - WELL
 - ⊙ - CATCH BASIN
 - - TREE LINE
 - - - - - APPROXIMATE ADJUTER LINE
 - - EXISTING CONTOUR LINE
 - - BUILDING SETBACK LINE
 - - SOILS LINE
 - - EDGE OF DELINEATED WETLANDS
 - - STONE WALL
 - ▨ - PRECAUTIONARY SLOPES
 - ▨ - PROHIBITIVE SLOPES

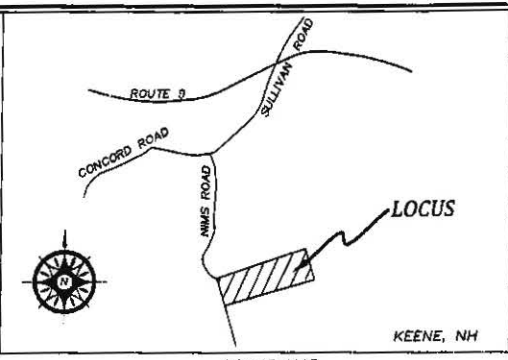




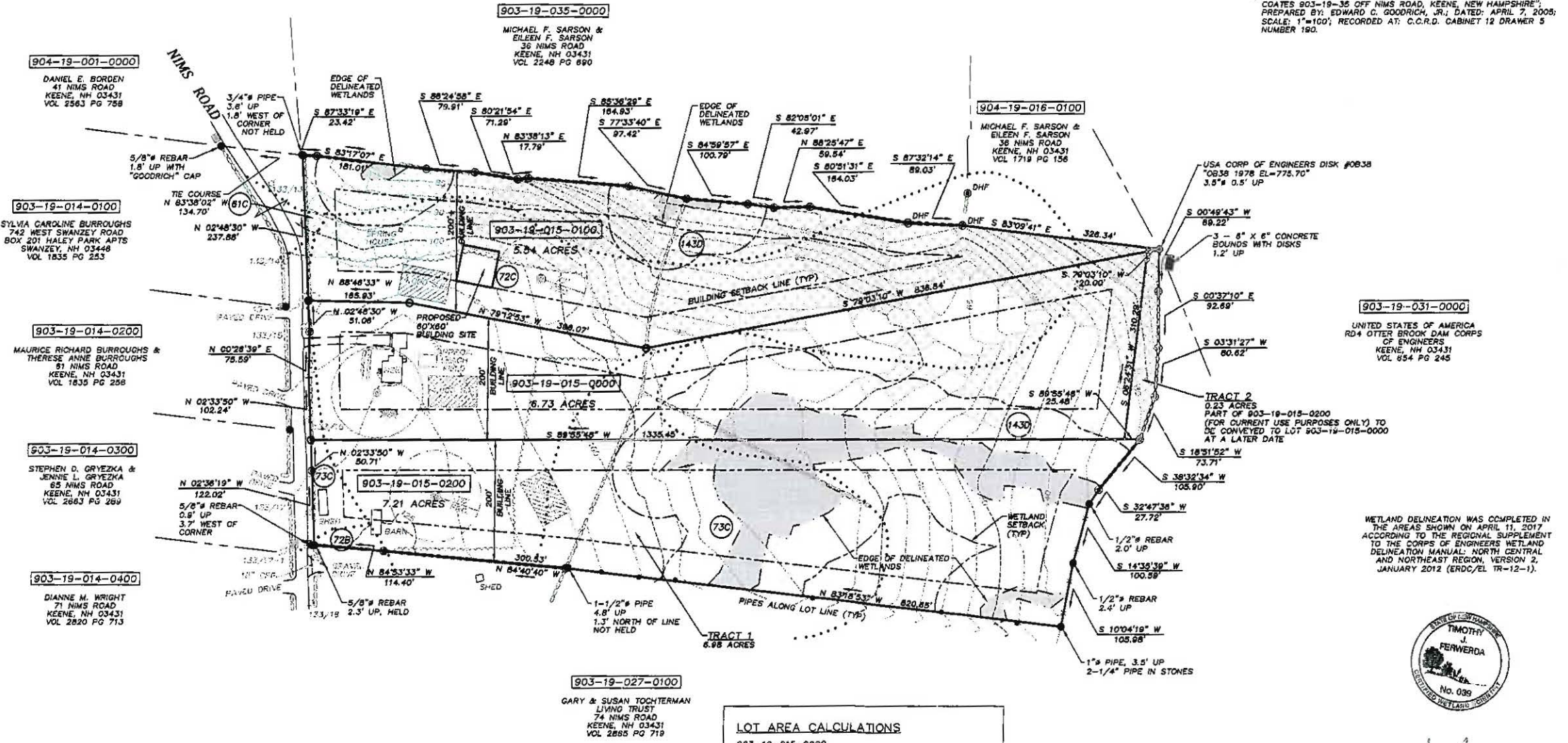
TOTAL LOT FRONTAGE
 903-19-015-0000: 228.89 FEET
 903-19-015-0100: 125.58 FEET
 903-19-015-0200: 172.73 FEET

- SOILS LEGEND**
- (72B) - BERKSHIRE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
 - (72C) - BERKSHIRE FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
 - (73B) - BERKSHIRE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES, VERY STONY
 - (73C) - BERKSHIRE FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
 - (61C) - TUNBRIDGE-LYMAN-ROCK OUTCROP COMPLEX, 8 TO 15 PERCENT SLOPES
 - (1430) - MONADNOCK FINE SANDY LOAM, 15 TO 25 PERCENT SLOPES, VERY STONY

- PLAN REFERENCES**
- 1) PLAN ENTITLED: "SUBDIVISION OF PROPERTY OF JAMES T. & CHERYL A. POTTER KEENE, NEW HAMPSHIRE"; PREPARED BY: DIBERNARDO ASSOCIATES; DATED: 5/30/95; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 11 DRAWER 10 NUMBER 12.
 - 2) PLAN ENTITLED: "TAX MAP 904 SECTION 19 LOT 18 SUBDIVISION PLAN OF LAND OF BRIAN A. HOULE 4 NIMS ROAD KEENE, NEW HAMPSHIRE 03431 PREPARED FOR EILEEN SARSON 153 BAKER STREET, KEENE, NEW HAMPSHIRE 03431"; PREPARED BY: TMORAN; DATED: JULY 22, 1999; REVISED THROUGH: 8/29/99; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 4 NUMBER 72.
 - 3) PLAN ENTITLED: "PLAT OF WILLIAM H. COATES SUBDIVISION NIMS ROAD KEENE, N.H."; PREPARED BY: THOMAS W. FLAVIN, JR.; DATED: FEB. 3, 2001; REVISED THROUGH: 4/17/01; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 6 NUMBER 110.
 - 4) PLAN ENTITLED: "PLAN OF LAND OF THE ESTATE OF WILLIAM H. COATES 903-19-36 OFF NIMS ROAD, KEENE, NEW HAMPSHIRE"; PREPARED BY: EDWARD C. GOODRICH, JR.; DATED: APRIL 7, 2005; SCALE: 1"=100'; RECORDED AT: C.C.R.D. CABINET 12 DRAWER 9 NUMBER 150.



- NOTES**
- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 903-19-015-0000 INTO 3 RESIDENTIAL LOTS.
 - 2) OWNER OF RECORD: FRANCES E. BOLLES IRREVOCABLE TRUST, 489 SOUTH ROAD, EAST SULLIVAN, NH 03445, VOLUME 2514 PAGE 530.
 - 3) EXISTING AREA OF 903-19-015-0000: 19.48 ACRES.
 - 4) MAP NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
 - 5) CURRENT ZONING: RURAL.
 MIN. LOT AREA - 5 ACRES
 MIN. FRONTAGE - 50 FEET
 MIN. WIDTH AT BUILDING LINE - 200 FEET
 SETBACKS:
 FRONT - 50 FEET
 SIDE - 50 FEET
 REAR - 50 FEET
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 - 8) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. CONTOUR INTERVAL IS 5 FEET.
 - 9) 903-19-015-0000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
 - 10) WORK PERFORMED WITHIN THE PRECAUTIONARY AND PROHIBITIVE SLOPE AREAS SHALL CONFORM TO THE CITY OF KEENE HILLSIDE PROTECTION ORDINANCE.
 - 11) THE PROPOSED DRIVEWAY(S) WILL BE CONSTRUCTED IN ACCORDANCE WITH CITY DRIVEWAY STANDARDS. A PERMIT SHALL BE OBTAINED FROM THE CODE ENFORCEMENT OFFICE BEFORE CONSTRUCTION OF THE DRIVEWAY BEGINS. A PERMIT SHALL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY EXCAVATION WITHIN THE CITY RIGHT OF WAY. THE CITY ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS MINIMUM IN ADVANCE TO INSPECT THE DRIVEWAY. DRIVEWAYS OVER 300 FEET LONG SHALL HAVE A TURN AROUND FOR FIRE EQUIPMENT.
 - 12) ON-SITE BURIAL OF STUMPS FROM LAND CLEARING SHALL BE IN ACCORDANCE WITH RSA 14-M:1. STUMP BURIAL SHALL NOT BE WITHIN 75' OF ANY PUBLIC OR PRIVATE WATER SYSTEM. THE BUREAU OF SOLID WASTE SHALL BE NOTIFIED OF ANY INTENT TO BURY STUMPS.
 - 13) GRADING OF THE PROPOSED HOUSE SITES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KEENE DEVELOPMENT STANDARDS.
 - 14) A CISTERN AND DR. HYDRANT OR RESIDENTIAL SPRINKLER SYSTEM IS REQUIRED FOR 903-19-015-0000 TO MEET NFPA 1142.



LOT AREA CALCULATIONS

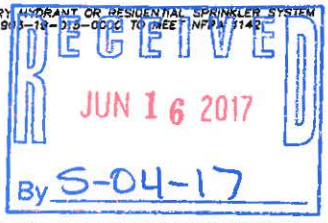
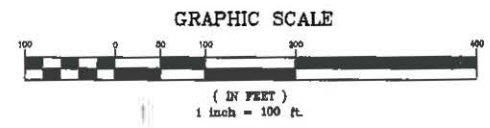
903-19-015-0000	EXISTING: 293,093 S.F. OR 6.73 ACRES
	WETLANDS: -15,148 S.F.
	SOM OF PRECAUTIONARY SLOPES: -20,885 S.F.
	PROHIBITIVE SLOPES: -7,214 S.F.
	USABLE AREA: 249,846 S.F. OR 5.74 ACRES
903-19-015-0100	EXISTING: 241,321 S.F. OR 5.54 ACRES
	WETLANDS: -3,765 S.F.
	SOM OF PRECAUTIONARY SLOPES: -82,974 S.F.
	PROHIBITIVE SLOPES: -57,845 S.F.
	USABLE AREA: 116,737 S.F. OR 2.68 ACRES
903-19-015-0200	EXISTING: 314,079 S.F. OR 7.21 ACRES
	WETLANDS: -56,581 S.F.
	SOM OF PRECAUTIONARY SLOPES: -732 S.F.
	PROHIBITIVE SLOPES: -6,919 S.F.
	USABLE AREA: 250,048 S.F. OR 5.74 ACRES

APPROVED AS A BOUNDARY LINE ADJUSTMENT
 IN ACCORDANCE WITH THE PROVISIONS OF RSA 874:
 THE CITY OF KEENE PLANNING BOARD
 BY: _____, CHAIRMAN
 DATE: _____

SURVEYOR'S CERTIFICATION
 THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN RURAL SURVEY AS SPECIFIED IN NH LAN 500.1.
 I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

OWNER CERTIFICATION
 I, FRANCES E. BOLLES, CERTIFY THAT I AM THE OWNER OF 903-19-015-0000, AND APPROVE OF THIS SUBDIVISION.
 Frances E. Bolles, P.O.A.
 DATE: _____

- LEGEND**
- - PIN FOUND
 - - MONUMENT FOUND
 - - REBAR SET
 - ⊙ - DHF
 - ⊙ - DRILL HOLE FOUND
 - ⊙ - DRILL HOLE SET
 - ⊙ - UTILITY POLE
 - ⊙ - WELL
 - ⊙ - CATCH BASIN
 - - TREE LINE
 - - APPROXIMATE ABUTTER LINE
 - - EXISTING CONTOUR LINE
 - - BUILDING SETBACK LINE
 - - SOILS LINE
 - - EDGE OF DELINEATED WETLANDS
 - - STONE WALL
 - - PRECAUTIONARY SLOPES
 - - PROHIBITIVE SLOPES
 - - 4,000 SQUARE FOOT DEDICATED SEPTIC AREA
 - - PROTECTIVE WELL RADIUS



PLAN SET
 SHEETS 1/2 AND 2/2: EXISTING CONDITIONS PLAN & PROPOSED CONDITIONS - 3 LOT SUBDIVISION TO REMAIN ON FILE AT THE CITY OFFICE
 SHEET 1/1 SUBDIVISION PLAN TO BE RECORDED AT CHESHIRE COUNTY REGISTRY OF DEEDS.

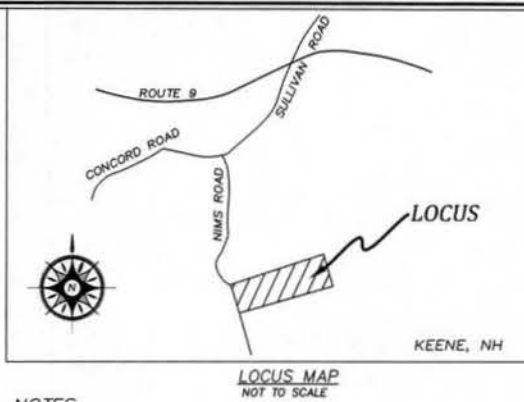
PROPOSED CONDITIONS
3 LOT SUBDIVISION
MAP 903-19-015-0000
62 NIMS ROAD
KEENE, NH 03431
 DATE: JUNE 16, 2017 SCALE: 1"=100'
 PREPARED FOR: FRANCES E. BOLLES, JOHN A. BOLLES, POA, 489 SOUTH ROAD, EAST SULLIVAN, NH 03445
 CARDINAL SURVEYING & LAND PLANNING, Keene, New Hampshire 03431, Tel. (603) 499-6151
 SHEET 2/2



TOTAL LOT FRONTAGE
 903-19-015-0000: 228.89 FEET
 903-19-015-0100: 125.58 FEET
 903-19-015-0200: 172.73 FEET

PLAN REFERENCES

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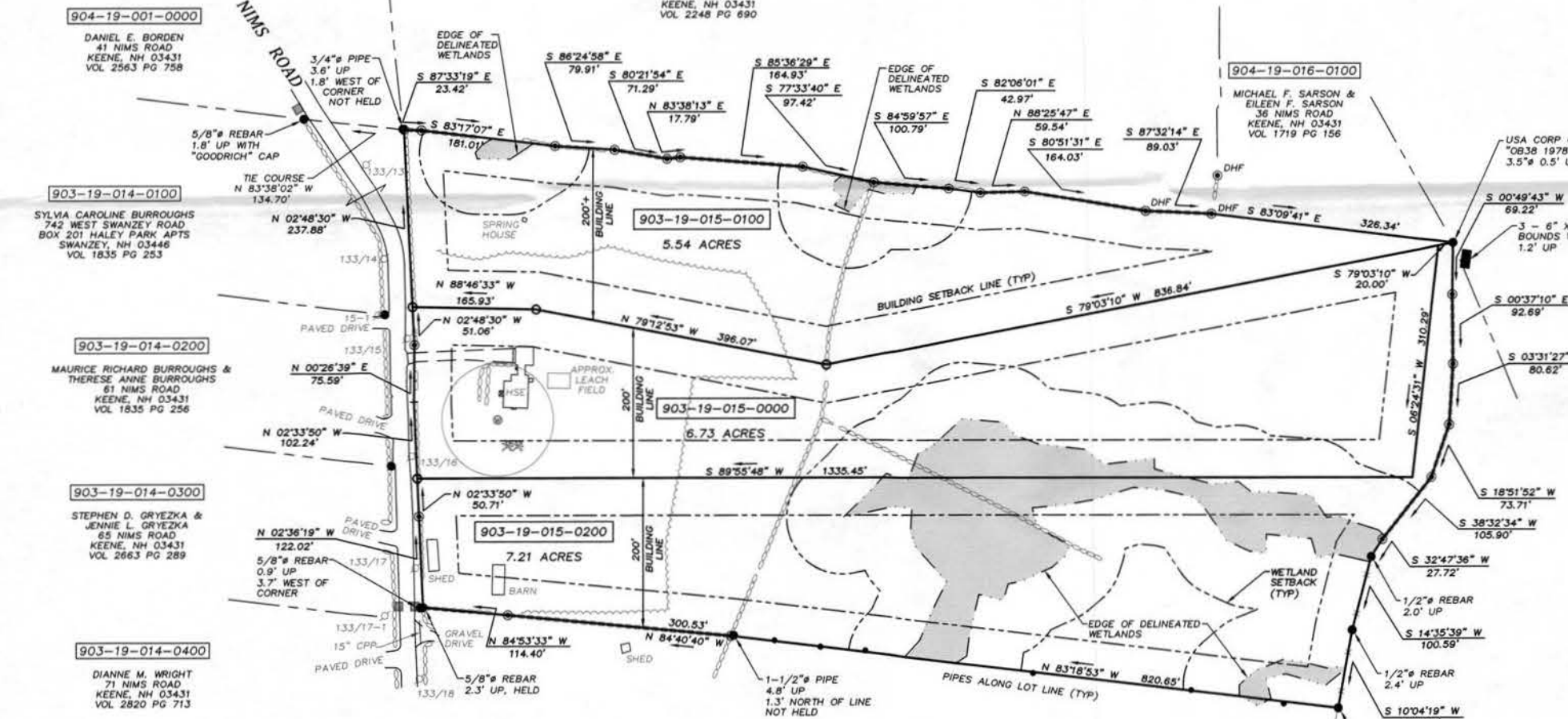


NOTES

- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 903-19-015-0000 INTO 3 RESIDENTIAL LOTS.
- 2) OWNER OF RECORD: FRANCES E. BOLLES IRREVOCABLE TRUST
469 SOUTH ROAD
EAST SULLIVAN, NH 03445
VOLUME 2514 PAGE 590
- 3) EXISTING AREA OF 903-19-015-0000: 19.48 ACRES.
- 4) MAP NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
- 5) CURRENT ZONING: RURAL
MIN. LOT AREA - 5 ACRES
MIN. FRONTAGE - 50 FEET
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903-19-031-0000
 UNITED STATES OF AMERICA
 RD4 OTTER BROOK DAM CORPS
 OF ENGINEERS
 KEENE, NH 03431
 VOL 654 PG 245

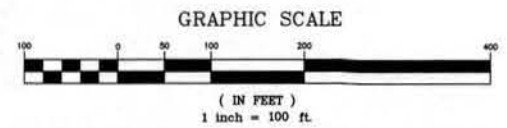
WETLAND DELINEATION WAS COMPLETED IN THE AREAS SHOWN ON APRIL 11, 2017 ACCORDING TO THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012 (ERDC/EL TR-12-1).



- 904-19-001-0000
DANIEL E. BORDEN
41 NIMS ROAD
KEENE, NH 03431
VOL 2563 PG 758
- 903-19-014-0100
SYLVIA CAROLINE BURROUGHS
742 WEST SWANZEY ROAD
BOX 201 HALEY PARK APTS
SWANZEY, NH 03446
VOL 1835 PG 253
- 903-19-014-0200
MAURICE RICHARD BURROUGHS &
THERESE ANNE BURROUGHS
61 NIMS ROAD
KEENE, NH 03431
VOL 1835 PG 256
- 903-19-014-0300
STEPHEN D. GRYZEKA &
JENNIE L. GRYZEKA
65 NIMS ROAD
KEENE, NH 03431
VOL 2663 PG 289
- 903-19-014-0400
DIANNE M. WRIGHT
71 NIMS ROAD
KEENE, NH 03431
VOL 2820 PG 713

903-19-027-0100
 GARY & SUSAN TOCHTERMAN
 LIVING TRUST
 74 NIMS ROAD
 KEENE, NH 03431
 VOL 2865 PG 719

- LEGEND**
- - PIN FOUND
 - - MONUMENT FOUND
 - - REBAR SET
 - ⊙ DHF - DRILL HOLE FOUND
 - ⊙ - DRILL HOLE SET
 - - UTILITY POLE
 - - WELL
 - ⊠ - CATCH BASIN
 - - TREE LINE
 - - - - - APPROXIMATE ABUTTER LINE
 - - - - - EXISTING CONTOUR LINE
 - - - - - BUILDING SETBACK LINE
 - - SOILS LINE
 - - - - - EDGE OF DELINEATED WETLANDS
 - ⊘ - STONE WALL



2017
 APPROVED AS A BOUNDARY LINE ADJUSTMENT
 IN ACCORDANCE WITH THE PROVISIONS OF RSA 674.
 THE CITY OF KEENE PLANNING BOARD
 BY _____ CHAIRMAN

OWNER CERTIFICATION
 I, FRANCES E. BOLLES, CERTIFY THAT I AM
 THE OWNER OF 903-19-015-0000, AND
 APPROVE OF THIS SUBDIVISION.
 JOHN A. BOLLES, POA DATE _____

DATE _____
SURVEYOR'S CERTIFICATION
 THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE
 USING AN ELECTRONIC TOTAL STATION AND MEETS THE
 MINIMUM REQUIREMENTS OF AN RURAL SURVEY AS
 SPECIFIED IN NH LAN 500.1.
 I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL
 APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

 DATE 7-18-17



PLAN SET
 SHEETS 1/2 AND 2/2: EXISTING CONDITIONS PLAN &
 PROPOSED CONDITIONS - 3 LOT SUBDIVISION
 TO REMAIN ON FILE AT THE CITY OFFICE
 SHEET 1/1 SUBDIVISION PLAN TO BE RECORDED
 AT CHESHIRE COUNTY REGISTRY OF DEEDS.

No.	Date	CITY COMMENTS	WF
1	7/10/17		

3 LOT SUBDIVISION
 903-19-015-0000
 62 NIMS ROAD
 KEENE, NH 03431
 DATE: JUNE 16, 2017 SCALE: 1"=100'
 PREPARED FOR:
 FRANCES E. BOLLES
 JOHN A. BOLLES, POA
 469 SOUTH ROAD
 EAST SULLIVAN, NH 03445
CARDINAL SURVEYING & LAND PLANNING
 Keene, New Hampshire 03431
 Tel. (603) 499-6151 SHT 1/1

S-03-16 2-Lot Subdivision –72 Old Walpole Road

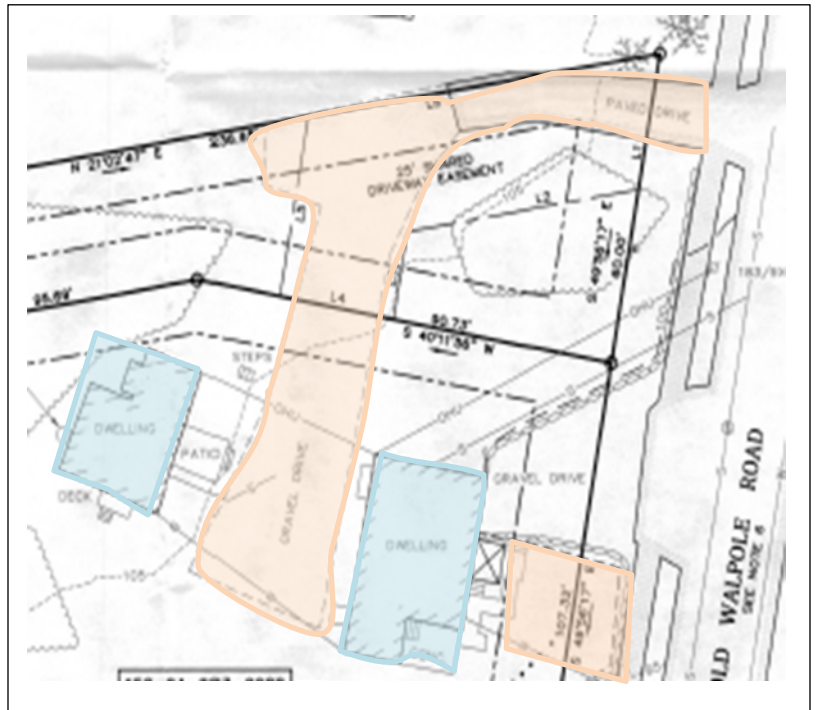
Request:

Wendy S. Pelletier of Cardinal Surveying & Land Planning, on behalf of owner Asher Construction, LLC proposes a 2-lot subdivision in the Low Density zoning district just north of the roundabout at Maple Ave., West Surry Road and Court St. This proposal would subdivide an existing 1.03 acre lot (TMP# 152-04-003-0000) into one, 20,076 acre lot and one 24,507 acre lot. The site does not contain wetlands, steep slopes or surface waters.

Background:

The application states that there are three structures on the lot; a primary dwelling, an accessory dwelling unit and a shed. Each dwelling, highlighted in blue has its own driveway, highlighted in orange. A 1989 air photos show the existence of both driveways making them both, by default, legal.

No changes are proposed for the residences and the shed on the 20,076 SF or 0.46 lot. An inquiry to the Code Enforcement and Assessing Departments shows that the two dwelling structures were built in 1945. The existing dwellings are connected to City sewer and water. While there is no building proposed at this time, a future building would also be connected to City sewer and water. For access, the second, slightly larger, primarily rear lot will share the west driveway at the top of the lot through an included easement. Considerations and requirements for applicable permits as well as stump and debris management are noted on the subdivision plan for future use.



Completeness:

The Applicant has submitted the following drawing: “2 Lot Subdivision Plan, 152-04-003-0000, 72 Old Walpole Road, Keene NH 03431”, 1” = 20’, dated June 16, 2017. The Applicant has requested a variety of site-specific exemptions from the Existing and Proposed Conditions Plan requirements explicitly for site features that are not present on the site (i.e. stonewalls, cellar holes, etc.). After reviewing the requested exemptions, staff recommends that the Board grant the requested exemptions, deem the application complete and open the public hearing for S-03-17. As a reminder, the Board has 65 days to make a decision on an application once the Public Hearing has been opened.

Departmental Comments:

Engineering: Comments were resolved.

Police: “No issues”

Fire: “No issues”

Code: “No issues”

Application Analysis:

This application proposes no development and is served by City water and sewer. The resulting, subdivided parcel is, within existing regulations, developable.

RECOMMENDATION FOR APPLICATION:

If the Board is inclined to approve the Application, the following motion is recommended:

Approve S-03-17, as shown on the plan identified as “2 Lot Subdivision Plan, 152-04-003-0000, 72 Old Walpole Road, Keene NH 03431”, prepared by Wendy S. Ganio. LLS of Cardinal Surveying and Land Planning, at a scale of 1” = 20’, dated June 16, 2017 with the following conditions:

- 1. Owner’s signature on plan prior to approval.*

CITY OF KEENE | PLANNING BOARD

SUBDIVISION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.



A	Project Name 2 LOT SUBDIVISION	Date Received/Date of Submission:
	Tax Map Parcel number(s) 152-04-003.0000	Date of pre-application meeting:
		Date Application is Complete:
		Planning Department File #: S-03-17
Project Address: 72 OLD WALPOLE RD	Owner	Name: RICK WILLSON
		Address: 544 ROUTE 12A SURRV
		Telephone/E-mail: H - 357-3920 W - 802-463-0229
Acreage/S.F. of Parcel: 44,582 / 1.03 AC	Applicant	Signature: <i>Rick Willson</i>
Zoning District: LOW DENSITY		Name: CARDINAL SURVEYING & LAND PLANNING WENDY PELLETIER
		Address: 403 WASHINGTON ST. KEENE
		Telephone/E-mail: 499-6151
		Signature: <i>Wendy A. Pelletier</i>

B Descriptive Narrative Including

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development | <input type="checkbox"/> Sedimentation Control | <input checked="" type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input checked="" type="checkbox"/> Vegetation | <input checked="" type="checkbox"/> Parcel size |
| <input checked="" type="checkbox"/> Location of access points | <input checked="" type="checkbox"/> Debris management | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

C A complete application must include the following

- | | |
|--|---|
| <input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional |
| <input checked="" type="checkbox"/> Two (2) copies of descriptive narrative | <input checked="" type="checkbox"/> Two (2) copies on 8.5" x 11" or 11" x 17" |
| <input checked="" type="checkbox"/> Certified list of all owners of property within 200' | <input checked="" type="checkbox"/> Three (3) copies of all technical reports |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing, mailing notices out to abutters |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (22" x 36") | |

Required Items for Submittal	N/A	Applicant Verifies Presence	Applicant Requests Exemption	Staff Recommends Exemption
Soils report prepared by a licensed NH engineer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Documentation of all test pits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bedrock within 48" of ground level	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Poorly drained soils	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Highly erosive soils	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ADDITIONAL TECHNICAL REPORTS (Section IV.D.2.g)

The Planning Board may request additional technical studies from the Applicant; including, but not limited to, Natural Heritage Documentation, Historic Evaluation, Screening Analysis, detailed Architectural Study.

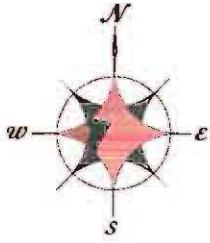
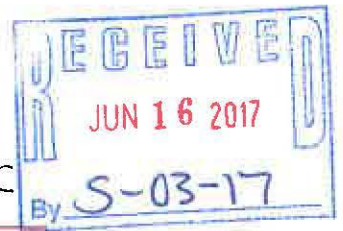
Waivers from the Planning Board's 19 Development Standards? Y N
 (If yes, please provide a detailed list in the space below.)

LIGHTING PLAN
 GRADING PLAN
 LANDSCAPING PLAN

The Planning Board Development Standards are to be met for all applications. Please review the development standards and provide a brief narrative description for how your application addresses each and/or indicate where on the plan or in the application proof of compliance can be found. Applicants can either supply the information in the space provided, or attach a brief narrative (use of a separate sheet is recommended).

- 1) Drainage: NO BUILDING IS PROPOSED AT THIS TIME, THIS A SUBDIVISION OF LAND ONLY
- 2) Sedimentation & Erosion Control:
- 3) Hillside Protection:
- 4) Snow Storage & Removal:
- 5) Flooding:
- 6) Landscaping:
- 7) Noise:
- 8) Screening:

9)	Air Quality:	N/A
10)	Lighting	N/A
11)	Sewer & Water:	NOTE 14 ON PLAN
12)	Traffic:	N/A
13)	Driveways	NOTE 13
14)	Hazardous & Toxic Materials:	N/A
15)	Filling & Excavation:	N/A
16)	Wetlands:	NOTE 7
17)	Surface Waters:	NOTE 7
18)	Stump Dumps:	NOTE 15
19)	Architecture & Visual Appearance:	N/A



CARDINAL SURVEYING AND LAND PLANNING, LLC

463 Washington Street
Keene, NH 03431
(603) 209-1989

www.cardinalsurveying.net

"Know Your Boundaries"

June 15, 2017

72 Old Walpole Road
2 Lot Subdivision

Project Narrative

Map 152-04-003-0000 is a 1.03-acre lot on the south side of Old Walpole Road, across from Glen Road and just before American Ave. There is a primary dwelling and an accessory dwelling on the lot, accessed by 2 existing driveways.

The lot is in the low-density district. The neighborhood is comprised of modest single-family homes on 10,000+- s.f. lots.

This is a proposed residential 2 lot subdivision. The existing dwelling and accessory dwelling will be on a 20,076 s.f. lot. The second lot will be a rear lot of 24,507 s.f. This lot will share the westerly most driveway entrance with the accessory dwelling on the first lot.

There are not wetlands, surface water or steep slopes on the lot.

The existing dwellings are connected to City sewer and water. A new dwelling will be connected to City utilities as well. The elevation of the house is such that it will not need a sewer pump.

There is no building proposed at this time. The requirements for drainage, erosion control, stump and debris management is noted in the general notes and will be addressed at the time building permits are applied for.

SOILS LEGEND

- 143B - MONADNOCK FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES, VERY STONY
- 143C - MONADNOCK FINE SANDY LOAM, 8 TO 13 PERCENT SLOPES, VERY STONY

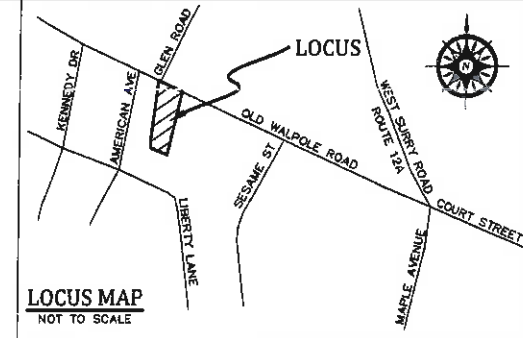


MAGNETIC 2017

AMERICAN AVENUE

DRIVEWAY EASEMENT TABLE

LINE	BEARING	DISTANCE
L1	S 89°56'17" E	76.44'
L2	S 21°02'47" W	80.73'
L3	S 28°48'04" E	18.91'
L4	S 20°11'58" W	42.90'
L5	N 29°23'05" E	42.90'
L6	N 21°02'47" E	77.13'



NOTES

- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 152-04-003-0000 INTO TWO RESIDENTIAL LOTS.
- 2) OWNER OF RECORD: RICKY A. WILLSON, 544 ROUTE 12A, SURRY, NH 03431-8124, VOLUME 2201 PAGE 314
- 3) EXISTING AREA OF 152-04-003-0000: 44,582 S.F. OR 1.03 ACRES
PROPOSED AREA OF 152-04-003-0000: 20,078 S.F. OR 0.46 ACRES
PROPOSED AREA OF 152-04-003-0100: 24,506 S.F. OR 0.56 ACRES
- 4) MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
- 5) CURRENT ZONING: LOW DENSITY DISTRICT
MIN. LOT AREA - 10,000 S.F.
MIN. FRONTAGE - 60 FEET
MIN. WIDTH AT BUILDING LINE - 70 FEET
SETBACKS:
FRONT - 15 FEET
SIDE - 10 FEET
REAR - 20 FEET
- 6) THE RIGHT OF WAY OF OLD WALPOLE ROAD IS SHOWN TO BE 33' WIDE BASED ON THE CENTERLINE OF EXISTING TRAVELED WAY BASED ON THE RE-SURVEY OF 1838 RECORDED IN VOLUME 1 PAGE 37 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
- 7) NO JURISDICTIONAL WETLANDS WERE OBSERVED.
- 8) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. CONTOUR INTERVAL IS 5 FEET.
- 9) 152-04-003-0000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
- 10) SOIL INFORMATION IS BASED ON THE SOIL SURVEY OF CHESHIRE COUNTY, NEW HAMPSHIRE PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE.
- 11) THE PARCEL MAY BE SUBJECT TO EASEMENTS AS THEY EXIST OF RECORD OR IN FACT. CARDINAL SURVEYING AND LAND PLANNING DOES NOT INTEND OR REPRESENT THAT ALL RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN. A SPECIFIC TITLE EXAMINATION IS SUGGESTED TO DETERMINE THE NATURE AND EXTENT OF RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY.
- 12) THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING & LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.
- 13) THE PROPOSED DRIVEWAY WILL BE CONSTRUCTED IN ACCORDANCE WITH CITY DRIVEWAY STANDARDS. A PERMIT SHALL BE OBTAINED FROM THE CODE ENFORCEMENT OFFICE BEFORE CONSTRUCTION OF THE DRIVEWAY BEGINS. A PERMIT SHALL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY EXCAVATION WITHIN THE CITY RIGHT OF WAY. THE CITY ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS MINIMUM IN ADVANCE TO INSPECT THE DRIVEWAY.
- 14) ALL NECESSARY PERMITS WILL BE OBTAINED FROM CITY OF KEENE PUBLICS WORKS DEPARTMENT FOR SEWER AND WATER CONNECTIONS.
- 15) ON-SITE BURIAL OF STUMPS FROM LAND CLEARING SHALL BE IN ACCORDANCE WITH RSA 14-M:1. STUMP BURIAL SHALL NOT BE WITHIN 25' OF ANY PUBLIC OR PRIVATE WATER SYSTEM. THE BUREAU OF SOLID WASTE SHALL BE NOTIFIED OF ANY INTENT TO BURY STUMPS.

152-04-033-0000
KEVIN MORSE
89 LIBERTY LANE
KEENE, NH 03431
VOL 2934 PG 481

152-04-005-0000
PAMELA J. DELOREY
12 AMERICAN AVENUE
KEENE, NH 03431
VOL 2481 PG 532

152-04-004-0000
JOSEPH S. LABRECQUE &
CLAUDIA A. LABRECQUE
78 OLD WALPOLE ROAD
KEENE, NH 03431
VOL 1474 PG 195

156-02-001-0000
PARODY FAMILY REVOCABLE TRUST
79 OLD WALPOLE ROAD
KEENE, NH 03431
VOL 2895 PG 893

152-04-034-0000
RITA M. COREY
65 LIBERTY LANE
KEENE, NH 03431
VOL 1871 PG 102

152-04-003-0100
24,507 S.F.
0.56 ACRES

152-04-003-0000
20,076 S.F.
0.46 ACRES

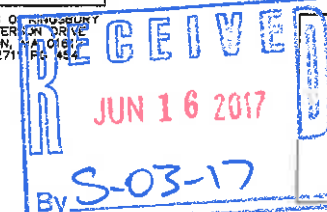
156-01-001-0000
ROBERT W. NICHOLS &
CYNTHIA A. HERREID
1 GLEN ROAD
KEENE, NH 03431
VOL 1033 PG 322

152-04-035-0000
JOSEPH GOLINSKI
51 LIBERTY LANE
KEENE, NH 03431
VOL 2811 PG 152

152-04-002-0100
ANTHONY D. DITULLIO &
KIM H. DITULLIO
58 OLD WALPOLE ROAD
KEENE, NH 03431
VOL 2543 PG 809

152-04-002-0200
CARL S. BIANCHI &
PATRICIA K.A. BIANCHI
64 OLD WALPOLE ROAD
KEENE, NH 03431
VOL 2923 PG 1127

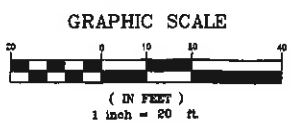
914-07-019-0000
CHARLES O. CHISHOLM
9 JEFFERSON DRIVE
PAXTON, MA 01862
VOL 2711 PG 124



- LEGEND**
- - PIN FOUND
 - - REBAR SET
 - - UTILITY POLE
 - - GUY ANCHOR
 - - WATER GATE
 - - SEWER MANHOLE
 - - TREE LINE
 - - RETAINING WALL
 - - APPROXIMATE ABUTTER LINE
 - - BUILDING SETBACK LINE
 - - EXISTING CONTOUR LINE
 - - SOILS LINE
 - - WIRE FENCE
 - - CURB LINE
 - - OVERHEAD UTILITIES
 - - APPROX. WATER LINE
 - - APPROX. SEWER LINE

REFERENCE PLANS

- 1) "SUBDIVISION PLAT, MAP 914 LOT 152-042, 60 OLD WALPOLE ROAD, KEENE, NH 03431, PREPARED FOR LEROY A. & DIANE H. BORDERN"; PREPARED BY RICHARD P. DREW LLC, DATED JUNE 23, 2008; REVISED THROUGH 9/3/08, SCALE 1"=20'; RECORDED AT CCRD CABINET 13 DRAWER 5 NUMBER 42.
- 2) "SUBDIVISION PLAN, LAND OF GARY R. & CAROLE E. SANDS AND JONATHAN R. EVANS, 72 OLD WALPOLE RD, KEENE, NEW HAMPSHIRE"; PREPARED BY WILLIAM J. FITZGERALD; DATED FEB. 24, 2000; SCALE 1"=30'; ON FILE AT THIS OFFICE.
- 3) "LONGMEADOW, A SUBDIVISION BY PAKO HOMES, INC., KEENE, N.H."; PREPARED BY A. VORCE & ASSOC.; DATED FEB. 1968; SCALE 1"=50'; RECORDED IN PLAN BOOK 24 PAGE 11.



SURVEYOR'S CERTIFICATION

THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN URBAN SURVEY AS SPECIFIED IN NH LAN 500.1.

I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.



OWNER CERTIFICATIONS

I, RICKY A. WILLSON, CERTIFY THAT I AM THE OWNER OF 152-04-003-0000, AND APPROVE OF THIS SUBDIVISION.

RICKY A. WILLSON
DATE: JUNE 16, 2017

APPROVED AS A SUBDIVISION
IN ACCORDANCE WITH THE PROVISIONS OF RSA 674:
THE CITY OF KEENE PLANNING BOARD
BY: _____, CHAIRMAN

2 LOT SUBDIVISION
152-04-003-0000
72 OLD WALPOLE ROAD
KEENE, NH 03431
DATE: JUNE 16, 2017 SCALE: 1"=20'
PREPARED FOR:
RICKY A. WILLSON
544 ROUTE 12A
SURRY, NH 03431-8124
CARDINAL SURVEYING & LAND PLANNING
Keene, New Hampshire 03431
Tel. (603) 499-6151 SHT 1/1

STAFF REPORT

SPR-08-17 SITE PLAN REVIEW – WATER & GROVE ST COMMERCIAL PARKING LOT

Request:

Applicant Wendy Pelletier of Cardinal Surveying & Land Planning, on behalf owner Jeanette Wright, proposes a commercial parking lot at the corner of Grove and Water Street. The site is 4,635 SF in size and located in the High Density Zoning District (TMP# 028-03-011).

Background:

The proposed project involves a 4,635 square foot (0.11-acre) parcel at corner of Grove and Water Street. Historically, this parcel was used as a parking lot for the former Lancaster Shoe Company, which was located across Water Street in the site of the current Cityside housing development. When the two properties conveyed to separate owners in the 1990s, the parking lot no longer served as an accessory use to a business or industry. The lot is too small to be developed with a structure in the High Density District (minimum lot size requirement is 6,000 square feet). In addition, a commercial parking lot is not an allowed use in the High Density District.

In 2016, the Owner received an approval for a variance with conditions from the Zoning Board of Adjustment to use the lot as a commercial parking lot. The condition placed on the approval was as follows: “That the commercial parking lot include site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department.”

The image below was taken in 2016 of the site at the corner of Grove and Water Streets.



Completeness:

The Applicant has requested site-specific exemptions from providing the following technical plan requirements: grading plan, lighting plan, and visual and architectural details. Staff has determined that exempting the applicant from submitting this information would have no bearing on the merits of the application and recommends that the Planning Board grant these exemptions and accept the application as “complete.”

Departmental Comments:

Staff from the Code, Fire, and Engineering Departments noted no issue with the proposed plan. Staff from the Police Department provided the following comments:

“A few significant issues. They plan to eliminate the Water St. entrance using a pair of plastic 30” planters. These planters (and the five similar ones on Grove St) will be what we call an “attractive nuisance” and will be overturned / destroyed...within the first few weeks of their appearance, and the contents will be spilled all over the sidewalk / street for the City to have to deal with...The four-foot tall vinyl fence bounding the West edge will suffer a similar fate...In short, all of the plastic [planters] will get

STAFF REPORT

destroyed / vandalized rapidly. Also, there is no lighting, it would be safer for the cars if there were some. I understand there's none presently."

Application Analysis:

The following is a review of the Board's relevant standards in relation to the proposed application:

1. **Drainage:** On the project site, the Applicant does not propose any modifications to the existing grading. Currently, the lot is entirely covered with pavement.
2. **Sedimentation and Erosion Control:** No excavation or construction activity is proposed as part of this application. This standard is not applicable.
3. **Hillside Protection:** No precautionary or prohibitive slopes are present on the site. This standard is not applicable.
4. **Snow Storage:** The Applicant proposes to store snow along the southwestern area of the lot. The snow storage is indicated on the proposed plan. Currently, there is no physical barrier between the property adjacent to the southern boundary of the lot. Per the Planning Board Development Standards, "snow shall be stored so as to prevent accumulation on adjacent properties (unless specific approval for such storage has been obtained)." In the absence of removing snow from the lot, snow storage may need to occupy some of the southern-most parking spaces to avoid accumulation on the adjacent property.
5. **Flooding:** This site is not located within the 100-Year Floodplain. This standard is not applicable.
6. **Landscaping:** The Applicant does not propose to install any new landscaping as part of this project. The Applicant has proposed to install 7, 20" tall x 30" across plastic planters between the adjacent rights of way and the parking areas in place of installing permanent landscaping in the ground. As these planters are moveable and not affixed to the ground, it is staff's determination that the Applicant does not meet the landscaping requirements of the Zoning Ordinance for commercial parking lots. These standards are listed below:

"Sec. 102-1229. - Parking lots that abut public rights-of-way.

(a) For lots in commerce (COM), commerce limited (CL), central business limited (CBL) zones and commercial lots in all zones, parking lots that abut public rights-of-way must be landscaped along the border of the public right-of-way using one or more of the following options or by any other landscaping treatment approved by the planning board:

- (1) A minimum of one shade tree per 35 linear feet or portion thereof and ten shrubs per 35 linear feet excluding curb cuts;*
- (2) An earthen berm, minimum 2½ feet in height, and one shade tree per 35 linear feet or portion thereof and five shrubs per 35 linear feet excluding curb cuts;*
- (3) If there is a minimum three-foot drop (average) from the street to the parking lot, one shade tree per 35 linear feet or portion thereof and five shrubs per 35 linear feet excluding curb cuts;*
- (4) A minimum three-foot-high fence of brick, stone or finished concrete (cannot be concrete block) with a minimum four-foot buffer strip between the fence and street and one shade tree per 35 linear foot or portion thereof excluding curb cuts;*
- (5) If the area abutting the street is an existing woodland, a 25-foot woodland buffer may be left in lieu of landscaping; or*
- (6) Any combination of subsections (a)(1) through (5) of this section or any landscaping plan approved by the planning board.*

STAFF REPORT

(b) In any of the options in subsection (a) of this section, two ornamental or two evergreen trees may be substituted for one shade tree for one-half of the required shade trees.

(c) There cannot be a gap of more than six feet between trees and shrubs.”

The Applicant notes that the planters, which are self-watering, weigh 300 lbs each when filled with 25 gallons of water. The manufacturer’s specifications for the planters note that the water reservoir should be drained at the end of the growing season to prevent freezing damage. The weight of the plastic planter without water is 20 lbs.

When the ZBA granted the variance for use of this lot as a commercial parking lot in July of 2016, the Owner’s representative stated that there are landscaping and curb issues to rectify, and the ZBA conditioned that the commercial parking lot include site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department.

This standard does not appear to be met.

8. Screening: The Planning Board Development Standard for Screening (Standard #8) states that “landscaping should be used whenever possible...to screen vehicular headlights from adjacent properties.” The Applicant has proposed to install a 4-foot high vinyl fence along the western boundary of the lot. This fence would serve to screen the headlights of vehicles from the adjacent property. The Applicant has suggested that the proposed plastic planters would serve to screen vehicle headlights from the properties on the east side of Grove Street, across from the parking area. As these planters are not installed in the ground, Staff do not view them as an adequate measure of screening. Staff recommends permanent, year-round screening that does not impede sight lines and helps to reduce headlight glare. This standard does not appear to be met.
7. Noise: No significant increase in noise level is anticipated as a result of this proposal. This standard appears to be met.
9. Air Quality: No significant impacts to air quality are anticipated as part of this proposed project. This standard appears to be met.
10. Lighting: There are four City street lights present within 50-100’ of the proposed parking lot. One of these lights is present at the corner of Water and Grove Street (across the street from the lot). This may be adequate lighting to illuminate the parking area; however, the Police have expressed concerns for safety. The Applicant should be asked to address the adequacy of lighting given the proposed use of the site.
11. Sewer and Water: The site will be used as a parking lot and will not require sewer or water connection; however, city water and sewer is available at this location. This standard is not applicable.
12. Traffic: The plan submitted by the Applicant delineates 12 parking spaces. The Applicant notes that these spaces would be leased by tenants or owners of nearby houses/apartments. It is anticipated that the daily traffic volume would not be greater than 12 vehicles leaving and entering the site. This level of traffic volume does not appear to warrant the need for a traffic study.

In 2015, the estimated Average Annual Daily Traffic (AADT) volume on Water Street was 4,200 vehicles. Recent AADT data is not readily available for Grove Street.

13. Comprehensive Access Management: The lot currently has two entrances, one from Grove Street and one from Water Street. Both entrances are in close proximity to the intersection of Grove and Water

STAFF REPORT

Street. It is difficult for vehicles to turn out of the Water Street entrance as there is an existing utility pole blocking sight lines to the right of the entrance, and there is limited space for vehicles to make right hand turns without entering into the opposing travel lane. Vehicles making left-hand turns out of the Grove Street entrance would potentially have to cross three travel lanes as there is a right hand turn lane on Grove Street near its intersection with Water Street.

The Applicant has proposed closing the Water Street entrance to the lot by placing two of the proposed plastic planters at the entrance. Staff do not view the plastic planters as an adequate solution to closing off this entrance. The planters without water are approximately 20lbs and can be easily moved or relocated. These planters would be more vulnerable to damage by vehicles than a permanent improvement.

The Applicant has proposed to install a parking space at the southeast corner of the lot. There is not enough space for a 22' travel aisle between this space and the opposing parking space in the southwest corner of the lot. A 22' travel aisle is required per Section 102-794 "Parking lot and parking space requirements" of the Zoning Ordinance.

Additionally, the striping for the southwest parking space does not meet the minimum dimensions required for a parking space (8'x18') per Section 102-794 of the Zoning Ordinance.

14. Hazardous and Toxic Materials: The Applicant reports there is no knowledge of hazardous or toxic materials on the site. This standard appears to be met.
15. Filling / Excavation: No changes to the existing grades will be made on the site. This standard appears to be met. An excavation permit from the City would be required for any excavation in the City Right-of-Way.
16. Wetlands: No wetlands are present on this site. This standard is not applicable.
17. Surface Waters: No surface waters are present on this site. This standard is not applicable.
18. Stump Dumps: As this project does not involve any tree clearing, this standard appears to be met.
19. Architectural and Visual Appearance: No new buildings are proposed as part of this application. This standard is not applicable.

RECOMMENDATION FOR APPLICATION:

Staff will provide a recommended motion at the meeting on July 24, 2017.

CITY OF KEENE | PLANNING BOARD

SITE PLAN REVIEW / MODIFICATION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.

A Project Name PARKING LOT SITE PLAN		Date Received/Date of Submission:	
Tax Map Parcel number(s) 028-03-011-0000		Date of pre-application meeting:	
Project Address: WATER & GROVE		Date Application is Complete:	
Acreage/S.F. of Parcel: 211 / 4035		Planning Department File #: SPR-08-17	
Zoning District: HIGH DENSITY		Name: Jeannette Wright	
Owner		Address: 150 Meetinghouse Rd Hinsdale NH 03451	
		Telephone \ Email: 603-256-6388	
Applicant		Signature: Jeannette Wright	
		Name: CAROLINE BIRLEYNIK WENDY FELLETER	
		Address: 403 WASHINGTON ST	
		Telephone \ Email: 499-6151	
		Signature: Wendy Felletier	

Modifications: Is this a modification to a previously-approved site plan: No Yes: SPR#: ___ Date: ___

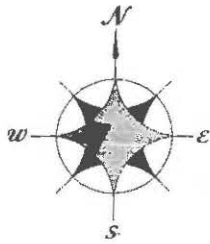
For those sections of the application that are not affected by the proposed modification to the previously approved site plan, you are encouraged to request exemptions in lieu of submitting required documents.

B Descriptive Narrative Including

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development | <input type="checkbox"/> Sedimentation Control | <input checked="" type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input checked="" type="checkbox"/> Vegetation | <input checked="" type="checkbox"/> Parcel size |
| <input checked="" type="checkbox"/> Location of access points | <input checked="" type="checkbox"/> Debris management | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

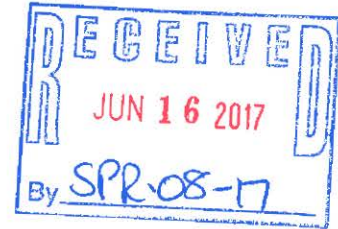
C A complete application must include the following

- | | |
|--|---|
| <input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional |
| <input type="checkbox"/> Two (2) copies of descriptive narrative | <input checked="" type="checkbox"/> Two (2) copies on 8.5" x 11" or 11" x 17" |
| <input checked="" type="checkbox"/> Certified list of all owners of property within 200' | <input checked="" type="checkbox"/> Three (3) copies of all technical reports |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter | <input type="checkbox"/> Two (2) color architectural elevations on 11" x 17" |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (22" x 36") | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing, mailing notices out to abutters |
| <input type="checkbox"/> Three (3) copies of "D" size architectural elevations (22" x 36") | |



CARDINAL SURVEYING AND LAND PLANNING, LLC

463 Washington Street
Keene, NH 03431
(603) 209-1989
www.cardinalsurveying.net
"Know Your Boundaries"



June 15, 2017

Water and Grove Street
Parking Lot

Project Narrative

Map 028-03-011-0000 is a 4635 s.f. lot that was previously used as a parking area for Princess Shoe. The ZBA approved the continued use of the lot as a commercial parking lot at their July 5, 2016 meeting.

The lot currently has two entrances, one from Grove and one from Water Street. The entrance from Water Street will be taken out of use and blocked with 2-30" diameter planters.

7-8x18 parking spaces will run along the west side of the lot, 4 on the east side and one space in the southeast corner. There will be a 22' aisle between the spaces.

5-30" diameter planters will act as site screening on the Grove Street side. A 4' high vinyl fence will screen the west side of the lot.

The lot is currently covered 100% with pavement. The use and coverage have been grandfathered in, therefore no landscaped areas or impermeable surfaces have been added.

City of Keene
New Hampshire

MEMORANDUM

TO: Wendy Pelletier

FROM: Tara Kessler, Planner

DATE: June 28, 2017

SUBJECT: Comments on Site Plan Application for 0 Grove Street Parking Lot

Staff from the City of Keene Planning, Code, Engineering, Police and Fire Departments have conducted an initial review of the Site Plan application for 0 Grove Street (TMP# 028-03-011). Included below are comments and questions on the submitted materials. Please, feel free to submit additional information and/or revised drawings until the deadline of July 10. Conversely, you may also choose not to do any revisions and instead, discuss your proposed plan / design choices with the Planning Board at its meeting on July 24, 2017. Please, feel free to contact me with any questions at 603-352-5474 or tkessler@ci.keene.nh.us.

Police Department Comments:

“A few significant issues. They plan to eliminate the Water St. entrance using a pair of plastic 30” planters. These planters (and the five similar ones on Grove St) will be what we call an “attractive nuisance” and will be overturned / destroyed...within the first few weeks of their appearance, and the contents will be spilled all over the sidewalk / street for the City to have to deal with...The four-foot tall vinyl fence bounding the West edge will suffer a similar fate...In short, all of the plastic [planters] will get destroyed / vandalized rapidly. Also, there is no lighting, it would be safer for the cars if there were some. I understand there’s none presently.”

Planning Department Comments:

Landscaping/Screening:

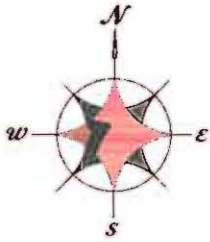
1. While we had discussed options for closing off the driveway to Water Street that were less permanent than closing the curb cut and restoring the sidewalk, staff do not feel the plastic planters are an adequate solution to closing off this access point. Staff agree with the comments provided by the Police Department above. These planters will be moveable and could easily be stolen or relocated.
2. The proposed plastic planters would not be considered landscaping as they would be temporary and moveable from the site. For similar reasons, the planters would not be considered an adequate form of screening for the headlights of vehicles from the adjacent properties.

Per Section 102-1229 Parking Lots that Abut Public Rights-of-Way “parking lots must be landscaped along the border of the public right-of-way.” This section of the Code provides a list of options for landscaping the lot and also allows for an alternative landscaping plan to be approved by the planning board. In addition, the Planning Board Development Standard for Screening (Standard #8) states that “landscaping should be used whenever possible...to screen vehicular headlights from adjacent properties.”

When the ZBA granted the variance for use of this lot as a commercial parking lot in July of 2016 (minutes are attached), the condition of approval was “That the commercial parking lot includes site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department.”

Snow Storage:

1. Please indicate where snow storage will be located on the plan.



CARDINAL SURVEYING AND LAND PLANNING, LLC

463 Washington Street
Keene, NH 03431
(603) 209-1989
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July 10, 2017

Water and Grove Street
Parking Lot

Response to Staff Comments

This is an existing non-conforming parking lot. Because it is existing, it does not need to meet the requirements for setbacks or green space. There is currently no green space or landscaping on the lot. We have added landscape planters to act as physical screening and landscaping. These will be planted with perennial shrubs and plant.

Police Comments: Concerns about the planters being moveable objects and subject to being destroyed/overturned: The planters specified are 20"x30" plastic planters (see attached spec sheet) with self watering storage. Once planted and full of water they weigh approximately 300 lbs. We feel these are of significant mass that they will not be disturbed.

Fencing: We feel that the vinyl fence is the best solution to screen the parking lot from the adjacent residence.

Lighting: There are 4 street lights within 50'-100' of the parking lot, 3 on Water Street with one of them being directly across the street, and one on Grove. We feel that there is sufficient light on the parking lot.

Planning Department Comments:

1. The planters to block the curb cut can be upgraded to a heavier more permanent planter if the 300lb. planters do not meet the requirements.
2. We believe the planters (see attached spec sheet) that weigh 300 lbs once filled are a viable alternative option for landscaping. Planted with perennial shrubs they would provide a screen to the residence across the road and are spaced with 30" clear between planters, this is closer than the recommended gap of less than 6'.

Snow Storage:

Note added on the south lot line.

Mandy A. Pellet





NOTICE OF DECISION
July 5, 2016

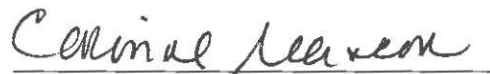
ZONING BOARD OF ADJUSTMENT

CASE NUMBER: ZBA 16-34
Property Address: 0 Grove St.
Zone: High Density District
Owner: Jeanette Wright and Michael Lynch
Petitioner:

You are hereby notified that the request for a Variance for property located at 0 Grove St., Keene, which is in the High Density District and based upon the record and which is incorporated by reference has been approved 5-0 with conditions. This is to permit the current open lot to be converted to a commercial parking lot per Section 102-422 of the Zoning Ordinances.

Conditions:

1. That the commercial parking lot includes site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department.



Corinne Marcou, Clerk

NOTE: Any person affected has a right to appeal this Decision. If you wish to appeal, you must act within thirty-(30) days of the date of this notice. The necessary first step, before any appeal may be taken to the Courts, is to apply to the Board of Adjustment for a rehearing. The motion for rehearing must set forth all the grounds on which you will be base your appeal. See New Hampshire Statutes, RSA Chapter 677, for details.

City of Keene
New Hampshire

ZONING BOARD OF ADJUSTMENT
MEETING MINUTES

Tuesday, July 5, 2016

6:30 PM

City Hall Committee Room

Members Present:

Louise Zerba, Chair
Joseph Hoppock, Vice Chair (Arrived at
6:33 PM)
David Curran
Jeffrey Stevens
Stephen Bragdon, Alternate (Departed at
7:12 PM)
John Rab, Alternate

Staff Present:

Gary L. Schneider, Plans Examiner

Members Not Present:

Nathaniel Stout
Joshua Gorman, Alternate

I. Introduction of the Board Members

Chair Zerba called the meeting to order at 6:30 PM and introduced the Board Members.

II. Minutes of Previous Meeting- June 6, 2016

Mr. Curran gave a correction to the minutes of June 6, 2016: on Pg. 1 of the minutes in the last paragraph, Mr. Gorman's first name should be spelled "Joshua" not "Joshus."

Mr. Curran made a motion to accept the minutes of June 6, 2016 as amended. The motion was seconded by Mr. Stevens and carried unanimously.

Although not in the agenda, Chair Zerba indicated the need to address a motion for re-hearing of ZBA 16-14, application for Variance at 141 Winchester Street, Keene. Mr. Stevens recused himself.

Chair Zerba indicated because she was not at the last meeting, she would not vote on this matter. Mr. Hoppock indicated the Variance regarded conforming to onsite parking requirements. He said he does not see any good reason to re-hear. Mr. Curran and Mr. Rab agreed.

Mr. Hoppock moved to deny the motion to re-hear ZBA 16-14, which was seconded by Mr. Curran.

On a vote of 3-0, the Zoning Board of Adjustment denied the motion to re-hearing ZBA 16-14.

Mr. Stevens returned to the Board.

III. Unfinished Business

None at this time.

IV. Hearings

ZBA 16-34:/ Petitioner, Elm City Properties, LLC of 16 North Shore Road, Spofford, NH, requests a Variance for property located at 0 Grove Street, Keene, owned by Jeannette Wright and Michael Lynch of 150 Meetinghouse Road, Hinsdale, NH which is in the High Density District. The Petitioner requests a Variance to permit the current open lot to be converted to a commercial parking lot per Section 102-422 of the Zoning Ordinance.

Mr. Schneider explained that across the street from the property in question is an apartment complex which used to be a factory. When it was a factory, the parking lot in question was used as parking for employees and considered accessory to the factory property. The lot is no longer accessory to a primary use. The property is in the High Density Zone near the Central Business District. The petitioners seek to have the property converted to a commercial parking lot.

Chair Zerba recognized Judy Kalich, President and Owner of Elm City Properties, LLC, Keene. Ms. Kalich indicated she was there to represent herself as well as the property owners, Jeannette Wright and Michael Lynch. The petitioners request a Variance to alleviate overcrowded parking in the neighborhood, to provide alternative parking for abutters, and to improve the aesthetics of the property. Ms. Kalich indicated the commercial lot would increase parking for tenants and in general.

Mr. Hoppock questioned how many cars would fit in the lot (65' x 85') at capacity. Mr. Schneider replied that each parking space is required to be 8' x 18'. Chair Zerba asked if any improvements will be made to the lot. Ms. Kalich replied there are landscaping and curb issues to rectify and there will be City guidance on its updating. Mr. Schneider added the application will be heard by the Planning Board if approved by the ZBA. Ms. Kalich indicated there are currently curbs and two designated entrances to the lot.

Chair Zerba asked if all improvements, including lighting and curbs, will be addressed by the Planning Board. Mr. Schneider said yes, and the ZBA can indicate conditions as well. Mr. Hoppock asked if there are any other commercial lots in the High Density Zone. Mr. Schneider replied there are none that standalone that he is aware of.

Chair Zerba asked Ms. Kalich if they have considered building a small structure on the property. Ms. Kalich indicated the property is too small. Ms. Kalich continued that this property was approved as a commercial lot by the ZBA 10 years ago as petitioned by another landlord who ultimately abandoned the improvements. Mr. Schneider indicated he had the details of that 2006 application.

With no public comment in support or opposition, Chair Zerba asked the Board to deliberate.

Mr. Stevens indicated he is in support of this Variance as increased parking is necessary in these neighborhoods. Mr. Curran agreed indicating improvements to the current condition of the lot are welcome. Mr. Rab added that based on the uses allowed in that district, there is no other logical use of that property.

Mr. Rab made a motion to approve ZBA 16-34, which was seconded by Mr. Curran.

Chair Zerba suggested amending the motion to include site review by the Planning Department.

Mr. Rab made the following amendment to the main motion with the condition that the commercial parking lot includes site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department. The amendment was seconded by Mr. Hoppock and carried unanimously.

Chair Zerba went over the Findings of Fact:

Granting the Variance would not be contrary to the public interest: Granted 5-0.

If the Variance were granted, the spirit of the Ordinance would be observed: Granted 5-0.

Granting the Variance would do substantial justice: Granted 5-0.

If the Variance were granted, the values of the surrounding properties would not be diminished: Granted 5-0.

Unnecessary Hardship

E. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the Variance would result in unnecessary hardship because:

ix. No fair and substantial relationship exists between the general public purpose of the ordinance provision and the specific application of that provision to the property:

Granted 5-0.

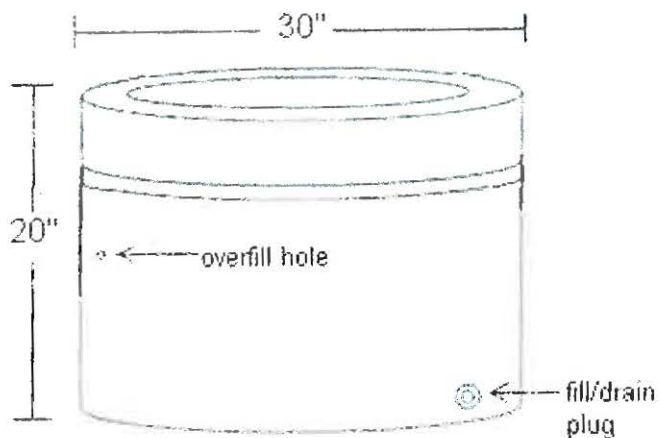
x. The proposed use is a reasonable one: Granted 5-0.

On a vote of 5-0, the Zoning Board of Adjustment approved the application for ZBA 16-34 with the condition that the commercial parking lot includes site screening, lighting, curb cuts, and landscaping at the direction of the Planning Department.

ZBA 16-36: Petitioner, Metro Sign & Awning of 170 Lorum St., Tewksbury, MA, requests a Variance for property located at 43 Emerald St., Keene, owned by Barry J. Fox, of 50 Eastwood Road, Keene, which is in the Central Business District. The Petitioner requests a Variance to being required to obtain a sign permit and comply with the Sign Code per Section 102-1283 of the Zoning Ordinance.

Mr. Stevens and Mr. Rab recused themselves and Mr. Bragdon took their place.

Mr. Schneider indicated the property in question is in the Central Business Zone. The property used to be the site of Napa Auto Parts and more recently the Youth Dance Club. The petitioners request a Variance for an internally illuminated sign which is not allowed in the Central Business



Specifications:

- Dimensions: 30" Overall Diameter, 20" Height, 2" Wall
- Weight: 20 lbs
- Materials: Rotationally molded HDPE with UV inhibitors
- Capacity: 25 gallon water reservoir, 24 gallon planting area
- Color Options: Stone Effect: Charcoal, Emerald, Granite, Ice, Sand, and Tan
Solid Colors: Royal Blue, Red, Terra Cotta, Reflex Blue, White, and Black
- Logos: Custom vinyl self-adhesive logos available

Self-Watering Planter

The following information is designed to help you setup and maintain your planter for years of effective use.

Specifications:

Dimensions:	20" tall x 30" across
Weight Empty	20 pounds
Weight Full (approx.)	300 pounds
Water Capacity	24 gallons
Earth Capacity	20 gallons

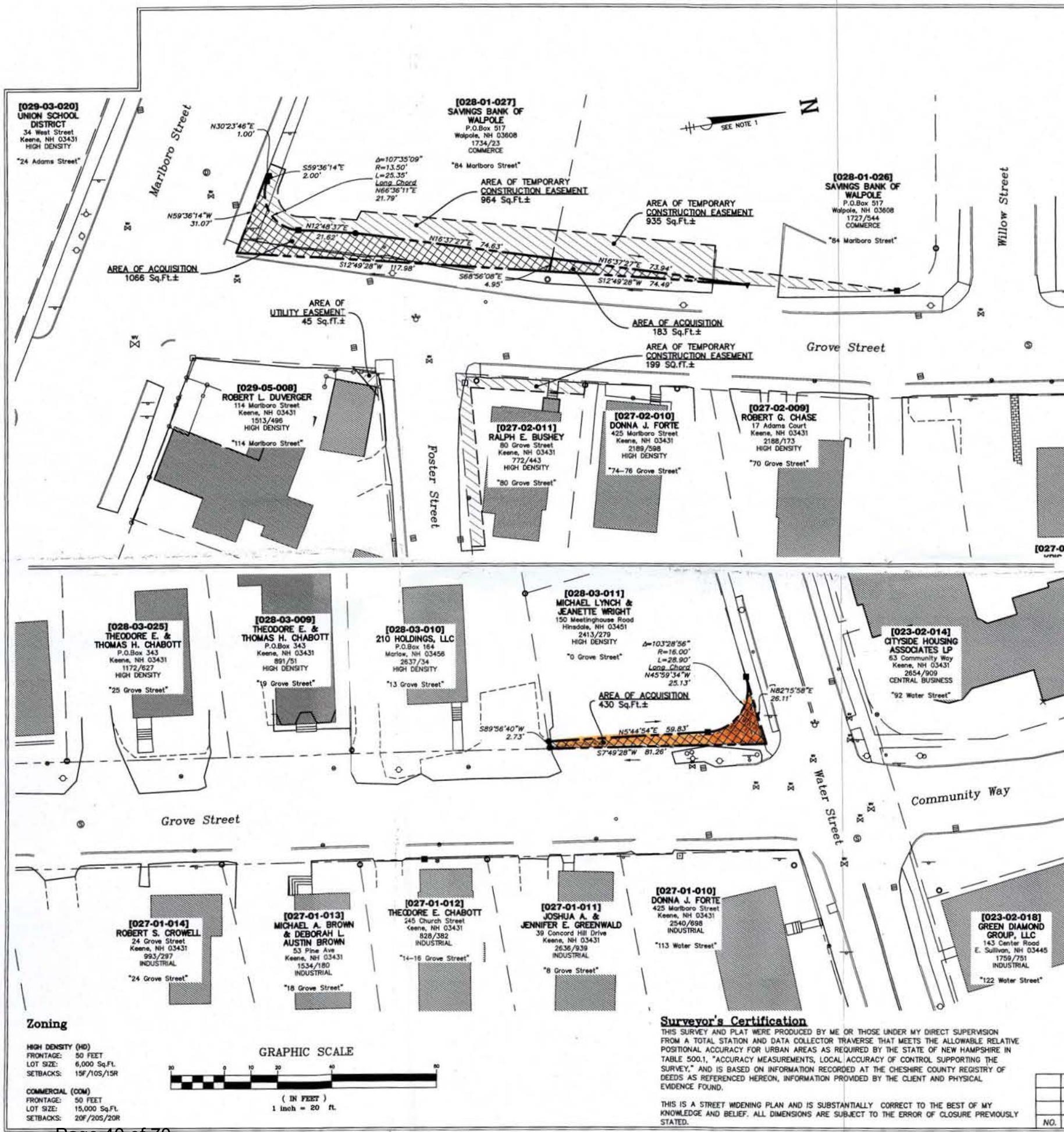
Basic Planting Instructions:

Place the planter in the location you intend to keep it before filling with earth or water. We recommend a solid, level surface for consistent watering. Be sure the drain valve at the bottom is securely fastened and accessible. Fill the water reservoir through the top with about 20 gallons of water, letting that drain through into the bottom. The water will take several minutes to travel through the holes.

To keep earth from blocking the holes or mixing with the water in the reservoir a few quarts of vermiculite, small stones or perlite is recommended. When the water has drained through, fill the planter cavity with earth and plantings. If you are using a single plant, our experience suggests buying a pot no larger than 7 gallons, due to the depth of the planter. Water the new plantings with 5-6 gallons; this will fill the reservoir and any excess will flow through the overflow above the drain.

Because a freshly planted bush has root hairs in a ball, watering every other day is recommended for the first week until the roots have traveled to the bottom of the pot.

In Northern Climates, drain the reservoir at the end of the growing season to prevent freezing damage, In Southern climates the reservoir should be drained and immediately refilled every 6 months.



ROW Notes

GROVE STREET - A CLASS V PUBLIC WAY, LAID OUT NOV. 11, 1871, VOL. 1, PG. 367 OF THE CITY HIGHWAY RECORDS. - 40' WIDE. THE RIGHT OF WAY LINES SHOWN ARE BASED ON RECORD LAYOUT, PLANS AND PHYSICAL EVIDENCE FOUND. ROW COMPUTED FROM RECORD LAYOUT BEST FIT ON MONUMENTATION FOUND.

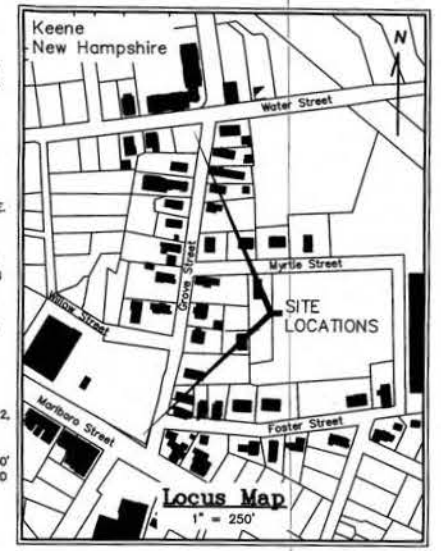
FOSTER ST. - A CLASS V PUBLIC HIGHWAY, LAID OUT DEC. 8, 1879, VOL. 2, PG. 99, 30' WIDE. SEE K.E.D. PLAN #3-144. ROW COMPUTED FROM BEST FIT OF RECORD LAYOUT ON MONUMENTATION FOUND.

MARLBORO STREET - A CLASS V PUBLIC HIGHWAY, RE-SURVEYED IN 1836, VOL. 1, PG. 38, FOUR ROADS WIDE. ROW COMPUTED FROM RECORD LAYOUT FIT ON STONE MONUMENTS FOUND ON SOUTH SIDE.

MYRTLE ST - A CLASS V PUBLIC HIGHWAY, LAID OUT NOV. 11, 1871, VOL. 1, PG. 367, TO A POINT EAST OF FOSTER ST. EXTENDED NOV. 12, 1882, VOL. 2, PG. 113. FIRST LAYOUT 40' WIDE AND THE EXTENSION 33' IN WIDTH. ROW COMPUTED FROM BEST FIT OF RECORD LAYOUT ON MONUMENTATION FOUND.

WATER STREET - A CLASS V PUBLIC HIGHWAY, LAID OUT BY THE COURT FROM MAIN ST. TO THE ROXBURY RD. IN 1850, COURT RECORDS, VOL. 2, PG. 457. TWO ROADS WIDE AT THE WEST END, 50' IN THE MIDDLE PORTION AND THREE ROADS AT THE EAST END. WIDENED AT THE WEST END TO 40' BY THE COURT IN 1854, RECORDS, VOL. 2, PG. 54. ROW SHOWN FROM EXISTING MONUMENTATION FOUND.

WILLOW STREET - A CLASS V PUBLIC HIGHWAY, LAID OUT, IN PART, AS WATER ST. CT., AUG. 2, 1876, VOL. 2, PG. 47, 40' WIDE. EXTENDED TO MARLBORO ST., MAY 22, 1886, VOL. 2, PG. 210, 40 FT. WIDE. WIDENED ON THE WEST SIDE, FROM MARLBORO ST. TO THE FIRST ANGLE, NOV. 9, 1898, VOL. 3, PG. 277, TO 42', DISCONTINUED FROM ANGLE TO MARLBORO ST. BY RESOLUTION #90, MARCH 15, 1964. 40' WIDE. SEE CHESHIRE REGISTRY, VOL. 727, PG. 297 & 299. ROW SHOWN FROM MONUMENTS FOUND AND PLAN REFERENCE NO.1



Plan References

1. WILLOW STREET RELOCATION, KEENE, NH, DATED OCTOBER 7, 1964 BY R.K. PIPER (K.E.D.)
2. CITY OF KEENE ENGINEERING DEPARTMENT, WATER, DRAIN, SEWER, SMALL PLANS BOOK AND SEWER & WATER TIE CARDS
3. DIGITAL FILE: "keenesewerdata.dwg" OBTAINED FROM KED
4. DIGITAL FILE: "tox2003final.dwg" OBTAINED FROM KED
5. PLAN SHOWING PROPERTY TO BE CONVEYED TO SAVINGS BANK OF WALPOLE BY O.K. FAIRBANKS HOLDING CORP, DATED DEC. 30, 1999 BY DIBERNARDO ASSOCIATES (not recorded - obtained from surveyor)

Notes

1. THE BEARINGS SHOWN ON THIS PLAN ARE REFERENCED TO THE NAD83 NH STATE PLANE GRID OBTAINED FROM A GPS SURVEY AND SERVE ONLY TO DEFINE ANGULAR RELATIONSHIPS.
2. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY.
3. THE ROAD RIGHT OF WAY LINES WERE DETERMINED FOR THIS PROJECT FROM RECORDS RESEARCH PERFORMED AT THE CITY AND THE REGISTRY OF DEEDS AND FROM PHYSICAL EVIDENCE OF MONUMENTS FOUND. ABUTTING SIDELINES ARE APPROXIMATE EXCEPT WHERE THEY ABUT FEE ACQUISITION AREAS.

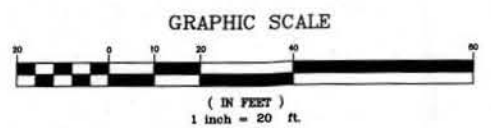
Symbol Legend

	CATCH BASIN		GAS VALVE
	DRAIN MANHOLE		GAS SHUT OFF VALVE LID
	STORM SEWER LINE		GAS LINE
	HYDRANT		SIGN
	WATER VALVE		IRON PIN/PIPE
	CURB STOP		NAIL
	WATER LINE		STONE/CONCRETE BOUND
	SEWER MANHOLE		RAILROAD SPIKE
	SANITARY SEWER TEE STAND PIPE		5/8" REBAR WITH "SVE" CAP TO BE SET
	SEWER CLEANOUT		GRANITE BOUND WITH BRASS "SVE" DISK TO BE SET
	SANITARY SEWER LINE		RAILROAD SPIKE TO BE SET
	UTILITY POLE W/GUY WIRES, OVERHEAD LINES AND NUMBERS		BRASS DISK STAMPED WITH "SVE" TO BE SET
	ELECTRIC MANHOLE		KEENE ENGINEERING DEPARTMENT
	TELECOM MANHOLE		CHESHIRE COUNTY REGISTRY OF DEEDS
	UNDERGROUND ELECTRIC LINE		TAX MAP PARCEL NUMBER
	UNDERGROUND TELECOM LINES		DEED VOLUME & PAGE

Zoning

HIGH DENSITY (HD)
 FRONTAGE: 50 FEET
 LOT SIZE: 6,000 Sq.Ft.
 SETBACKS: 15F/10S/15R

COMMERCIAL (COM)
 FRONTAGE: 50 FEET
 LOT SIZE: 15,000 Sq.Ft.
 SETBACKS: 20F/20S/20R



Surveyor's Certification

THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE THAT MEETS THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR URBAN AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.

THIS IS A STREET WIDENING PLAN AND IS SUBSTANTIALLY CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ALL DIMENSIONS ARE SUBJECT TO THE ERROR OF CLOSURE PREVIOUSLY STATED.

Grove Street Widening Plan

Prepared for
City of Keene
 3 Washington Street, Keene, NH

SVE Associates © 2013
 Engineering Surveying Landscape Architecture Planning
 47 Marlboro St., Keene, NH 03431 Phone (603) 355-1532
 Fax (603) 355-2909 website: www.sveassoc.com

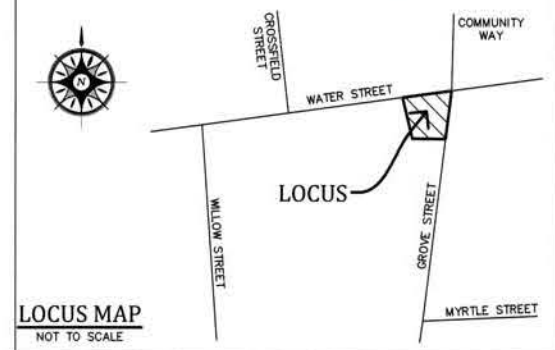
DATE PLAN:	3/11/2013	PROJ. NO.:	K2134
DATE SURVEY:	9/11-1/12	CAD NO.:	K2134 grove street widening.dwg
DESIGNED BY:		SHEET	S1
DRAWN BY:	R.J.H.		
CHECKED BY:	R.J.H.		
SCALE:	1" = 20'		

NO.	DATE	REVISION	BY



023-02-014-0000
 CITYSIDE HOUSING ASSOCIATES LP
 63 COMMUNITY WAY
 KEENE, NH 03431
 VOL 2654 PG 909

023-02-014-0100
 CITY OF KEENE
 3 WASHINGTON STREET
 KEENE, NH 03431



WATER STREET

COMMUNITY WAY

GROVE STREET

028-03-012-0000
 CHASJAM & SONS I LLC
 83 TIMBERLANE DRIVE
 KEENE, NH 03431
 VOL 2593 PG 294

028-03-011-0000
 4,635 S.F.
 0.11 ACRES

027-01-010-0000
 DONNA FORTE
 KEENE STUDENT RENTALS
 29 RALSTON STREET
 KEENE, NH 03431
 VOL 2540 PG 698

027-01-011-0000
 JOSHUA A. GREENWALD &
 JENNIFER E. GREENWALD
 39 CONCORD HILL DRIVE
 KEENE, NH 03431
 VOL 2636 PG 939

028-03-010-0000
 210 HOLDINGS LLC
 PO BOX 164
 MARLOW, NH 03456
 VOL 2637 PG 34

NOTES

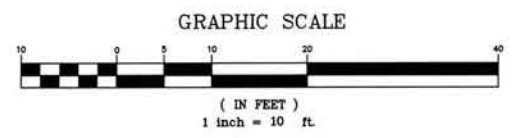
- THE PURPOSE OF THIS PLAN IS TO DEFINE THE BOUNDARIES AND SHOW EXISTING CONDITIONS OF 028-03-011-0000.
- OWNERS OF RECORD:
 028-03-011-0000
 MICHAEL LYNCH AND JEANETTE WRIGHT
 150 MEETINGHOUSE ROAD
 HINSDALE, NH 03451
 VOLUME 2413 PAGE 279, VOLUME 2894 PAGE 53
- TOTAL AREA OF 028-03-011-0000: 4,635 S.F. OR 0.11 ACRES.
- MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
- CURRENT ZONING: HIGH DENSITY DISTRICT
 MIN. LOT AREA - 6,000 S.F.
 MIN. FRONTAGE - 50 FEET
 MIN. LOT WIDTH AT BUILDING LINE - 50 FEET
 SETBACKS:
 FRONT - 15 FEET
 SIDE - 10 FEET
 REAR - 15 FEET
- THE RIGHT OF WAY OF WATER STREET WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 40 FEET WIDE BASED ON THE WIDENING OF 1854 RECORDED IN COURT RECORDS VOLUME 2 PAGE 54.
- THE RIGHT OF WAY OF GROVE STREET IS BASED ON REFERENCE PLAN 1.
- SPOT ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- 028-03-011-0000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
- THE PARCEL MAY BE SUBJECT TO EASEMENTS AS THEY EXIST OF RECORD OR IN FACT. CARDINAL SURVEYING AND LAND PLANNING DOES NOT INTEND OR REPRESENT THAT ALL RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN. A SPECIFIC TITLE EXAMINATION IS SUGGESTED TO DETERMINE THE NATURE AND EXTENT OF RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING & LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.

_____, 2017
 APPROVED AS A BOUNDARY LINE ADJUSTMENT
 IN ACCORDANCE WITH THE PROVISIONS OF RSA 674.
 THE TOWN OF KEENE PLANNING BOARD
 BY _____, CHAIRMAN

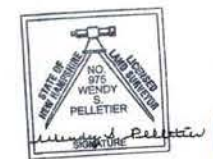
REFERENCE PLANS

- GROVE STREET WIDENING PLAN, PREPARED FOR CITY OF KEENE, 3 WASHINGTON STREET, KEENE, NH; PREPARED BY SVE ASSOCIATES; DATED 3/11/2013; SCALE 1"=20'; ON FILE AT THIS OFFICE.

- LEGEND**
- - PIN FOUND
 - - REBAR SET
 - - UTILITY POLE
 - - UTILITY POLE / LIGHT POLE
 - - GUY ANCHOR
 - - HYDRANT
 - - WATER GATE
 - - CATCH BASIN
 - - SEWER MANHOLE
 - - VERTICAL GRANITE CURB
 - - ASPHALT CURB
 - - APPROXIMATE ABUTTER LINE



I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.



NO.	DATE	REVISION	ADDRESS CITY COMMENTS	WP	BY
1	7/10/17				

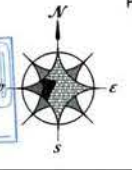
PARKING LOT SITE PLAN

LOT 028-03-011-0000
 GROVE AND WATER STREETS
 KEENE, NH 03431

DATE: MAY 30, 2017 SCALE: 1"=10'

PREPARED FOR:
 MICHAEL LYNCH & JEANETTE WRIGHT
 50 MEETINGHOUSE ROAD
 HINSDALE, NH 03451

CARDINAL SURVEYING & LAND PLANNING
 Keene, New Hampshire 03431
 Tel. (603) 499-6151



SPR-578 SITE PLAN REVIEW – 219 West Street – Gas Station Renovation

Request:

MHF Design consultants, on behalf of property owner Summit Distributing LLC of Lebanon NH, is proposing the expansion of an existing retail fuel business and convenience store at 219 West Street. The parcel is 0.419 acres in the Commerce zoning district.

Background:

This location is at the corner of Ashuelot St. and West St. in Keene NH. The project calls for the demolition of an existing 276 SF structure, currently the retail portion of the gas station (circled in yellow). The immediately adjacent retail structure (circled in orange), formerly Summer’s Outdoor Outfitters (4,000 SF), will become the convenience store. The number of fueling locations will double to eight. While the number of parking spaces will remain consistent, the overall scale of the resulting business will be similar that of Keene’s Cumberland Farms gas station/convenience store on Main Street between Dunbar and Water Streets. The project also includes the replacement of existing fuel tanks and a state-of-the-art leak detection system in compliance with NH Department of Environmental Services regulations.



The project also includes the replacement of existing fuel tanks and a state-of-the-art leak detection system in compliance with NH Department of Environmental Services regulations.

Completeness:

The applicant has requested site-specific exemptions from the required submittals for features that are not present on the site (i.e. stonewalls, cellar holes, etc.). After reviewing the request, staff recommends that the Board grant the exemptions, deem the application complete and open the public hearing for SPR-578, Modification 1.

Departmental Comments:

Code: No Comments

Police Dept.: No issues.

Fire Dept.: No issues for the site plan.

Engineering Dept.: The Director of Public Works has expressed concerns regarding potential traffic impacts to the intersection of West and Ashuelot Streets in addition to impacts to West Street’s traffic capacity.

Application Analysis:

The following is a review of the Board’s relevant standards in relation to the proposed application:

1. Drainage:
 - a. Per Planning Board Standard 1.a. The site does not currently have an existing stormwater collection system. The proposed design utilizes an existing, closed drainage systems located on the adjacent parcel, which lies within an existing drainage easement to the City of Keene. The resulting design states that “there will be no cumulative increase in the peak rate of runoff or volume to the downstream tributary area as a result of this project.”
 - b. Per Planning Board Standard 1.b.1. The site design has incorporated a drip edge infiltration trench which will infiltrate roof runoff. It is important to note that the area draining to this trench is only rooftop runoff in compliance with the NH DES prohibition of not allowing infiltration at sites where petroleum products are dispensed.
 - c. Per Planning Board Standard 1.b.3. The site contains “Udorthents, smoothed” (areas from which soil material that has been previously excavated and nearby areas in which this material has been deposited) and “Occum” fine sandy loam soils. The more conservative Soil Group B was used for the drainage analysis calculations.
 - d. This standard has been met.

2. Sedimentation and Erosion Control:
 - a. Per Planning Board Standard 2.a. Two areas of a temporary silt fence, a temporary, stabilized construction entrance, SiltSoxx and inlet protection details are specified on a separate Erosion & Sediment Control Plan with the requisite provisions.
 - b. This standard has been met.

4. Snow Storage: Snow storage is shown on the site plan alongside the east end of the property parcel. This standard has been met.

6. Landscaping:
 - a. Per Planning Board Standard 6.g.3 and 6.b.: A variety of shrubs and a perennial planting are proposed within planting areas that are 3’, 4’ and 5’ wide, less than the minimum required width of 8’ wide: “More than half of the planting areas shall be at least eight feet wide.”
 - b. Per Planning Board Standard 6.b.: The applicant has requested the ability to plant their required tree on the adjacent City parcel. The City Engineer has granted this request. The location is shown on the Landscape Plan.
 - c. This standard has been met.

8. Screening: Development Standard 8.a. “All dumpsters and trash storage areas shall be fully screened by a solid fence of wood, masonry, vinyl or other material deemed acceptable by the Planning Board...Chain link fencing with slats is unacceptable for screening.” The applicant has revised their proposed fence to be a “double, wooden, solid, trash enclosure”. This standard has been met.

10. Lighting:
 - a. Per Planning Board Standard 10. The proposed project is using building-mounted, wall-pacs, new pole lights and new canopy lighting. All of the proposed fixtures are full cut-off and several are International Dark Sky compliant. The paved area U- ratio exceeds the PB standard of average to minimum lighting levels by 0.01% (a 0.26 ratio instead of the required 0.25 ratio). The Board may wish to discuss revision of these fixtures with the Applicant to meet the standard.
 - b. Per Planning Board Standard 10.2.a. The “Under Canopy” lighting level is within the City’s required lighting levels. This is a substantial improvement over the last several gas station canopy proposals.
 - c. This standard has been met.

11. Sewer and Water: The existing site is serviced by City water and sewer. The new site will be serviced similarly with the addition of a grease trap to properly handle the food service waste. This standard has been met.

12. Traffic:

- a. The existing fueling station has four fueling locations. The proposed condition is to contain eight pumps. Per information provided by the Southwest Region Planning Commission from the 8th Edition of the ITE Trip Generation Manual for Land Use Code 945 (Gasoline/Service Station with Convenience Mart), the weekday average daily trip is calculated to be 651 daily trips (50% entering, 50% exiting). Per Planning Board Standard 12.b.:

“Any commercial... project involving 100 or more vehicle trips per day...as determined by the most recent published version of the Trip Generation Manual, must demonstrate to the Planning Department that their project will not diminish the capacity or safety of existing City streets, bridges and/or intersections, prior to the issuance of a building permit”

The applicant has stated that they will bring additional Traffic information regarding projected impacts.

- b. Per Planning Board Standard 12.e.: *“Any development along West Street from School Street to the Bypass... must receive State Department of Transportation traffic impact review.”* Staff anticipates that this review will be discussed at the Planning Board Meeting.

The initial application submission did not include enough information on this issue discussing additional vehicle trip impacts associated with this expansion. Staff has asked for a Traffic Study however this information will not be available for both Planning and Public Work’s engineering review by the planning board meeting date. Planning Board should ask the applicant to discuss the potential traffic impacts to the West and Ashuelot Street intersection as well as potential traffic capacity impacts to West Street.

13. Comprehensive Access Management:

- a. Per Planning Board Standard 13.b. The application confirms the sidewalks along West and Ashuelot Streets. A new sidewalk at the front of the building will connect to Ashuelot St’s sidewalk.
- b. Per Planning Board Standard 13.d. A bicycle rack is shown near the edge of the south-east corner of the building.
- c. This standard has been met.

19. Architectural and Visual Appearance:

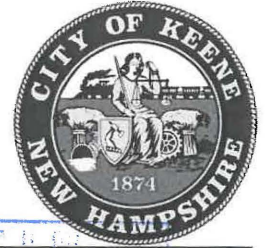
- a. Per Planning Board Standard 19.a.1. The exterior, front façade is articulated with gable ends and a variety of other architectural details that harmonize with Keene’s architectural heritage.
- b. Per Planning Board Standard 19.c.1. The orientation of the structure and the proposed traffic flow does not interfere with the flow of pedestrian traffic.
- c. This standard has been met.

RECOMMENDATION FOR APPLICATION:

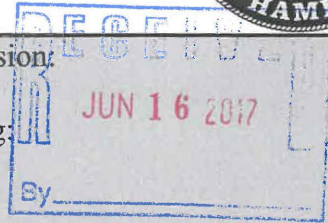
Recommend continuing the Public Hearing to allow the evaluation of traffic analysis information.

CITY OF KEENE | PLANNING BOARD

SITE PLAN REVIEW / MODIFICATION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.



A Project Name Mobil Redevelopment		Date Received/Date of Submission:
Tax Map Parcel number(s) 0 9 8 - 0 2 - 1 4 0 0 0		Date of pre-application meeting:
		Date Application is Complete:
		Planning Department File #: SPR-578, M.1
Project Address: 219 WEST STREET	Owner	Name: TOM FRAWLEY SUMMIT DISTRIBUTING, LLC
		Address: 240 MECHANIC STREET LEBANON, NH 03766
Acreage/S.F. of Parcel: 0.419 / 18,240 S.F.	Applicant	Telephone\ Email: 603-448-4000/tomf@sumd.com
Zoning District: COMMERCE		Signature: <i>[Signature]</i>
		Name: SAME AS OWNER
		Address:
		Telephone\ Email:
		Signature: <i>[Signature]</i>

Modifications: Is this a modification to a previously-approved site plan? No Yes: SPR#: ___ Date: ___

For those sections of the application that are not affected by the proposed modification to the previously approved site plan, you are encouraged to request exemptions in lieu of submitting required documents.

B Descriptive Narrative Including

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development | <input checked="" type="checkbox"/> Sedimentation Control | <input checked="" type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input checked="" type="checkbox"/> Vegetation | <input checked="" type="checkbox"/> Parcel size |
| <input checked="" type="checkbox"/> Location of access points | <input checked="" type="checkbox"/> Debris management | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

C A complete application must include the following

- | | |
|---|---|
| <input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional |
| <input checked="" type="checkbox"/> Two (2) copies of descriptive narrative | <input checked="" type="checkbox"/> Two (2) copies on 11" x 17" |
| <input checked="" type="checkbox"/> Notarized list of all owners of property within 200' | <input checked="" type="checkbox"/> Three (3) copies of all technical reports |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter | <input checked="" type="checkbox"/> Two (2) color architectural elevations on 11" x 17" |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36") | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise |
| <input checked="" type="checkbox"/> Three (3) copies of "D" size architectural elevations (24" x 36") | the public hearing, mailing notices out to abutters |



Summit Distributing LLC
219 West Street
Keene, NH
Project Narrative
June 16, 2017

The Applicant, Summit Distributing LLC, intends to redevelop the existing retail motor fuel outlet located at 219 West Street. The proposed redevelopment involves one parcel that is identified by the City as Tax Map 98 Block 2 Lot 14, totaling approximately 18,240 square feet (sf). The parcel is currently occupied by an existing Mobil gas station with an 860 sf convenience store, retail fuel canopy with two fuel dispenser islands (four fueling locations), and three underground fuel storage tanks, and a 4,000 sf retail store.

The proposal involves the demolition of the existing convenience store, retail fuel canopy and the removal of the underground fuel storage tanks. The redevelopment will include converting the existing 4,000 square foot (sf) retail building into a convenience store. Additionally, four motor fuel dispensers (eight fueling locations), an overhead canopy, and two new double wall fiberglass underground fuel storage tanks will be constructed.

The new underground fuel storage tanks will consist of double wall fiberglass construction. Fuel lines will also be replaced with new double wall product lines compliant with current NHDES regulations. The leak detection system will also be upgraded to a state-of-the-art monitoring system.

The property is located in the Commerce (C) zoning district, whereby the gas station and convenience store are allowed uses. The new canopy will be 14' wider than the existing canopy along the street frontage. The Site Plan provides calculations for the canopy encroachment as well as existing and proposed impervious cover calculations.

As part of the redevelopment of this property, improved off-street parking including fully compliant accessible parking space with an access aisle and accessible route to the building entrance will be provided. The existing site provides 16 parking spaces and the proposed redevelopment will provide 16 parking spaces.

The site currently has two existing driveways along West Street and one driveway along Ashuelot Street. As part of the redevelopment the two existing West Street driveways will remain and the existing Ashuelot Street driveway will be shifted further away from the intersection.

Pedestrians have access to the site via the existing sidewalk network that is provided on West Street and Ashuelot Street. A new concrete sidewalk will also be constructed along the front of the building which will provide pedestrian access to the Ashuelot Street sidewalk system. There are no changes to the existing sidewalk system that would diminish this access. These sidewalks are also safely illuminated via existing lighting provided on-site.

Bicycle parking will be added to the site via a new bicycle rack that will be provided at the rear of the site. This location will be easily accessible from either street system.

New lighting for the canopy will consist of energy efficient LED fixtures which will be flush with the canopy deck and dark sky compliant. New site light poles will also be provided on-site.

The proposed building will be serviced by Municipal water and sewer, natural gas and underground electricity. A 1,500 gallon exterior grease trap will be provided for the food program prior to discharging into the municipal sanitary sewer system. An upgraded on-site storm water system will provide additional treatment of runoff generated from the project site. The roof drain for the canopy will be connected underground, whereas the existing canopy currently discharges overland to the adjacent pavement area. Additionally, the proposed site improvements include a drip edge infiltration trench which receives all roof runoff from the convenience store building. Erosion control is outlined on the site plans.

All demolition and disposal of materials will be in accordance with local and state requirements. All required NHDES permits will be obtained prior to construction.

Waivers from the Planning Board's 19 Development Standards? Y N

(If yes, please provide a detailed list in the space below.)

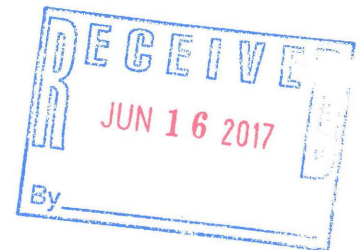
A WAIVER WILL BE REQUIRED FOR "STANDARD 6 LANDSCAPING" FOR NOT PROVIDING THE REQUIRED STREET TREES AND LANDSCAPE AREAS.



The Planning Board Development Standards are to be met for all applications. Please review the development standards and provide a brief narrative description for how your application addresses each and/or indicate where on the plan or in the application proof of compliance can be found. Applicants can either supply the information in the space provided, or attach a brief narrative (use of a separate sheet is recommended).

- 1) Drainage: SEE STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES REPORT
- 2) Sedimentation & Erosion Control: SILT SOXX/SILT FENCE TO BE PLACED AT DRIVEWAYS AND ALONG PROPERTY LINES (SEE EROSION CONTROL PLAN)
- 3) Hillside Protection: N/A
- 4) Snow Storage & Removal: NOTE IS SHOWN ON PLAN
- 5) Flooding: N/A
- 6) Landscaping: LANDSCAPING HAS BEEN ADDED TO THE LIMITED AREAS ON-SITE. A WAIVER IS REQUIRED FROM THE TREE REQUIREMENT.
- 7) Noise: NO CHANGES TO EXISTING USE OF SITE.
- 8) Screening: THE SITE ABUTS COMMERCIAL DEVELOPMENT AND NO CHANGES ARE PROPOSED.
- 9) Air Quality: NO CHANGE TO THE USES ARE PROPOSED.
- 10) Lighting: NEW SITE AND CANOPY LIGHTING IS PROPOSED. ALL CANOPY FIXTURES WILL BE FLUSH WITH THE CANOPY DECK AND ALL FIXTURES WILL BE DARK SKY COMPLIANT.
- 11) Sewer & Water: THE EXISTING SITE IS CURRENTLY SERVICED BY WATER AND SEWER. A NEW EXTERIOR GREASE TRAP WILL BE PROVIDED ALONG WITH UPGRADED SERVICE CONNECTIONS.
- 12) Traffic: NO NEW TRAFFIC IS ANTICIPATED SINCE THE TOTAL RETAIL SPACE ON SITE WILL BE REDUCED.

13)	Driveways THE TWO EXISTING DRIVEWAYS ALONG WEST STREET WILL REMAIN UNCHANGED. THE ASHUELOT STREET DRIVEWAY WILL BE SHIFTED AWAY FROM THE SIGNALIZED INTERSECTION.
14)	Hazardous & Toxic Materials: THE ENTIRE UNDERGROUND FUEL STORAGE SYSTEM IS TO BE UPGRADED WITH STATE OF THE ART EQUIPMENT/XTURES WILL BE DARK SKY COMPLIANT.
15)	Filling & Excavation: N/A
16)	Wetlands: N/A
17)	Surface Waters: N/A
18)	Stump Dumps: N/A
19)	Architecture & Visual Appearance: THE PROPOSED BUILDING AND CANOPY ARCHITECTURE IS CONSISTENT WITH THE ABUTTING USES.



PROPOSED RETAIL MOTOR FUEL OUTLET SITE RE-DEVELOPMENT PLANS

for

Assessors Map 98 Block 2 Lot 14

219 West Street

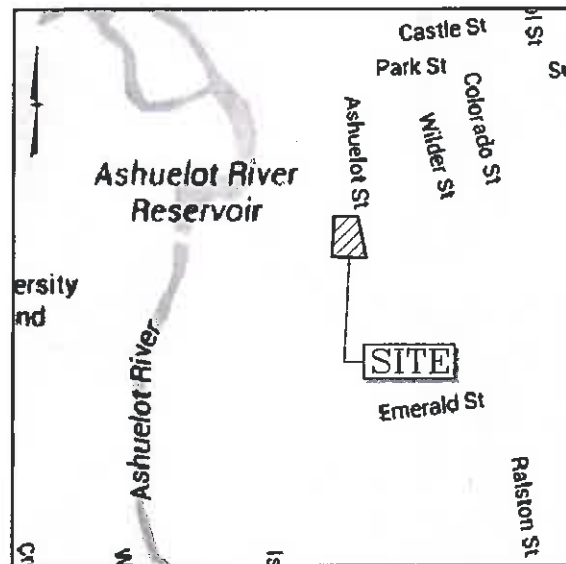
Keene, New Hampshire

Prepared for:

Summit Distributing, LLC

240 Mechanic Street

Lebanon, New Hampshire 03766



LOCATION MAP
(NOT TO SCALE)

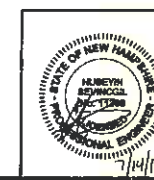
INDEX TO DRAWINGS

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITIES PLAN
7. EROSION & SEDIMENT CONTROL PLAN
8. LANDSCAPE PLAN
9. SITE DETAILS
10. SITE DETAILS
- 1 OF 1. LIGHTING PLAN (RL-4706-S1)
- 1 OF 1. CANOPY ELEVATIONS

REVISIONS			
NO.	DESCRIPTION	BY	DATE
2	REVISE SHEETS 3 & 10	GMP	7/14/17
1	REVISE SHEETS 3-10	GMP	7/7/17

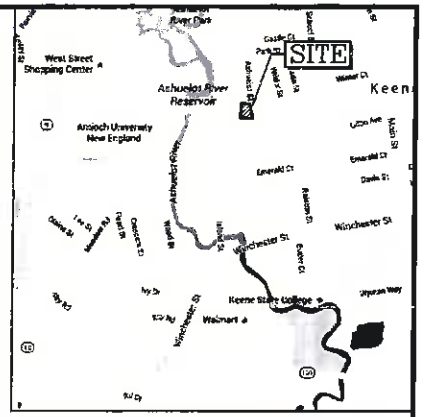
TITLE SHEET

ASSESSORS MAP 98 BLOCK 2 LOT 14
219 WEST STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR:
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NEW HAMPSHIRE 03766



MHF Design Consultants, Inc.
44 Silsbee Road, Suite One
Salem, New Hampshire 03078
(603) 895-0720
ENGINEERS - PLANNERS - SURVEYORS
www.mhfdesign.com

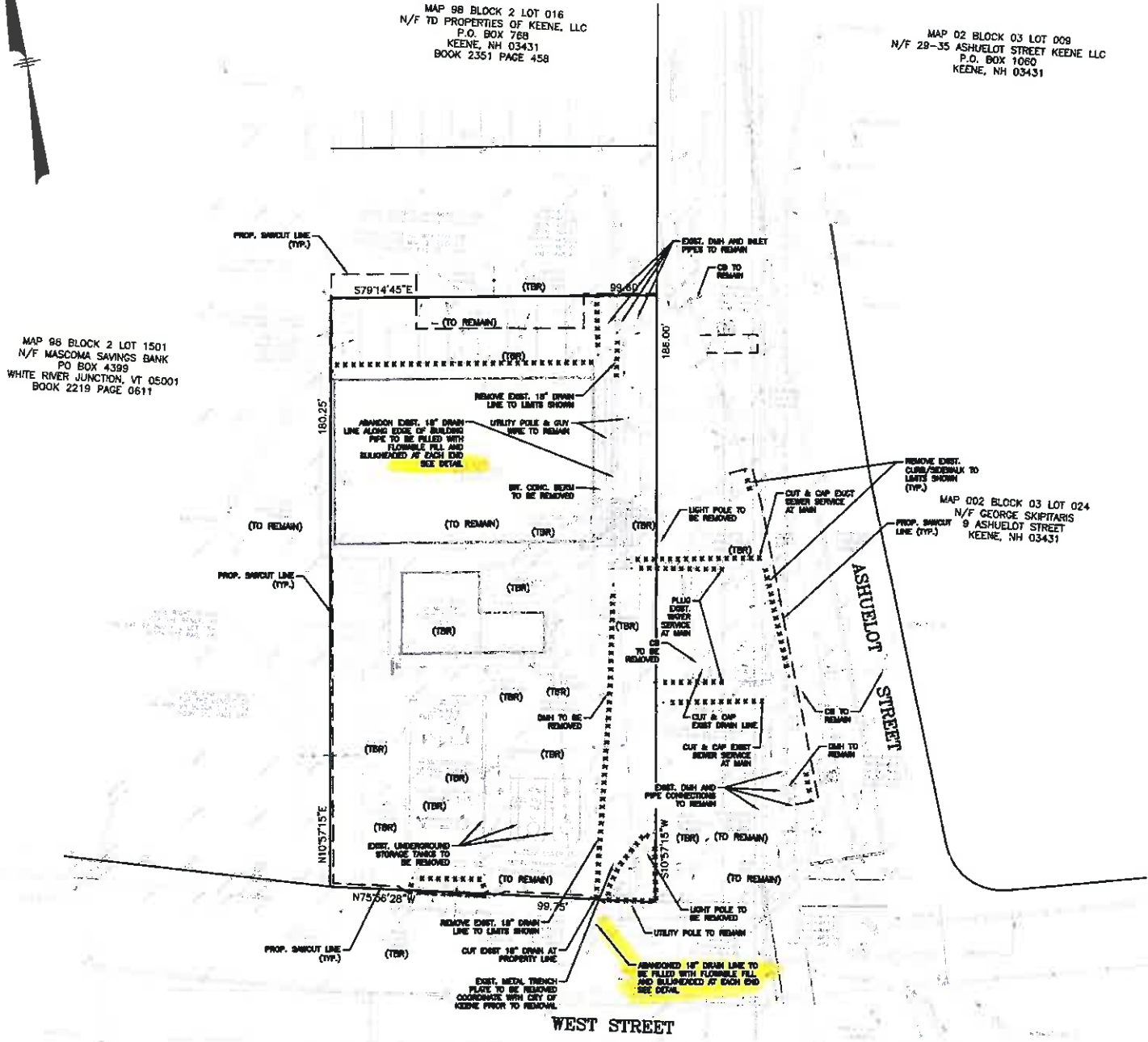
SCALE: N.T.S.	DATE: JUNE 16, 2017	SHEET NO.
DRAWN BY: NIG	CHECKED BY: HS	PROJECT NO. 403116
		SHEET NO. 1 OF 10



LOCATION MAP
(NOT TO SCALE)

LEGEND

○	IRON PIN FOUND	⊕	UTILITY POLE
□	CONCRETE BOUND FOUND	⊗	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊙	SEWER MANHOLE
○	DRILL HOLE FOUND	⊖	TELEPHONE MANHOLE
—	VERTICAL GRANITE CURB	□	CATCH BASIN
—	VERTICAL CONCRETE CURB	—W—	WATER LINE
—	OVERHEAD SERVICE WIRES	⊕	WATER VALVE
—	DOUBLE SOLID YELLOW LINE	END	ENTRY
—	SINGLE SOLID WHITE LINE	⊕	FIRE HYDRANT
—	BROKEN WHITE LINE	⊕	GAS VALVE
—	SEW	—G—	GAS LINE
⊕	OBSERVATION WELL	—	WETLAND LINE
⊕	TEST PIT	⊕	SPOT ELEVATION
⊕	TEST BORING	—	CONTOUR ELEVATION
⊕	PERCOLATION TEST	—	TO BE REMOVED
—	TREELINE		



MAP 98 BLOCK 2 LOT 1501
N/F MASCOMA SAVINGS BANK
PO BOX 4399
WHITE RIVER JUNCTION, VT 05001
BOOK 2219 PAGE 0611

MAP 98 BLOCK 2 LOT 016
N/F TO PROPERTIES OF KEENE, LLC
P.O. BOX 789
KEENE, NH 03431
BOOK 2351 PAGE 458

MAP 02 BLOCK 03 LOT 009
N/F 29-35 ASHUELOT STREET KEENE LLC
P.O. BOX 1060
KEENE, NH 03431

MAP 002 BLOCK 03 LOT 024
N/F GEORGE SKIPTARIS
9 ASHUELOT STREET
KEENE, NH 03431

ABUTTER ACROSS STREET
MAP 047 BLOCK 01 LOT 004
N/F BRADY SULLIVAN KEENE
PROPERTIES LLC
670 NORTH COMMERCIAL STREET
MANCHESTER, NH 03103

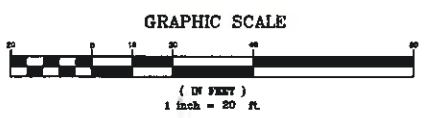
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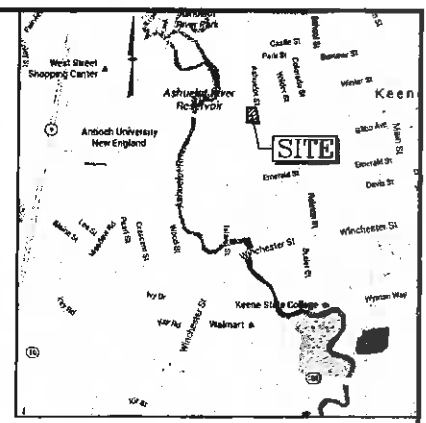
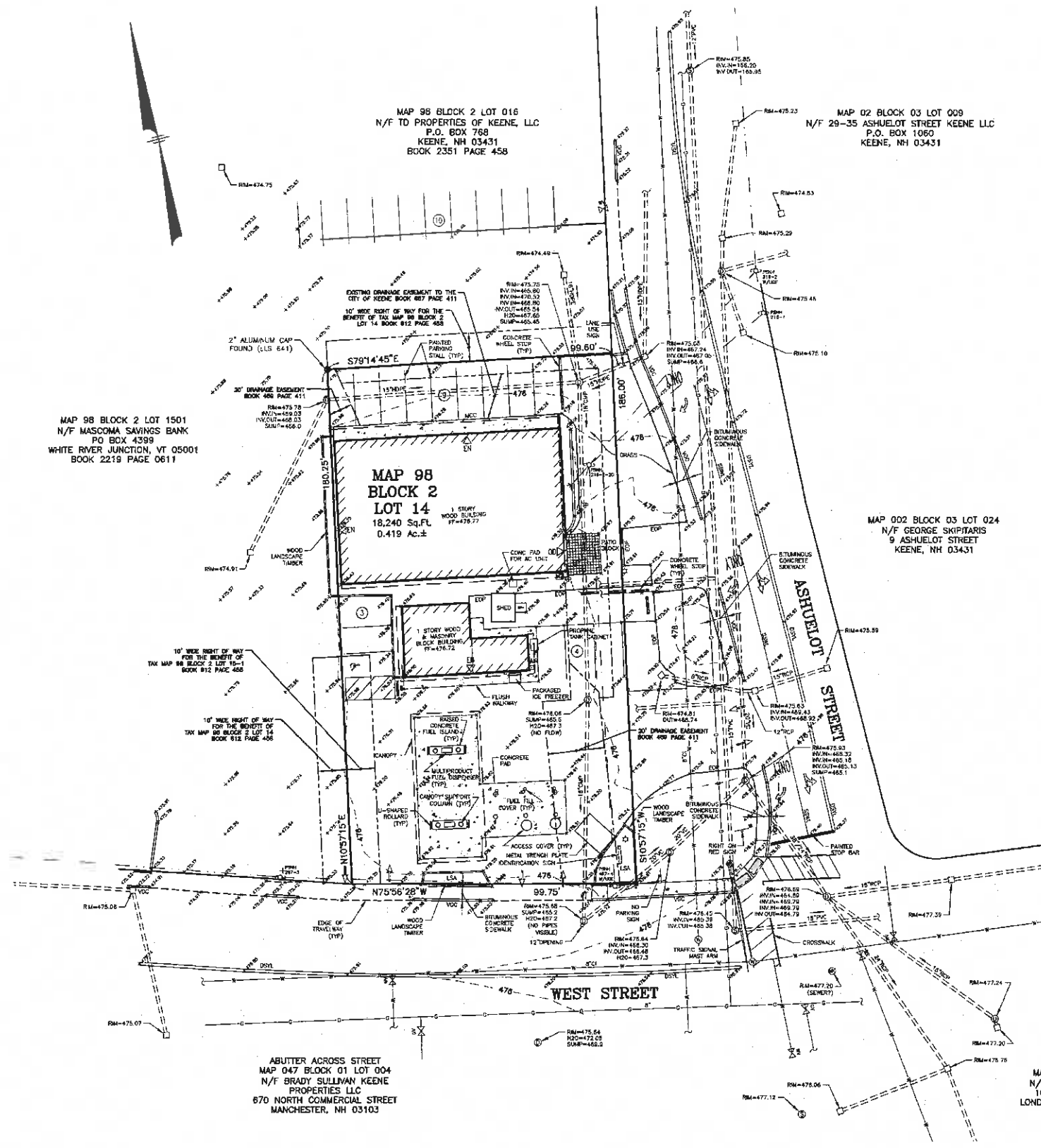
- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE CITY OF KEENE PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS.
- 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DIRT AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 8 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO CITY OF KEENE STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY G&S SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK CUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TO BE REMOVED" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

NO.	DESCRIPTION	BY	DATE
2	REVISE PER CITY COMMENTS	GMP	7/14/17
1	REVISE PER CITY COMMENTS	GMP	7/7/17

DEMOLITION PLAN
ASSESSORS MAP 98 BLOCK 2 LOT 14
219 WEST STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR:
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NEW HAMPSHIRE 03766

44 SMOKE ROAD, SUITE ONE SOLEM, NEW HAMPSHIRE 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhpdesign.com			
SCALE: 1"=20'	DATE: JUNE 16, 2017	DRAWING NO. 403116	SHEET NO. 3 OF 10
DRAWN BY: GMP	CHECKED BY: FCM	PROJECT NO. 403116	





LOCATION MAP
(NOT TO SCALE)

- NOTES:**
- 1) ZONE: COMMERCE (COM)
MIN. LOT SIZE: 15,000 Sq.Ft.
MIN. LOT FRONTAGE: 50 FT.
SETBACKS:
FRONT 20 FT.
SIDE 20 FT.
REAR 20 FT.
REFER TO THE CITY OF KEENE ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
 - 2) ELEVATIONS SHOWN HEREON ARE ON NAVD 1988 DATUM AND IS BASED. CURB ELEVATIONS SHOWN ARE AT THE "TOE" OF CURB. CURBS ARE 0.50'± HIGH.
 - 3) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
 - 4) INVERTS AND PIPE SIZE/TYPES SHOWN HEREON ARE BASED ON A COMBINATION OF A FIELD SURVEY BY THIS OFFICE AND INFORMATION PROVIDED BY THE CITY OF KEENE. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT UNLESS OTHERWISE NOTED.

- PLAN REFERENCES:**
- 1) PLAN SET ENTITLED "PLANS OF PROPOSED FEDERAL AID URBAN PROJECT U 013-1(17), N.H. PROJECT NO. C-7206-A, N.H. ROUTE NO. 12", DATED 4-28-86 BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS.
 - 2) PLANS ENTITLED "PLANS OF PROPOSED ECONOMIC GROWTH CENTER FUND PROJECT, DP-U-013-1(22), N.H. PROJECT NO. C-2464-A CONTRACT #1, DATED 7-23-85 BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS.
 - 3) CHESHIRE COUNTY REGISTRY OF DEEDS (C.C.R.D.)
PLAN CAB 12 DR 5 #225
 - 4) C.C.R.D. PLAN CAB 12 DR 5 #024

CERTIFICATIONS:

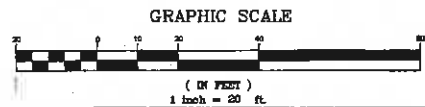
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON JULY 7, 2016 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBMISSION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

6/16/17

LICENSED LAND SURVEYOR		DATE	
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EXISTING CONDITIONS PLAN			
ASSESSORS MAP 098 BLOCK 02 LOT 014			
219 WEST STREET			
KEENE, NEW HAMPSHIRE			
PREPARED FOR:			
SUMMIT DISTRIBUTING, LLC			
240 MECHANIC STREET			
LEBANON, NEW HAMPSHIRE 03766			
		44 Siles Road, Suite One Salem, New Hampshire 03078 (603) 693-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: 1"=20'	DATE: JUNE 16, 2017	DRAWING NO. 201705-002	
DRAWN BY: JAC	CHECKED BY: CMF	PROJECT NO. 403116	SHEET NO. 2 OF 11

- LEGEND**
- UTILITY POLE
 - ⊙ DRAIN MANHOLE
 - ⊙ SEWER MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - CATCH BASIN
 - WATER LINE
 - WATER VALVE
 - FIRE HYDRANT
 - GAS VALVE
 - GAS LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND ELECTRIC AND TELEPHONE
 - SPOT ELEVATION
 - CONTOUR ELEVATION
 - VERTICAL GRANITE CURB
 - BITUMINOUS CONCRETE LAP CURING
 - OVERHEAD SERVICE WIRES
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - BROKEN WHITE LINE
 - SIGN
 - OBSERVATION WELL
 - ENTRANCE
 - OVERHEAD DOOR



OWNER OF RECORD:
SUMMIT DISTRIBUTING LLC
240 MECHANIC STREET
LEBANON, NH 03766
BOOK 2518 PAGE 0618



LEGEND

○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	○	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	○	SEWER MANHOLE
○	DRILL HOLE FOUND	○	TELEPHONE MANHOLE
—	VERTICAL GRANITE CURB	—	CATCH BASIN
—	VERTICAL CONCRETE CURB	—	WATER LINE
—	OVERHEAD SERVICE WIRES	—	WATER VALVE
—	DOUBLE SOLID YELLOW LINE	—	ENTRY
—	SINGLE SOLID WHITE LINE	—	FIRE HYDRANT
—	BROKEN WHITE LINE	—	GAS VALVE
—	SIGN	—	GAS LINE
⊕	OBSERVATION WELL	—	WETLAND LINE
⊕	TEST PIT	—	SPOT ELEVATION
⊕	TEST BORING	—	CONTOUR ELEVATION
⊕	PERCOLATION TEST	—	NUMBER OF PARKING SPACES
—	TREELINE		
—	LIGHT POLE		

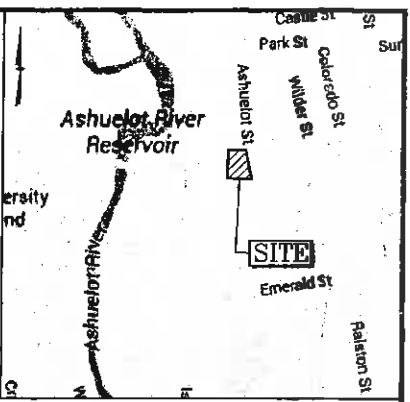


MAP 98 BLOCK 2 LOT 016
N/F TO PROPERTIES OF KEENE, LLC
P.O. BOX 768
KEENE, NH 03431
BOOK 2351 PAGE 458

TABLE OF ZONING REGULATIONS - KEENE, NH
ZONE: COMMERCE (COM)

DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA SQ. FT.	15,000 SF	18,240 SF
MINIMUM LOT FRONTAGE	50	59.75'
MINIMUM FRONT YARD BUILDING SETBACK	20'	8.1' (EXIST. NONCONFORMING STRUCTURE)
MINIMUM SIDE YARD BUILDING SETBACK	20'	0.0' (EXIST. NONCONFORMING STRUCTURE)
MINIMUM REAR YARD BUILDING SETBACK	20'	24.7'
MINIMUM PARKING/PAVED TRAVEL SURFACE SETBACK	10' FRONT SETBACK; 5' SIDE & REAR SETBACK	10' FRONT; 3.5' SIDE; 1.1' REAR (EXIST. NONCONFORMING)
PARKING SPACE DIMENSIONS	9' x 18'	8' x 18'
MAXIMUM BUILDING HEIGHT	35'	4' x 35'
MINIMUM FUEL DISPENSER SETBACK	15' FROM ANY PROPERTY LINE	20'
FREESTANDING SIGN AREA, HEIGHT & SETBACK	100 SQ. FT. HEIGHT & 10' SETBACK	EXISTING FREESTANDING SIGN TO REMAIN
WALL SIGN AREA	200 SF	200 SF

NOTE: ONLY ONE FREESTANDING SIGN PER LOT FRONTAGE IS ALLOWED. THE MAXIMUM NUMBER OF FREESTANDING SIGNS PER LOT IS 2.



SIGN KEY

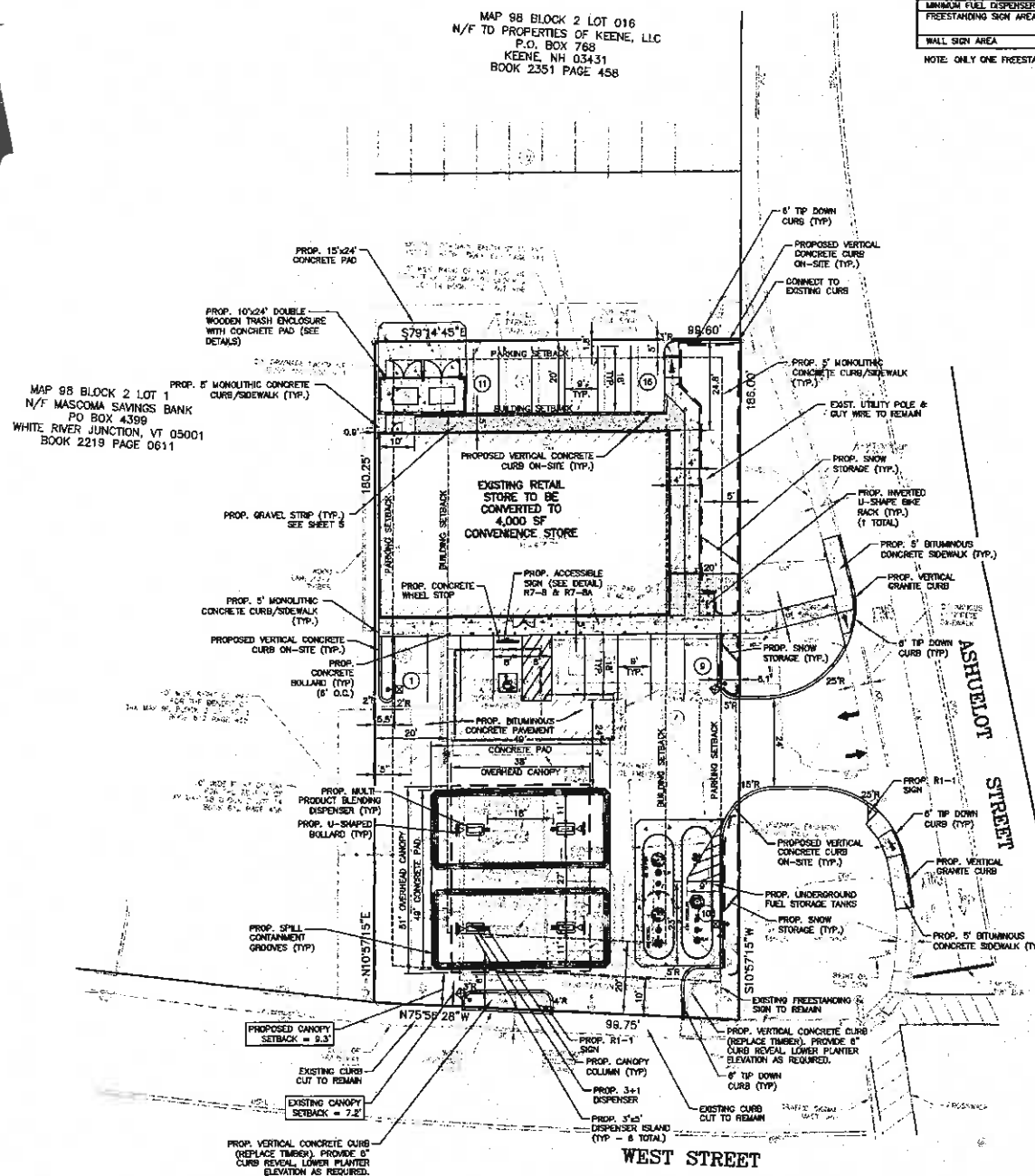
SIGN ID NUMBER	TEXT/COLOR	SIZE/REMARKS	NUMBER OF SIGNS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST	2
R7-8	B/W	12" x 18" NEW SIGN WITH POST	1
R7-BA	B/W	12" x 6" NEW SIGN WITH POST	1

ENCROACHMENT AREA ANALYSIS FOR FRONT 20' SETBACK

	EXISTING(SF)	PROPOSED(SF)
1. CANOPY	296.0	372.6
2. DISPENSER ISLAND	6.3	0.3
3. UST'S	103.9	51.9
TOTALS	406.2	424.7

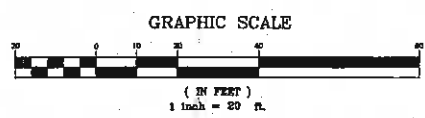
PROPOSED INCREASE IN ENCROACHMENT AREA = 424.7 SF - 406.2 SF = 18.5 SF
= 18.5 SF/406.2 SF = 4.6% (LESS THAN 50% EXPANSION ALLOWED BY RIGHT)

- NOTES:**
- EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
 - TAX MAP 98 BLOCK 2 LOT 14
 - ZONING DISTRICT: COMMERCE (COM)
 - EXISTING USED RETAIL MOTOR FUEL OUTLET WITH 800 SF CONVENIENCE STORE AND FUEL DISPENSING CANOPY WITH 2 DISPENSERS (4 FUELING LOCATIONS), AND A 4,000 SF RETAIL STORE.
 - PROPOSED CHANGES: RETAIL MOTOR FUEL OUTLET WITH 4,000 SF CONVENIENCE STORE AND FUEL DISPENSING CANOPY WITH 4 DISPENSERS (8 FUELING LOCATIONS).
 - ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
 - THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORDED DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF KEENE AND THE STATE OF NEW HAMPSHIRE.
 - THE SITE IS NOT WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #300020028K FOR CHESTER COUNTY, NEW HAMPSHIRE, EFFECTIVE DATE MAY 23, 2006.
 - A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
 - PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - ALL UNDERGROUND FUEL STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT RULES AND EPA REGULATIONS.
 - DEMOLITION OF NON-CONFORMING STRUCTURES: THE EXISTING GAS CANOPY IS WITHIN THE 20' FRONT BUILDING SETBACK AND IS THEREFORE A NON-CONFORMING STRUCTURE. ACCORDING TO SECTION 102-206 OF THE CITY OF KEENE ZONING ORDINANCE AS LONG AS A NEW ENCROACHMENT DOES NOT COME CLOSER TO THE PROPERTY LINE THAN THE ENCROACHMENT INTO THE SETBACK AREA MADE BY THE EXISTING STRUCTURE, THE PROPOSED STRUCTURE CAN EXPAND UP TO 50% OF THE EXISTING NON-CONFORMING AREA BY RIGHT. AN ENCROACHMENT ANALYSIS IS INCLUDED ON THIS SHEET, WHICH SHOWS THAT THE PROPOSED REDEVELOPMENT HAS BEEN DESIGNED IN ACCORDANCE WITH THIS REQUIREMENT.
 - % STRUCTURE COVERAGE ANALYSIS:
EXISTING = 4,200 SF BUILDING + 1,265 SF CANOPY/16,240 SF = 33.25%
PROPOSED = 4,000 SF BUILDING + 1,635 SF CANOPY/16,240 SF = 32.25%
 - IMPERMEABLE COVERAGE ANALYSIS:
EXISTING = 18,311 SF
PROPOSED = 18,241 SF
 - PARKING SPACE ANALYSIS:
EXISTING = 18 SPACES
PROPOSED = 18 SPACES

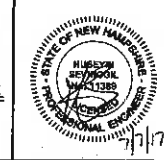


MAP 98 BLOCK 2 LOT 1
N/F MASCOMA SAVINGS BANK
PO BOX 4399
WHITE RIVER JUNCTION, VT 05001
BOOK 2219 PAGE 0611

ABUTTER ACROSS STREET
MAP 047 BLOCK 01 LOT 004
N/F BRADY SULLIVAN KEENE
PROPERTIES LLC
670 NORTH COMMERCIAL STREET
MANCHESTER, NH 03103



OWNER OF RECORD:
SUMMIT DISTRIBUTING LLC
240 MECHANIC STREET
LEBANON, NH 03766
BOOK 2518 PAGE 0616



NO.	REVISIONS	DESCRIPTION	BY	DATE
1	REVISE PER CITY COMMENTS		GMP	7/7/17

SITE PLAN
ASSESSORS MAP 98 BLOCK 2 LOT 14
219 WEST STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR:
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NEW HAMPSHIRE 03766

44 Stone Road, Suite One
Salem, New Hampshire 03078
(603) 893-0720
ENGINEERS + PLANNERS + SURVEYORS
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SCALE: 1"=20'
DATE: JUNE 16, 2017
DRAWN BY: GMP
CHECKED BY: FCM
PROJECT NO.: 403116
SHEET NO.: 4 OF 10

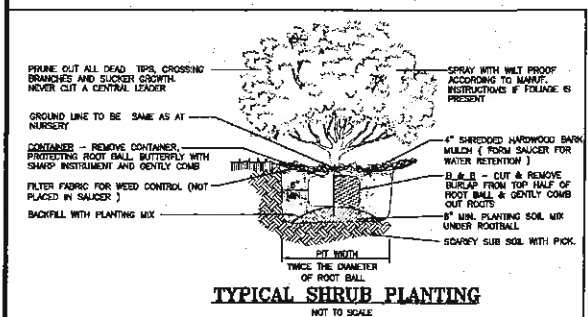
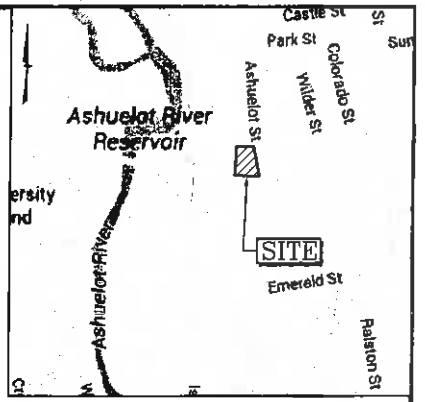


LEGEND

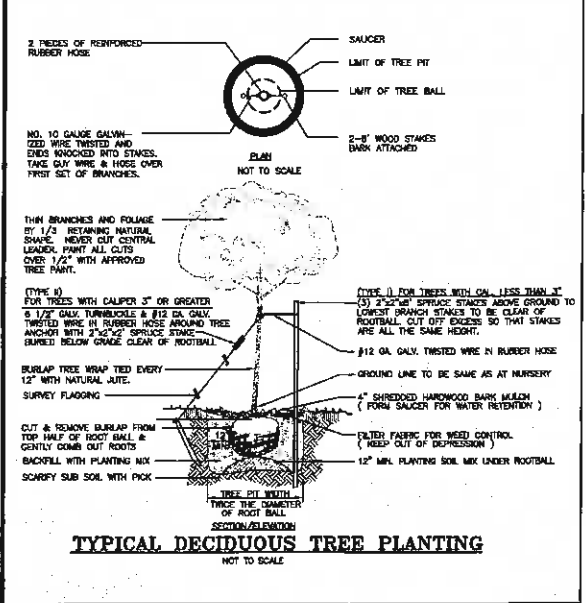
○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	○	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	○	SEWER MANHOLE
●	DRILL HOLE FOUND	○	TELEPHONE MANHOLE
—	VERTICAL GRANITE CURB	□	CATCH BASIN
—	VERTICAL CONCRETE CURB	—	WATER LINE
—	OVERHEAD SERVICE WIRES	—	WATER VALVE
—	DOUBLE SOLID YELLOW LINE	EN	ENTRY
—	SINGLE SOLID WHITE LINE	—	FIRE HYDRANT
—	BROKEN WHITE LINE	—	GAS VALVE
—	SIGN	—	GAS LINE
⊕	OBSERVATION WELL	—	WETLAND LINE
⊕	TEST PIT	—	SPOT ELEVATION
⊕	TEST BORING	—	CONTOUR ELEVATION
⊕	PERCOLATION TEST		
—	TRIE-LINE		

PLANTING SCHEDULE

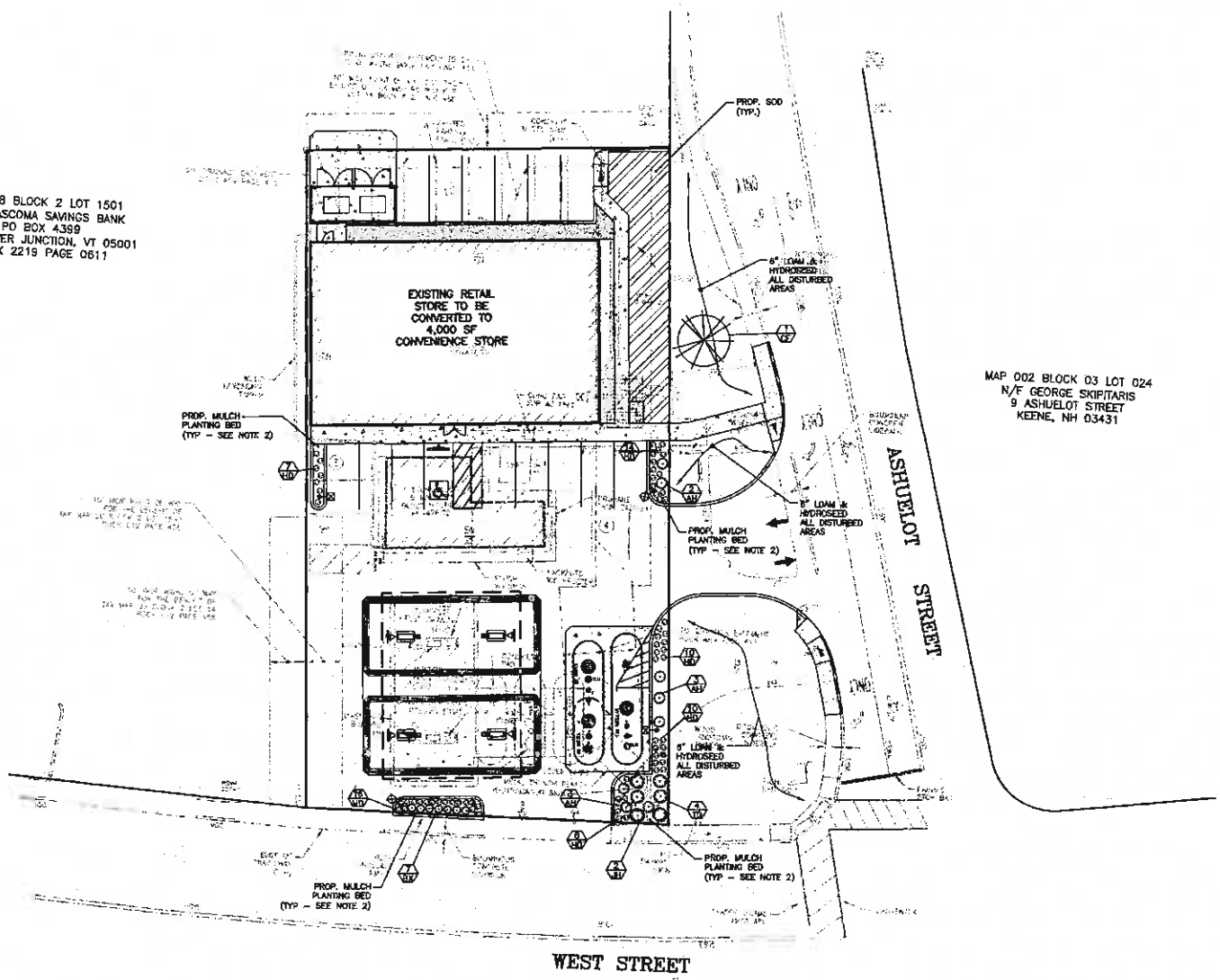
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE	REMARKS
TREES	1	CORNUS FLORIDA	FLOWERING DOGWOOD	6"-7" HT.	12"-18" HT.	-/ORNDORF-BARK
SHRUBS	8	AZALEA HYBRID	AZALEA	18"-24" HT.	12"-18" HT.	MAX. GIBSON PURPLE (ORANGE FUCHSIA OR SIMILAR)
	7	BURSA MYRSINELLA CULTIVAR	DOGWOOD	15"-18" HT.	3" TH. MAX. / GREEN VELVET (OR SIMILAR)	
	2	JANNEYA THALICTRA GLEHNI	JANNEYA	18"-24" HT.	1" TH. MAX. / GREEN VELVET (OR SIMILAR)	
	4	TAUSX X MEDIA OBTAIN	SPREADING YEW	12"-18" HT.	1" TH. MAX. / GREEN VELVET (OR SIMILAR)	
GROUNDCOVER	1	HEMEROCALLIS "STELLA DE ORO"	BLOOMER YELLOW DAYLILY	1" HT.	1" HT.	CC-700000000000 (STELLA DE ORO, RUBY STELLA, STELLA SUPREMA, ETC.)



MAP 98 BLOCK 2 LOT 1501
N/F MASCOMA SAVINGS BANK
PO BOX 4359
WHITE RIVER JUNCTION, VT 05001
BOOK 2215 PAGE 0611



MAP 002 BLOCK 03 LOT 024
N/F GEORGE SKIPITARIS
9 ASHUELOT STREET
KEENE, NH 03431



- NOTES:**
- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z250.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
 - 2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAF FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUBS AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURER'S RECOMMENDATIONS.
 - 3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
 - 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
 - 5) ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
 - 6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW.

LIMESTONE:	100 LBS./1,000 SQUARE FEET.
FERTILIZER:	500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
MULCH:	HAY MULCH APPROXIMATELY 3 TONS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS./ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
REDFEST	2
TOTAL	42
 - 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
 - 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROPRIATE RATE OF NO MORE THAN 3 TONS PER ACRE.
 - 9) ANY CHANGES IN PLANT LOCATIONS OR TYPE SHALL BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.
 - 10) FOR SEED AND SOD AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN.
 - 11) ALL TREES, SHRUBS AND SOD SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER ACCEPTANCE.
 - 12) EXPOSED SOILS SHALL BE SEEDING OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.

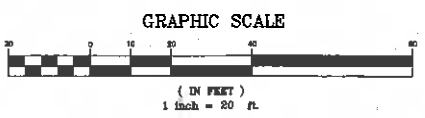
NO.	REVISION	DATE
1	REVISE PER CITY COMMENTS	GMP 7/7/17

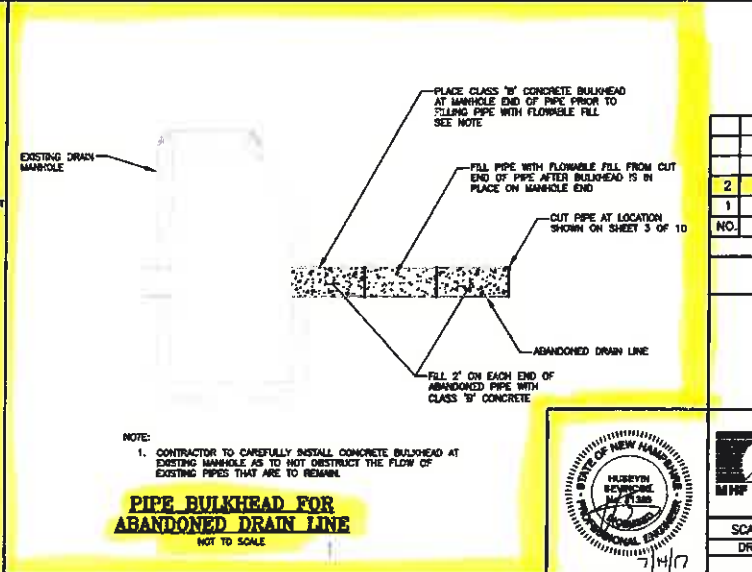
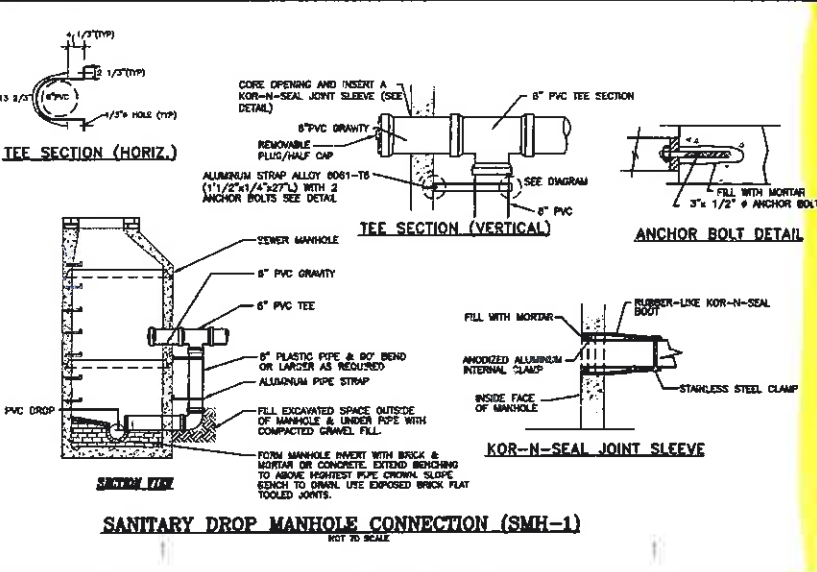
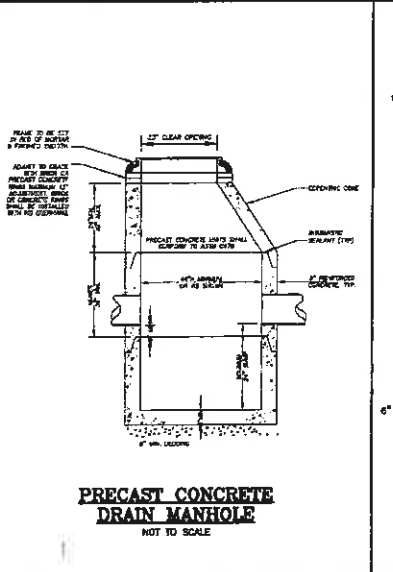
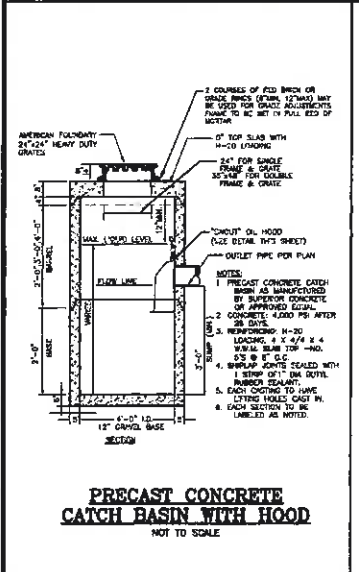
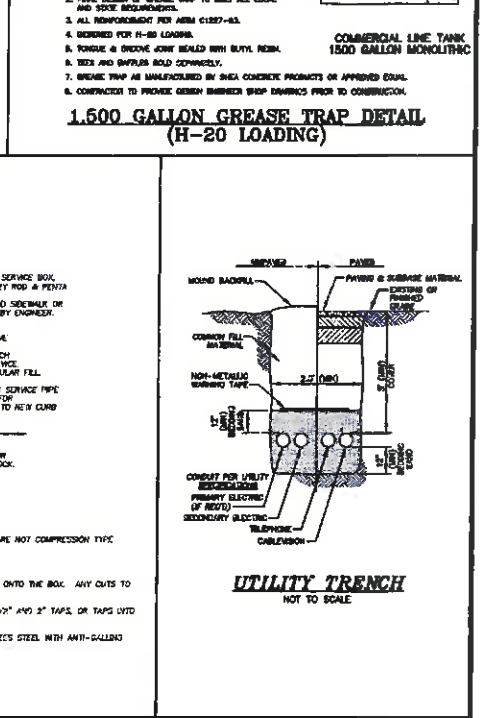
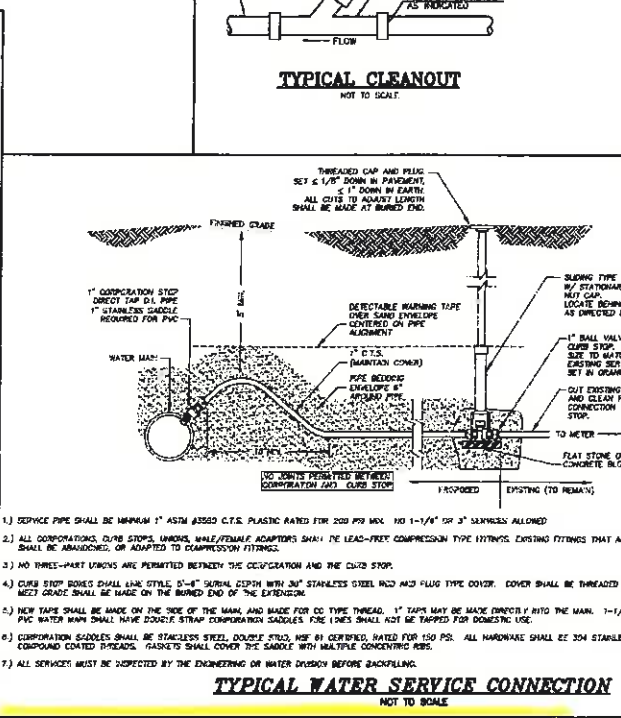
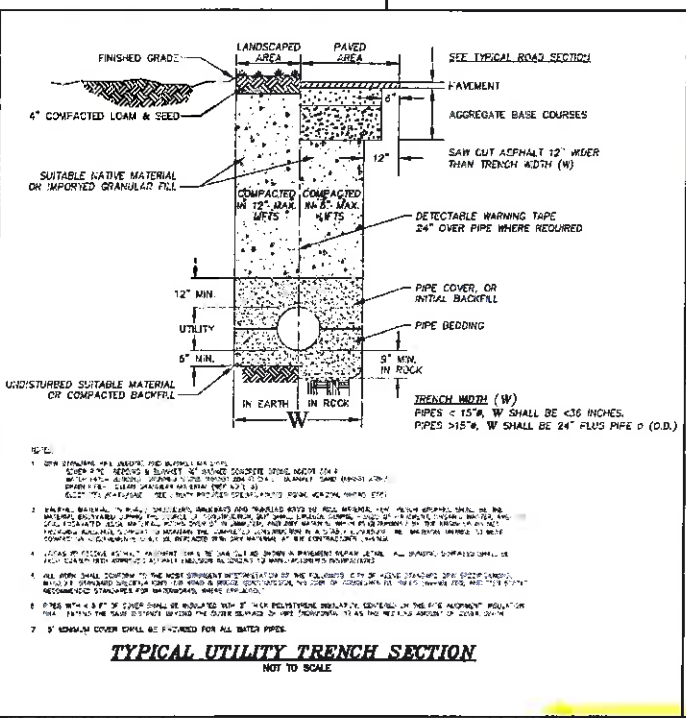
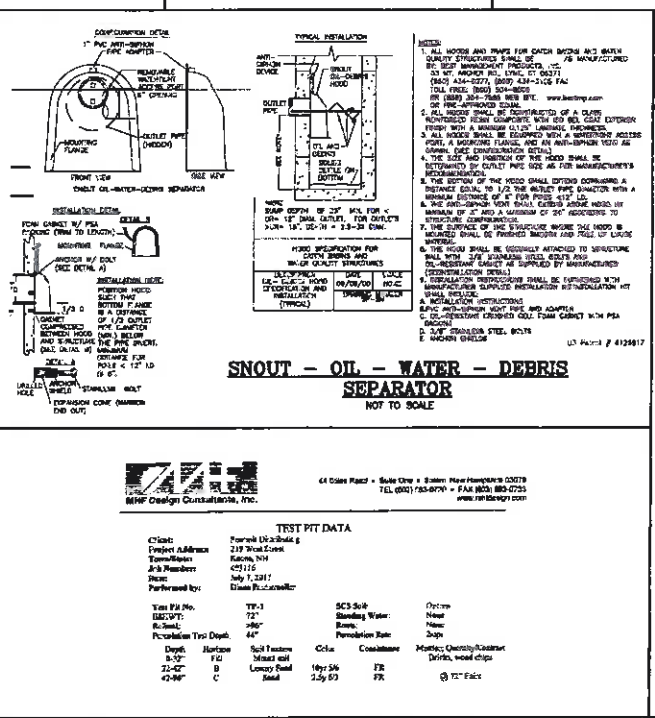
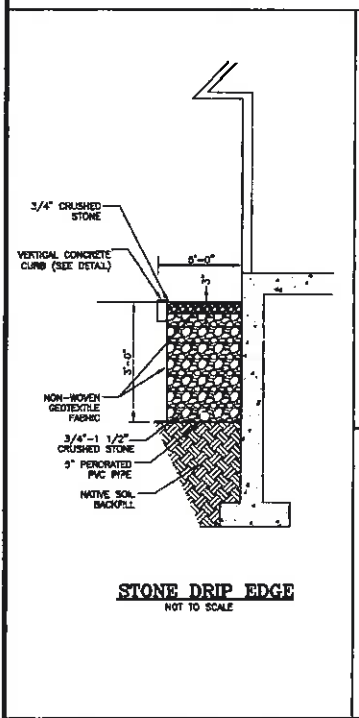
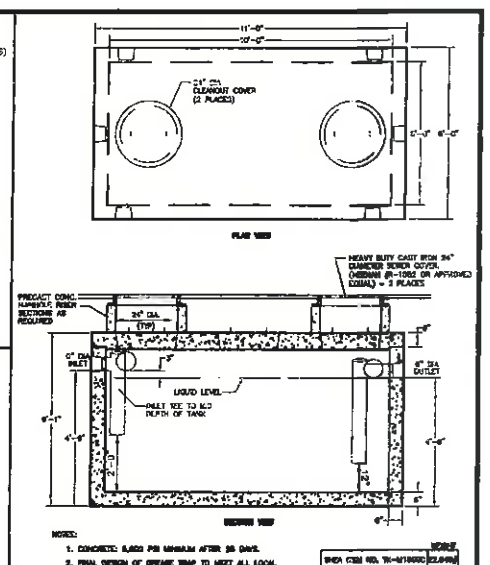
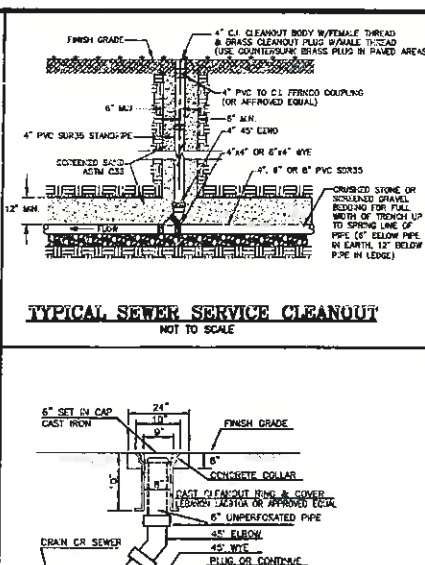
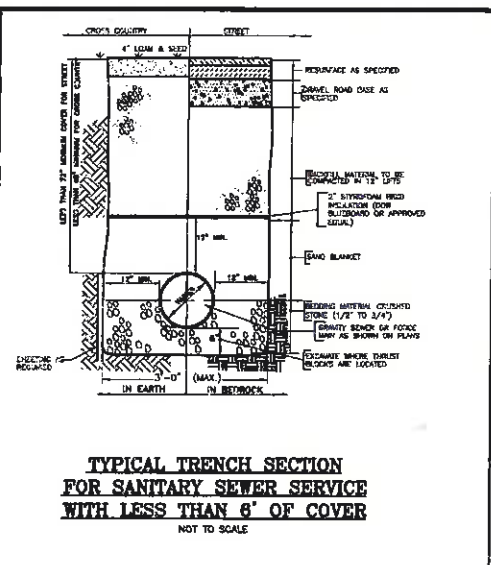
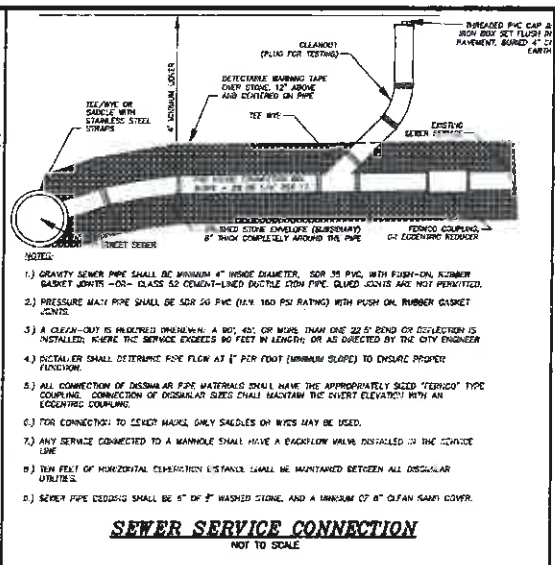
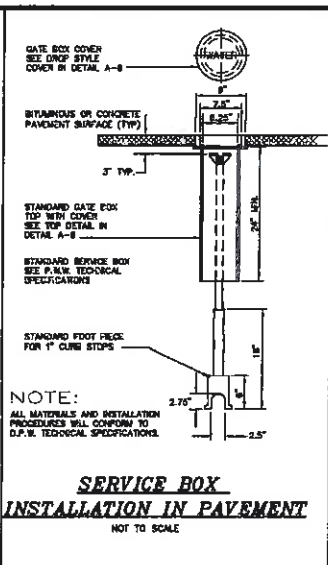
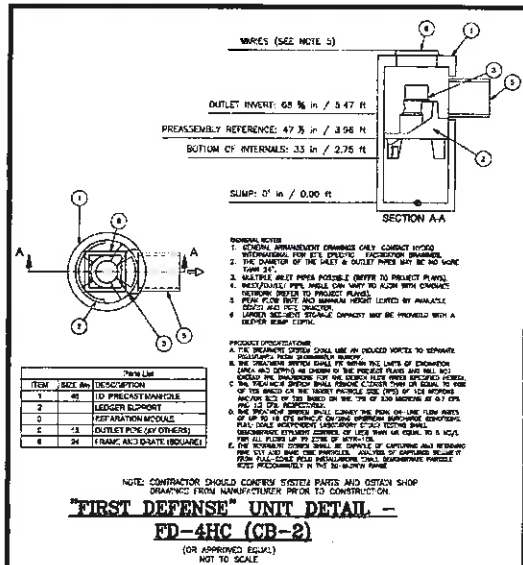
LANDSCAPE PLAN

ASSESSORS MAP 98 BLOCK 2 LOT 14
218 WEST STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR:
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NEW HAMPSHIRE 03766

44 Shiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
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SCALE: 1"=20'
DATE: JUNE 16, 2017
DRAWN BY: GMP
CHECKED BY: FCM
PROJECT NO.: 403116
SHEET NO.: 8 OF 10

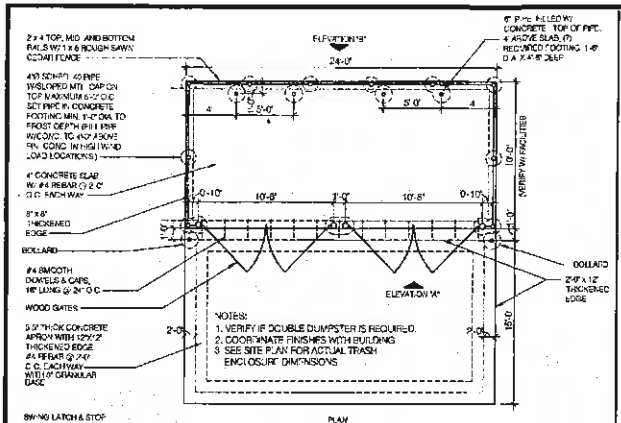




REVISIONS			
NO.	DESCRIPTION	BY	DATE
2	REVISE PER CITY COMMENTS	GMP	7/14/17
1	REVISE PER CITY COMMENTS	GMP	7/7/17

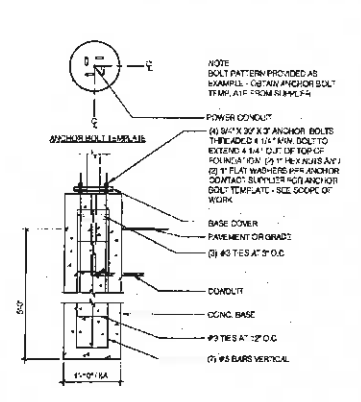
SITE DETAILS	
ASSESSORS MAP 98 BLOCK 2 LOT 14	
219 WEST STREET	
KEENE, NEW HAMPSHIRE	
PREPARED FOR:	
SUMMIT DISTRIBUTING, LLC	
240 MECHANIC STREET	
LEBANON, NEW HAMPSHIRE 03766	

SCALE: N.T.S.	DATE: JUNE 16, 2017	DRAWING NO.
DRAWN BY: NKG	CHECKED BY: HS	PROJECT NO.
		403116
		10 OF 10



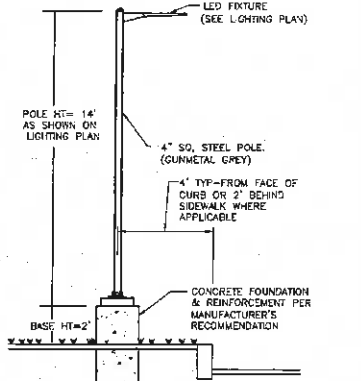
CONCRETE SIDEWALK CITY STANDARD SPECIFICATIONS

1. CONCRETE SIDEWALKS SHALL BE A MINIMUM OF 5 FEET WIDE.
2. CONCRETE SIDEWALKS SHALL BE A MINIMUM OF 4" THICK.
3. AT DRIVEWAYS, CONCRETE SIDEWALKS SHALL BE A MINIMUM OF 4" THICK.
4. SIDE BASE SHALL BE A MINIMUM THICKNESS OF 12" OF CLEAN GRANULAR MATERIAL COMPACTED TO 95%.
5. BASE SHALL BE A MINIMUM THICKNESS OF 6" OF CRUSHED GRAVEL COMPACTED TO 95%.
6. SIDEWALKS SHALL HAVE A MINIMUM CROSS SLOPE OF 1/4" PER FOOT.
7. MAXIMUM LONGITUDINAL GRADE SHALL BE 1/2%.
8. MAXIMUM LONGITUDINAL GRADE SHALL BE 0.5%.
9. CONCRETE SHALL BE 4000 PSI CLASS AA CONCRETE WITH 1.5 LBS OF FORTIFIANT PER CUBIC YARD, AS PER MIXOT SPECIFICATIONS.
10. CONCRETE SHALL HAVE 5-8% AIR ENTRAINMENT.
11. SLABS SHALL BE BETWEEN 3" AND 5".
12. 4 TEST CYLINDERS PER LOAD OF CONCRETE, BY CERTIFIED CONCRETE TESTER.
13. MAXIMUM SPACING OF EXPANSION JOINTS SHALL BE 30 FEET.
14. CONTROL JOINTS SHALL BE A UNIFORM DISTANCE APART, SPACED FIVE FEET, AND 3/4" DEEP.
15. ALL EDGES AND JOINTS SHALL BE FINISHED WITH A HAND EDGING TOOL.
16. THE SURFACE OF THE SIDEWALK SHALL BE MACHINE-FLOATED AND TROWELED, AND GIVEN A FINE GRAINED FINISH.
17. AS SOON AS THE CONCRETE HAS ATTAINED ITS INITIAL SET, IT SHALL BE COVERED WITH PLASTIC, (BLANKET OR OTHER APPROVED MATERIAL) AND KEPT MOIST FOR A MINIMUM OF 7 DAYS TO CURE, AND SHALL NOT BE ALLOWED TO FREEZE. NO TRAFFIC SHALL BE ALLOWED ON THE SIDEWALK DURING THE CURING PERIOD.
18. CONCRETE SHALL BE SEALED WITH ONE OF THE FOLLOWING METHODS, OR AS APPROVED BY THE ENGINEER:
 - A. AFTER THE CONCRETE HAS CURED FOR A MINIMUM OF 14 DAYS, AND AFTER IT HAS ATTAINED A DRY APPEARANCE, IT SHALL BE COATED WITH A 50-50 MIXTURE OF DOUBLE BOILED LINOLEUM OIL AND KEROSENE. APPLICATION SHALL BE AT A RATE OF 1 GALLON PER 40 SQ YARDS. A SECOND COAT SHALL BE APPLIED WHEN THE CONCRETE HAS REGAINED ITS DRY APPEARANCE, BUT AT LEAST 24 HOURS AFTER THE FIRST COAT, AT A RATE OF 1 GALLON PER 70 SQ YARDS.
 - B. CURE-IN-PLACE (OR APPROVED EQUIV.) TREATMENT OF SILANE-SILOXANE APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



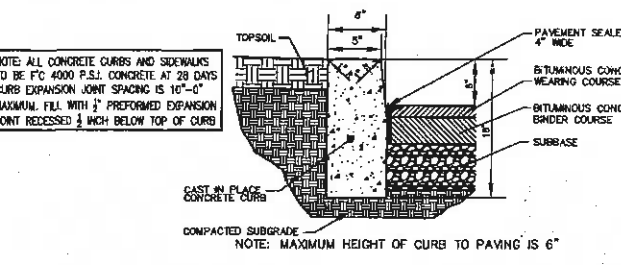
LIGHT POLE FOUNDATION

NOT TO SCALE



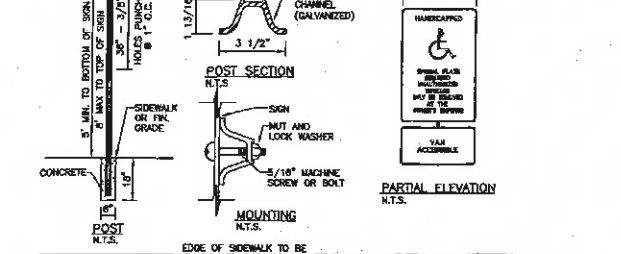
LIGHT FIXTURE DETAIL

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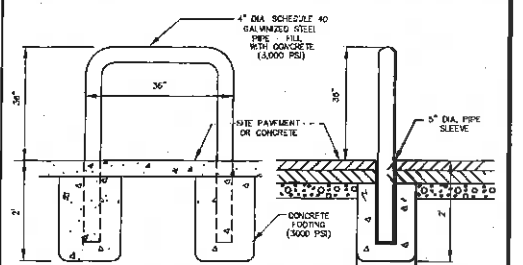
VERTICAL CONCRETE CURB DETAIL - ON SITE

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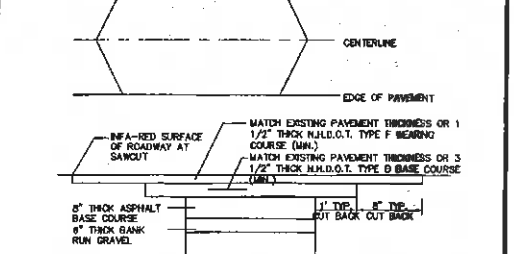
ACCESSIBLE PARKING STALLS

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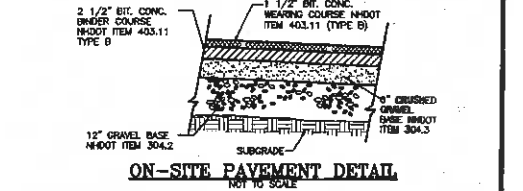
BOLLARD DETAIL

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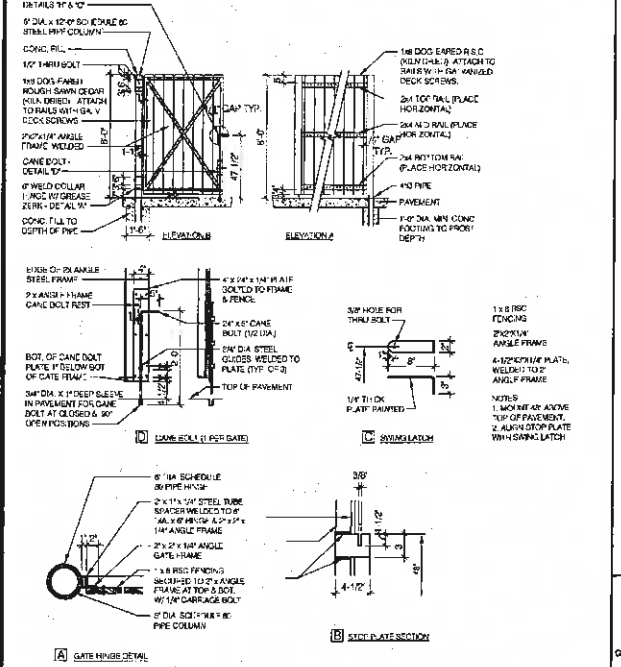
TYPICAL PAVEMENT REPAIR DETAIL

NOT TO SCALE



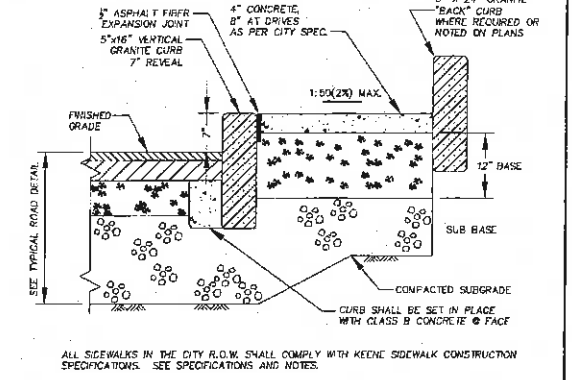
ON-SITE PAVEMENT DETAIL

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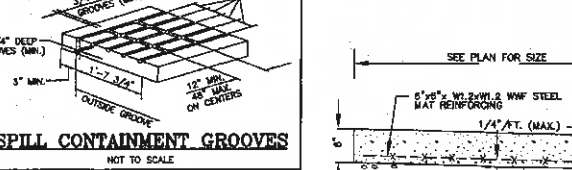
DOUBLE WOODEN DUMPSTER ENCLOSURE DETAIL

NOT TO SCALE



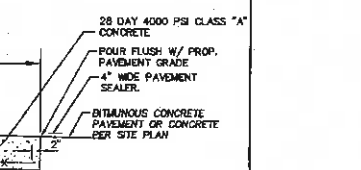
VERTICAL GRANITE CURB & CONCRETE SIDEWALK SECTION IN R.O.W.

NOT TO SCALE



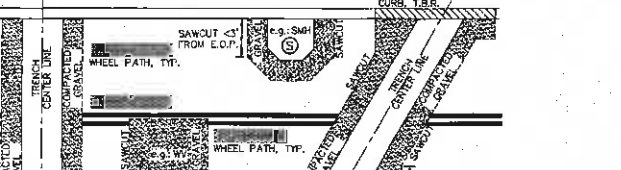
SPILL CONTAINMENT GROOVES

NOT TO SCALE



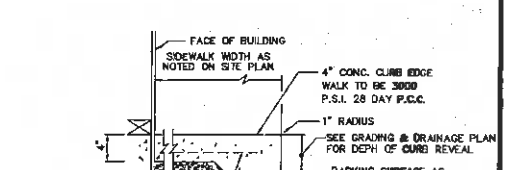
TYPICAL SITE CONCRETE PAVEMENT

NOT TO SCALE



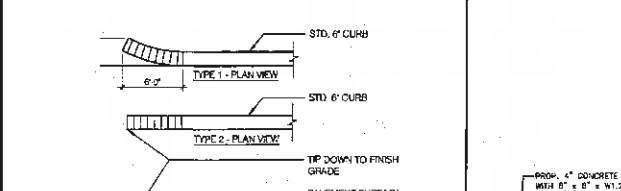
TYPICAL SAWCUTS, ASPHALT ROAD

NOT TO SCALE



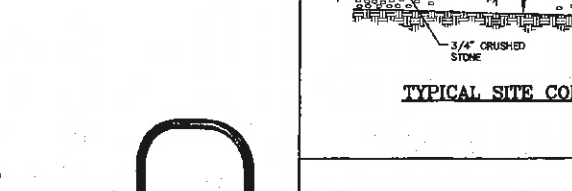
MONOLITHIC SIDEWALK DETAIL

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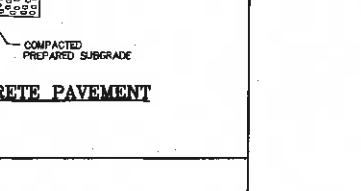
TYPICAL TRANSITION CURB ELEVATION

NOT TO SCALE



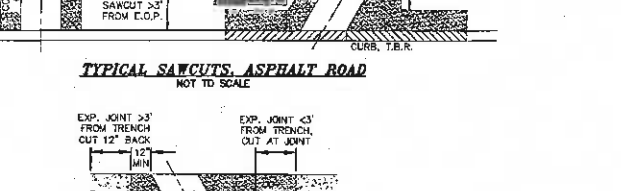
CEMENT CONCRETE SIDEWALK - ON SITE SECTION AND JOINT DETAILS

NOT TO SCALE



ASPHALT PAVEMENT REPAIR SECTION

NOT TO SCALE



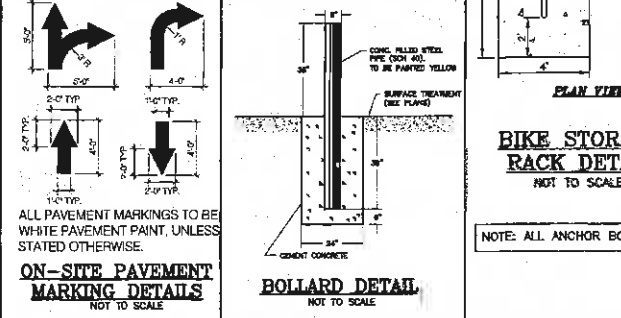
TYPICAL SAWCUTS, CONCRETE SIDEWALK

NOT TO SCALE



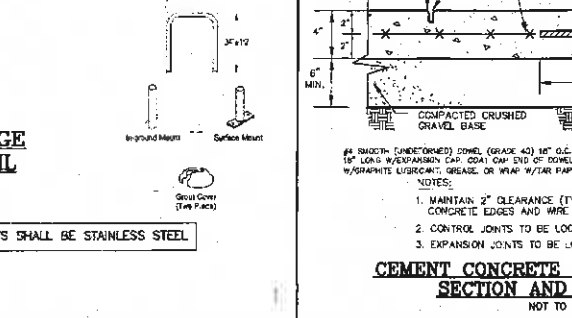
BIKE STORAGE RACK DETAIL

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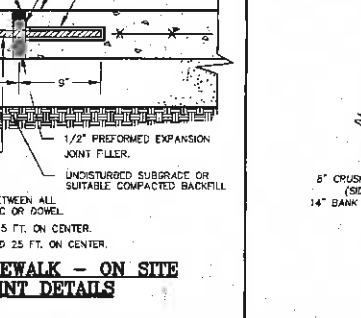
ON-SITE PAVEMENT MARKING DETAILS

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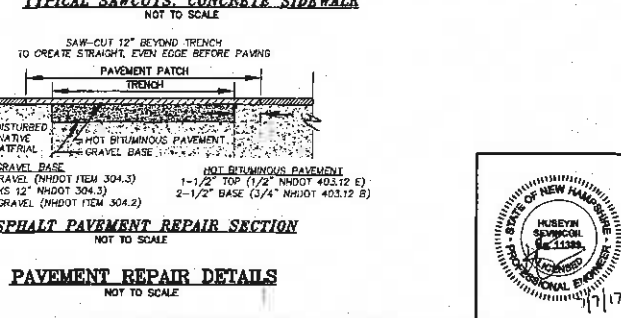
BOLLARD DETAIL

NOT TO SCALE



CEMENT CONCRETE SIDEWALK - ON SITE SECTION AND JOINT DETAILS

NOT TO SCALE



ASPHALT PAVEMENT REPAIR SECTION

NOT TO SCALE

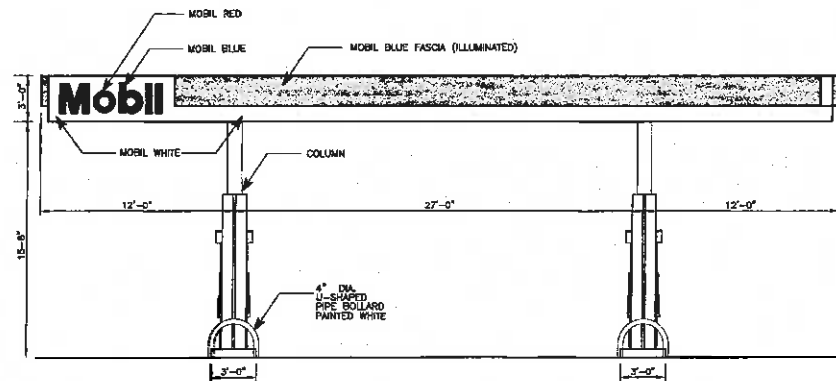
REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	REVISE PER CITY COMMENTS	GMP	7/7/17

SITE DETAILS

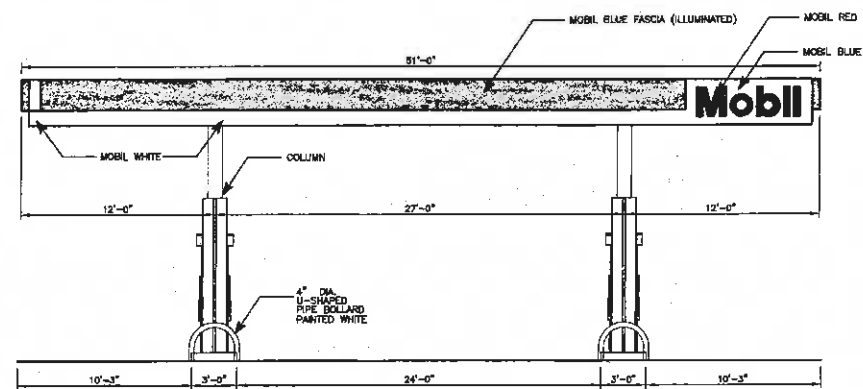
ASSESSORS MAP 98 BLOCK 2 LOT 14
219 WEST STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR:
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NEW HAMPSHIRE 03766

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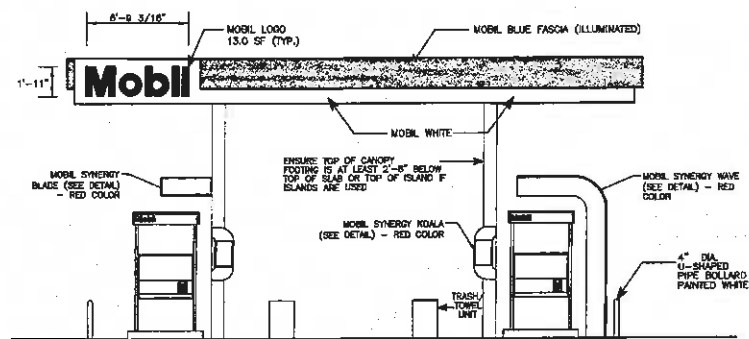
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DRAWN BY: HS CHECKED BY: PROJECT NO. 403116 SHEET NO. 9 OF 10



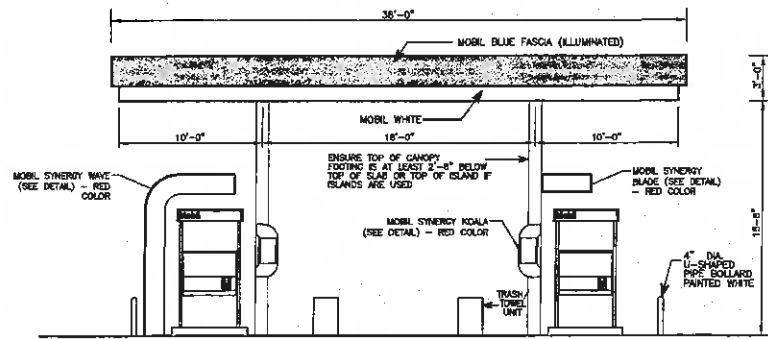
RIGHT ELEVATION - ASHUELOT STREET
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



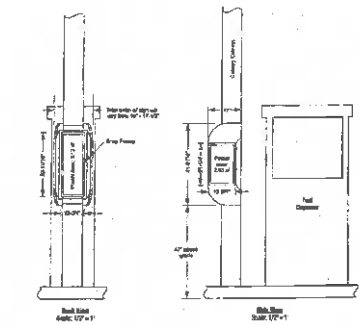
FRONT ELEVATION - WEST SYNERGY
SCALE: 3/16" = 1'-0"



REAR ELEVATION - FACING STORE
SCALE: 3/16" = 1'-0"

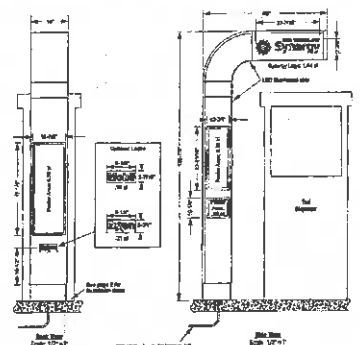
RETAIL FUEL CANOPY ELEVATIONS
SCALE: 3/16" = 1'-0"

KOALA DETAIL
NOT TO SCALE



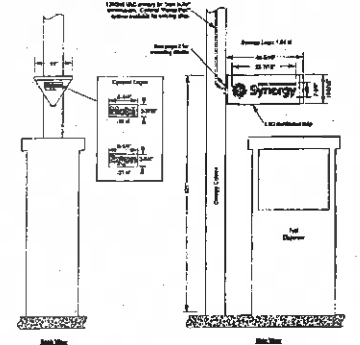
REVISIONS

WAVE DETAIL
NOT TO SCALE




REVISIONS

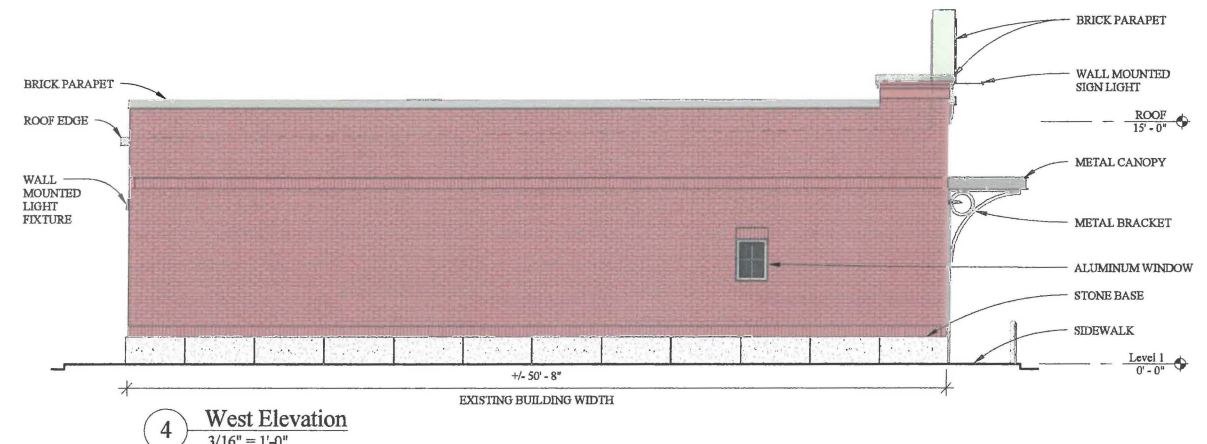
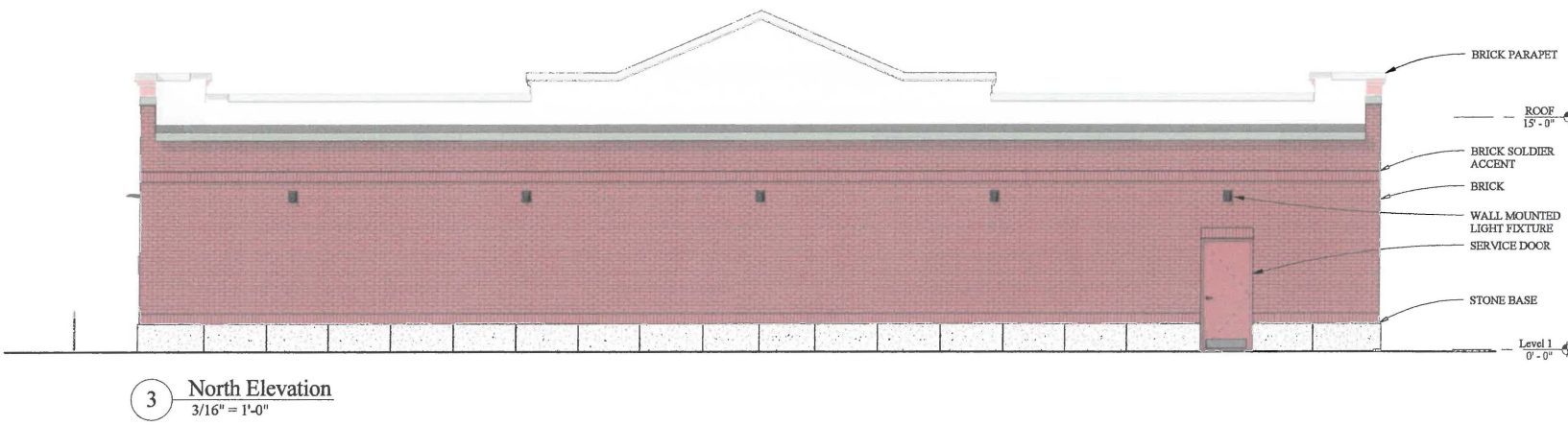
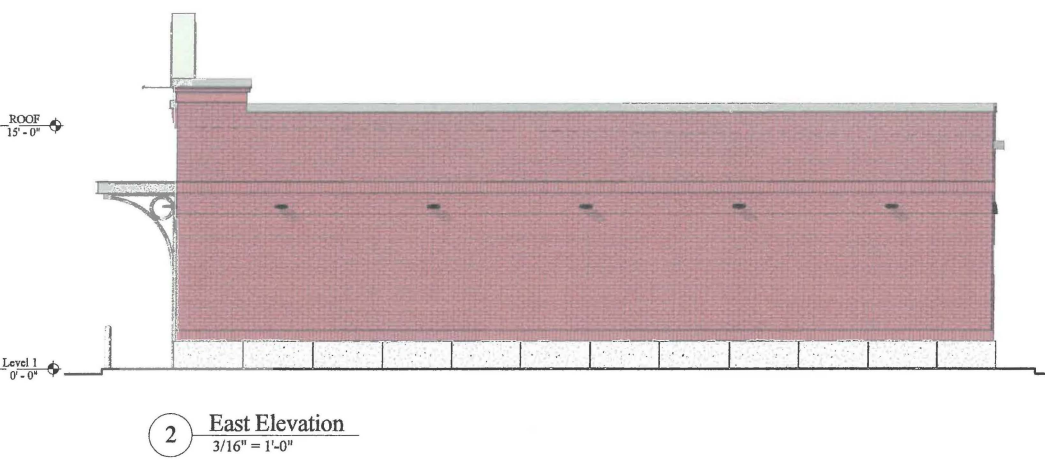
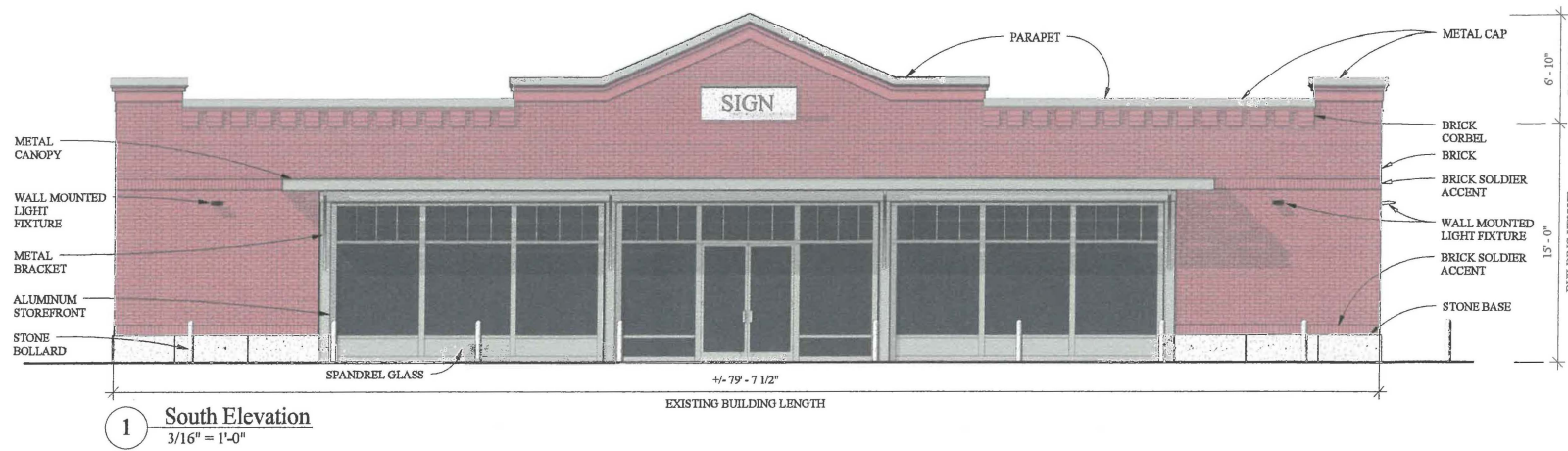
BLADE DETAIL
NOT TO SCALE



REVISIONS

NO.	DESCRIPTION	BY	DATE
REVISIONS			
RETAIL FUEL CANOPY ELEVATIONS			
ASSESSORS MAP 98 BLOCK 2 LOT 14 219 WEST STREET KEENE, NEW HAMPSHIRE PREPARED FOR: SUMMIT DISTRIBUTING, LLC 240 MECHANIC STREET LEBANON, NEW HAMPSHIRE 03766			
 MHF Design Consultants, Inc.		44 Sikes Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: AS NOTED	DATE: JUNE 17, 2017	DRAWING NO. 403116/ELEVATIONS	
DRAWN BY: HS	CHECKED BY: HS	PROJECT NO. 403116	SHEET NO. 1 OF 1





5 View of South Elevation
N.T.S.



6 View from Corner
N.T.S.

RECEIVED
JUN 16 2017
Summit Distributors
Keene Convenience Store Renovation
SPR-578, M-1

219 West St, Keene, NH
Randall T Mudge & Associates

Architects
85 DCH
Route 10
Lyme, New Hampshire

Elevations

1703 Job No
16 JUN 2017 Date
As indicated Scale
Revised
SPR1

CITY OF KEENE
NEW HAMPSHIRE

Public Works Department

Date: June 27, 2017
To: Michelle Chalice, Planner
Through: Donald R. Lussier, P.E., City Engineer
From: Yelma Desseta, Civil Engineer
Subject: 219 West Street (SPR-578, MOD.1)

Background:

The Department of Public Works, Engineering Division received the following documents in our office on June 21, 2017 for review and comments.

- Site plan entitled “Proposed Retail Motor Fuel Outlet Site Re-development Plans” MHF Design Consultants, Inc., dated June 16, 2017.
- Drainage Report prepared by MHF Design Consultants, Inc., dated June 16, 2017.

The Engineering Division reviewed the above documents and made comments in conformance with standard engineering practice and compliance with City of Keene Subdivision Rules and Regulations (Sec. 70-121. Lot monuments, Sec.70-122 Utility right-of-way, Sec.70-123 Street right-of-way, Sec. 70-124 Streets, Sec. 54-98 Drainage, Sec. 70-125 Grading, Sec. 70-126 Curbs, Sec.70-127 Sidewalks and Sec.70-129 Traffic control signals).

Site Plans:

1. Please confirm that all symbology used in the drawings is defined in the legend (e.g., storm drain, sewer, etc.).
2. Existing water and sewer services shall be terminated at the city main, not at the property line.
3. Sheet 6 of 10, sanitary sewer pipe schedule table contradicts the “Notes” that states all sanitary sewer pipes shall be SDR-35 PVC. Please clarify contradicting information.
4. Sheet 9 of 10, granite curbs to be set on gravel; the City requires granite curb to be set in place with class B concrete per City standard detail. Curbs within the Right-of-Way shall comply with this standard. Curbs on site may be set in gravel at the owner’s discretion.

5. Sheet 9 of 10, concrete sidewalk details depicts wire mesh with 3000 psi, and steel reinforcement with 4000 psi. The City requires all cast-in-place concrete sidewalks to have a compressive strength of 4000 psi and fiber reinforcement.
6. Please contact the City of Keene Engineering Division for updated standard details for work within the Right-of-Way.

Traffic Impact Study:

1. N/A

Stormwater Management:

1. Show location of soil percolation tests.
2. Provide seasonal high ground water table elevations for proposed infiltration trenches.
3. Existing 18” drain to be abandoned within West Street shall be bullheaded at each end and filled with flowable fill.
4. Applicant shall prepare and grant to the City a modified drainage easement to cover the entirety of the re-laid drainage pipe.
5. DMH-1 , DMH-2 and DMH-3 along with the various length of 18” HDPE pipe connecting the manholes to the City’s drainage network, shall become property of the City and be constructed to DPW standards. All other drainage structures and pipes shall remain property of the owner and will not be maintained by the City.

CITY OF KEENE
NEW HAMPSHIRE

Public Works Department

Date: July 11, 2017
To: Michelle Chalice, Planner
Through: Donald R. Lussier, P.E., City Engineer
From: Brett Rusnock, P.E. Civil Engineer
Subject: 219 West Street (SPR-578, MOD.1)

Background:

The Department of Public Works, Engineering Division received the following documents in our office on July 10, 2017 for review and comments.

- Response to City Review Comments, dated June 28, 2017.
- Site plan entitled “Proposed Retail Motor Fuel Outlet Site Re-development Plans” MHF Design Consultants, Inc., dated June 16, 2017; Revised July 7, 2017.
- Drainage Report prepared by MHF Design Consultants, Inc., dated June 16, 2017; Revised July 7, 2017.
- Operation and Maintenance Manual for Stormwater Management Systems, dated June 16, 2017.

The Engineering Division reviewed the above documents and made comments in conformance with standard engineering practice and compliance with City of Keene Subdivision Rules and Regulations (Sec. 70-121. Lot monuments, Sec.70-122 Utility right-of-way, Sec.70-123 Street right-of-way, Sec. 70-124 Streets, Sec. 54-98 Drainage, Sec. 70-125 Grading, Sec. 70-126 Curbs, Sec.70-127 Sidewalks and Sec.70-129 Traffic control signals).

Site Plans:

1. Please confirm that all symbology used in the drawings is defined in the legend (e.g., storm drain, sewer, etc.).

Applicant response: The legends have been revised on all sheets to define all symbology used in the drawings.

Engineering response: The comment is addressed.

2. Existing water and sewer services shall be terminated at the city main, not at the property line.

Applicant response: The Demolition Plan (Sheet 3 of 10) has been revised to show all existing water and sewer services being terminated at the City main.

Engineering response: The comment is addressed.

3. Sheet 6 of 10, sanitary sewer pipe schedule table contradicts the “Notes” that states all sanitary sewer pipes shall be shall be SDR-35 PVC. Please clarify contradicting information.

Applicant response: The Sanitary Sewer Pipe Schedule shown on the Utility Plan (Sheet 6 of 10) has been revised to specify all pipes as PVC.

Engineering response: The comment is addressed.

4. Sheet 9 of 10, granite curbs to be set on gravel; the City requires granite curb to be set in place with class B concrete per City standard detail. Curbs within the Right-of-Way shall comply with this standard. Curbs on site may be set in gravel at the owner’s discretion.

Applicant response: Sheet 9 of 10 has been revised to show the City of Keene Standard Detail for vertical granite curb and concrete sidewalks in the right-of-way.

Engineering response: The comment is addressed.

5. Sheet 9 of 10, concrete sidewalk details depicts wire mesh with 3000 psi, and steel reinforcement with 4000 psi. The City requires all cast-in-place concrete sidewalks to have a compressive strength of 4000 psi and fiber reinforcement.

Applicant response: Sheet 9 of 10 has been revised to show the City of Keene Standard Detail for vertical granite curb and concrete sidewalks in the right-of-way.

Engineering response: The comment is addressed.

6. Please contact the City of Keene Engineering Division for updated standard details for work within the Right-of-Way.

Applicant response: All applicable standard details have been provided by the City of Keene Engineering Division and have been added to the revised plans.

Engineering response: The comment is addressed.

Traffic Impact Study:

N/A

Stormwater Management:

1. Show location of soil percolation tests.

Applicant response: The location of the soil percolation test and test pit has been added to the plans.

Engineering response: The comment is addressed.

2. Provide seasonal high ground water table elevations for proposed infiltration trenches.

Applicant response: A test pit has been performed at the location of the proposed infiltration trench to determine the seasonal high groundwater elevation. The test pit

results have been added to Sheet 10 of the revised plans and the revised Stormwater Management Report.

Engineering response: The comment is addressed. The test pit data reports that the soils identified at the elevation of the infiltration trench are sand, with a measured percolation rate of 2 minutes per inch. The reported estimated seasonal high groundwater elevation is 72 inches below the surface (Elevation 470.5'). This provides the minimum vertical separation of 3 feet between the bottom of the infiltration trench (Elevation 473.5') and the groundwater elevation, as outlined in the New Hampshire Stormwater Manual.

3. Existing 18" drain to be abandoned within West Street shall be bullheaded at each end and filled with flowable fill.

Applicant response: The Demolition Plan (Sheet 3 of 10) has been revised to call out for the existing 18" drain line being abandoned to be bullheaded at each end and filled with flowable fill.

Engineering response: The comment is partially addressed. The portion of the 18" drain within the site to be abandoned is covered by the new note. The portion of the existing 18" drain between the property line and the drainage manhole within West Street should also be filled with flowable fill. Revise the sheet accordingly. Also provide a detail for the proposed pipe bulkhead ("bullhead" in previous comment). The City wishes to maintain the 20" VC drain downstream of the manhole within West Street. As such, the bulkhead must be constructed cleanly so as to not obstruct the downstream pipe.

4. Applicant shall prepare and grant to the City a modified drainage easement to cover the entirety of the re-laid drainage pipe.

Applicant response: A label has been added to the Grading & Drainage Plan (Sheet 5 of 10) stating that the existing Drainage Easement to the City shall be modified to reflect the new drainage connection. Once the plan is approved, MHF shall prepare a separate easement showing the modifications to the drainage easement.

Engineering response: The comment is addressed. **Submit the easement plan and language within 2 weeks of plan approval.**

5. DMH-1 , DMH-2 and DMH-3 along with the various length of 18" HDPE pipe connecting the manholes to the City's drainage network, shall become property of the City and be constructed to DPW standards. All other drainage structures and pipes shall remain property of the owner and will not be maintained by the City.

Applicant response: Note 16 has been added to the Grading & Drainage Plan (Sheet 5 of 10) to address this comment.

Engineering response: The comment is addressed.

228 Series™

LED Recessed Canopy Luminaire

Product Description

Slim, low profile, easy mounting from below or above the deck. Luminaire sides are rugged cast aluminum with high performance extruded aluminum heat sinks specifically designed for LED. Luminaire mounts directly to the canopy deck and is secured in place with compression molded trim frame. Luminaire housing is provided with factory applied foam gasket and provides for a weathertight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies with 12" (305mm) or 16" (406mm) wide panels. Designed for canopies of 16-22 gauge (maximum 0.065" [1.65mm] thickness).

Applications: Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery

Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

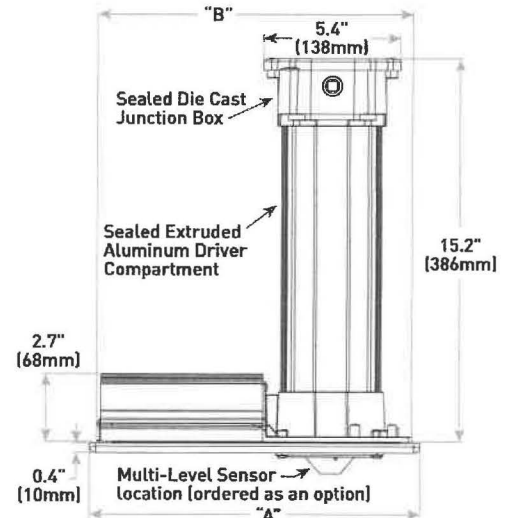
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
<p>Upgrade Plate Kit 12.0" x 21.0" (305mm x 533mm) steel face plate used when replacing recessed HID luminaires in existing open canopies</p> <ul style="list-style-type: none"> - Includes mounting channels and hardware XA-CT30F021W - 30 LED XA-CT60F021W - 60 LED XA-CT90F021W - 90 LED - For use with canopies that are greater than 2.5" (64mm) in height XA-CT30F021WS - 30 LED XA-CT60F021WS - 60 LED XA-CT90F021WS - 90 LED - For use with shallow canopies that are less than 2.5" (64mm) in height <p>Upgrade Plate Kit - Metal Metal plate used when replacing surface mounted HID luminaires. Painted Colorfast DeltaGuard® white. Must be field cut to match luminaire</p> <ul style="list-style-type: none"> XA-CTP26X24WT - 26" x 24" (660mm x 610mm) steel plate spans two 12" (305mm) deck panels XA-CTP26X32WT - 26" x 32" (660mm x 813mm) steel plate spans two 16" (406mm) deck panels 	<p>Upgrade Plate Kit - Plastic 24.3" x 26.0" (617mm x 660mm) plastic canopy trim plates with and without backer plates. For use when replacing existing surface mounted or recessed HID luminaires</p> <ul style="list-style-type: none"> XA-CT30B047W - 30 LED XA-CT60B047W - 60 LED XA-CT90B047W - 90 LED - Kits without backer plates for use with canopies that have a maximum of 7" (178mm) diameter cut hole XA-CT30C241W - 30 LED XA-CT60C241W - 60 LED XA-CT90C241W - 90 LED - Kits with backer plates for use with 12" (305mm) or 16" (406mm) canopies that have a maximum of 10" (254mm) diameter or 10" x 10" (254mm x 254mm) cut hole XA-CT30C642W - 30 LED XA-CT60C642W - 60 LED XA-CT90C642W - 90 LED - Kits with backer plates for use with 16" (406mm) canopies that have a maximum of 12" (305mm) diameter or 12" x 12" (305mm x 305mm) cut hole <p>Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required</p>



LED Count (x10)	Drive Current	Dim. "A"	Dim. "B"	Weight
03	525/700mA	13.1" (333mm)	12.5" (317mm)	18.7 lbs. (8.5kg)
06	525/700mA	17.8" (451mm)	17.2" (437mm)	23.9 lbs. (10.8kg)
06	900mA	17.8" (451mm)	17.2" (437mm)	24.5 lbs. (11.1kg)
09	350mA	22.5" (572mm)	21.9" (557mm)	32.0 lbs. (14.5kg)
09	525/700mA	22.5" (572mm)	21.9" (557mm)	31.9 lbs. (14.5kg)

Ordering Information

Example: CAN-228-SL-RM-03-E-UL-WH-525

Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
CAN-228	5M Type V Medium SL Sparkle Petroleum PS Petroleum Symmetric	RM Recessed	03 - Available with SL optic only 06 09	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SY Silver WH White	350 350mA - Available with 90 LEDs only 525 525mA 700* 700mA 900* 900mA - Available with UL voltage only - Available with 60 LEDs only	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current ML Multi-Level - Refer to ML spec sheet for details PML Programmable Multi-Level - Refer to PML spec sheet for details 40K 4000K Color Temperature - Available with UL voltage only - Available with 60 LEDs only - Minimum 70 CRI

* 60 LED luminaires with 900mA drive current and 90 LED luminaires with 700mA require marked spacing: 48" x 24" x 6" (1,219mm x 610mm x 152mm); 48" [1,219mm] center-to-center of adjacent luminaires, 24" (610mm) luminaire center to side building member, 6" (152mm) top of luminaire to overhead building member
NOTE: Price adder may apply depending on configuration

Cree Edge™ Series

LED Area/Flood Luminaire

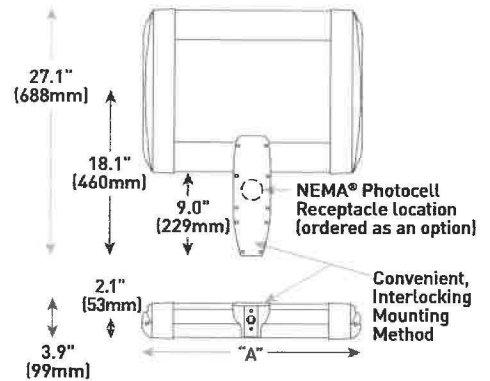
SPR-578
M.1

Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

DA Mount



Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BROSPK	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel
Hand-Held Remote XA-SENSREM	
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	

LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

AA/DL/SA Mount - see page 22 for weight & dimensions

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options																												
ARE-EDG	2M Type II Medium	3MB Type III Medium w/BLS	4MP Type IV Medium w/Partial	AA Adjustable Arm	02	E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current	PML Programmable Multi-Level, 20-60" Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt																									
				DA Direct Arm	04							UH Universal 347-480V	BZ Bronze	525 525mA	F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse	PML2 Programmable Multi-Level, 10-30" Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt																				
				DL Direct Long Arm	06												SV Silver	700 700mA	R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others - Refer to ML spec sheet for availability with ML options																	
		08	WH White	- Available with 20-60 LEDs	40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire																															
		10																		ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt																
		12																			P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only															
		14																																		
		16																																		
	FLD-EDG	25 25" Flood																				70 70" Flood	N6 NEMA® 6	AA Adjustable Arm		E	UL Universal 120-277V	BK Black	350 350mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current	PML Programmable Multi-Level, 20-60" Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt					
																								SA Side Arm - Available with 20-60 LEDs								UH Universal 347-480V	BZ Bronze	525 525mA	F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse	PML2 Programmable Multi-Level, 10-30" Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt
																						WH White	- Available with 20-60 LEDs	40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire												
		ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt																																		
						P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only																														

* Reference EPA and pole configuration suitability data beginning on page 19
NOTE: Price adder may apply depending on configuration



XSP Series

XSPW™ LED Wall Mount Luminaire

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K)

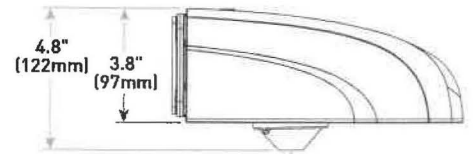
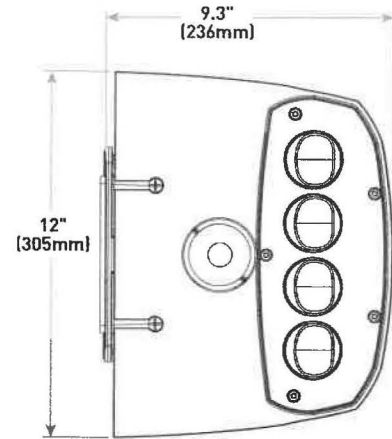
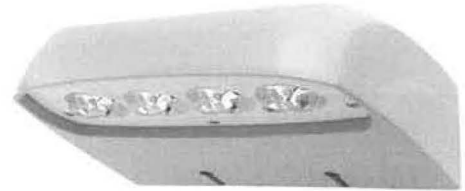
Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed
Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PMT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs

** Must specify color



Multi-Level Sensor location (ordered as an option)

Weight
9.5 lbs. (4.3kg)

Ordering Information

Example: XSPW-A-0-2-F-C-U-Z

Product	Version	Mounting	Optic	Modules	Input Power Designator	Voltage	Color Options	Options
XSPW	A	0 Wall	2 Type II Medium 3 Type III Medium	F 4000K M 5700K	C 42W G 25W	U Universal 120-277V 1 120V 2 208-277V 6* 347V	S Silver T Black W White Z Bronze	K Multi-Level - Refer to ML spec sheet for details - Available with Input Power Designator C only - Available with U voltage only P Photocell - Not available with K option - Must specify 1, 2, or 6 voltage

* Available in Canada only. 347V utilizes magnetic step-down transformer. For input power for 347V, refer to the Electrical Data table
 NOTE: Price adder may apply depending on configuration



Rev. Date: V7 08/11/2016



Description

The Halo RL4 series is a retrofit LED Baffle-Trim Module for 4" aperture recessed downlights. The RL4 is designed for use with compatible 4" housings. The RL4 integral LED driver is dimmable at 120 volts. The RL4 lens provides uniform illumination and wet location listing. Precision construction makes any housing AIR-TITE for added HVAC savings and code compliance. Compliant with NFPA 70, NEC section 410.16 (A)(1) and 410.16 (C)(3).

Catalog #		Type
Project		
Comments		Date
Prepared by		

Specification Features

MECHANICAL

Module-Trim

- Module construction includes LED, heat sink, reflector, lens, baffle and trim ring
- Regressed baffle
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments
- Designer trim finish options (sold separately)
 - White (Paintable) Trim Ring
 - Satin Nickel Trim Ring
 - Tuscan Bronze Trim Ring

Lens

- Regressed lens
- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

Mounting

- Push-N-Twist universal installation clips
- Clips are pre-installed and designed to fit 4" compatible recessed housings

Housing Compatibility

See Housing Compatibility section.

LED

- Color Temperature (CCT)† Options:
 - 90 CRI: 2700K, 3000K, 3500K, 4000K, and 5000K
 - 80 CRI: 2700K, 3000K, 3500K, and 4000K
- CRI options: 80 and 90*
 - 90 CRI can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8.

LED Chromaticity

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377-2008
- 90 CRI model features high color performance with R9 greater than 50

- Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT
- Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time

ELECTRICAL

Power Connections

- LED connector is a non-screw base luminaire disconnect offering easy installation with Halo H995 Series LED housings
- LED Connector meets California Title-24 high efficacy luminaire requirement for a non-screw base socket, and where required to qualify as a high efficacy luminaire
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Compatibility)

Ground Connection

Separate grounding cable included on the RL4 module for attachment to the housing during installation.

LED Driver

- With the latest "driver-on-board" electronic technology, the driver is integrated in the module.
- 120V 50/60 Hz constant current dimmable driver provides high-efficiency operation
- Driver meets FCC 47CFR Part 15 EMI/RFI consumer limits for use in residential and commercial installations
- Driver features high power factor and low THD and has integral thermal protection in the event of over temperature or internal failure
- If dimming is not required the fixture can be operated from a standard wall switch

Dimming

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) Phase Control dimmers. (Dimmers with low end trim adjustment offer greater assurance of achieving 5% level.)
- Consult dimmer manufacturer for compatibility and conditions of use.

Note: some dimmers require a neutral in the wallbox.

Warranty

Eaton provides a five year limited warranty on the RL4 LED.

Compliance

- UL/cUL Listed 1598 Luminaire (with listed housings)
- UL Classified (with other housings - see Housing Compatibility)
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location – Shower Applications
- IP65 Ingress Protection rated
- May be installed in IC rated housings in direct contact with air-permeable insulation** and combustible material
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 75 Pascals pressure difference)
- 90 CRI: Can be used to comply with California Title 24 High Efficacy requirements. Certified to California Title 20 Appliance Efficiency Database.*
- 80 CRI: Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as an LED luminaire.
- Can be used for International Energy Conservation Code (IECC) high efficiency luminaire compliance.
- Can be used for Washington State Energy Code compliance
- ENERGY STAR® Certified luminaire - consult ENERGY STAR® Certified Product List*
- EMI/RFI per FCC 47CFR Part 15 Class B Consumer limits, suitable for use in residential and commercial installations
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21
- Suitable for use in closets. Compliant with NFPA 70, NEC Sec. 410.16 (A)(1) and 410.16 (C)(3).



RL460WH†
White

4-Inch LED Recessed Retrofit Module-Trim

- 80CRI**
2700K, 3000K, 3500K, 4000K
- 90CRI**
2700K, 3000K, 3500K, 4000K, 5000K

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS

HIGH-EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE



Refer to ENERGY STAR® Certified Products List.



Refer to ENERGY STAR® Qualified Products List. Can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8.



* Refer to ENERGY STAR® Certified Products List and CEC (T20) Appliance Database for listings.
** Not for use with housings in direct contact with spray foam insulation.
† See ordering information table for available models.



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	12W
120V:	0.12A	Color Temp:	5100K
208V:	0.08A	Color Accuracy:	71 CRI
240V:	0.07A	L70 Lifespan:	100000
277V:	0.06A	Lumens:	1978
Input Watts:	16W	Efficacy:	125 LPW
Efficiency:	76%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.

DLC Product Code: PMV178BC

ADA Compliant:

SLIM™ is ADA Compliant.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:

Minimum starting temperature is -40° F (-40° C)

Maximum Ambient Temperature:

Suitable for use in 104° F (40°C) ambient temperatures

Housing:

Precision die-cast aluminum housing.

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

Recommended Mounting Height:

Up to 8 ft.

Lens:

Tempered glass lens.

Reflector:

Specular thermoplastic.

Gaskets:

High-temperature silicone

Finish:

Formulated for high-durability and long lasting color.

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

LED Characteristics

LED:

Multi-chip, long-life LED.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 4KV surge protection, 350mA, 100-240VAC 0.3-0.15 Amps, 277VAC 0.15Amps, Power Factor 99%.

Other

California Title 24:

SLIM12 complies with 2013 California Title 24 building and electrical codes as a residential outdoor fixture. See SLIM12/PC for a model that complies as a commercial outdoor non-pole-mounted fixture ≤ 30 Watts.

Patents:

The design of the SLIM™ is protected by patents in U.S. Pat D681,864, and pending patents in Canada, China, Taiwan and Mexico.

HID Replacement Range:

Replaces 70W Metal Halide.

Optical

BUG Rating:

B1 U0 G0



LED 26W Wallpacks. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze

Weight: 7.5 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	26W
120V:	0.26A	Color Temp:	3000K
208V:	0.16A	Color Accuracy:	71 CRI
240V:	0.14A	L70 Lifespan:	100000
277V:	0.12A	Lumens:	3296
Input Watts:	29W	Efficacy:	112 LPW
Efficiency:	89%		

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00001750

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Finish:

Formulated for high-durability and long lasting color.

Ambient Temperature:

Suitable for use in 104° F (40° C) ambient temperatures.

Cold Weather Starting:

Minimum starting temperature is -40° F (-40° C)

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

Electrical

Driver:

Multi-chip 26W high output long life LED Driver
Constant Current, 720mA, Class 2, 6kV Surge Protection, 100V-277V, 50-60 Hz, 100-240V.4 Amps.

Other

California Title 24:

See WPLED26/PC for a 2013 California Title 24 compliant model.

Patents:

The WPLED design is protected by U.S. Pat. D634878, Canada Pat 134878, China Pat. CN301649064S.

Equivalency:

Equivalent to 175W Metal Halide.

Optical

BUG Rating:

B1 U0 G0

BUG Rating:

B1 U0 G0