



**Planning Board – Monday, August 27, 2018, 6:30PM**  
**City Hall Council Chambers – 3 Washington Street, 2<sup>nd</sup> floor**  
**AGENDA**

- I. **Call to Order** – Roll Call
- II. **Minutes of Previous Meeting** – July 23, 2018 Meeting
- III. **Boundary Line Adjustment**
  1. **S-06-18 – Boundary Line Adjustment – 7 Pinehurst Ave & 366 Park Ave** – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning on behalf of owner Thomas Perrault proposes to adjust the boundary between 2 adjacent properties owned by Mr. Perrault. The sites are 10,272 SF and 26,355 SF in size and located in the Low Density Zoning District (TMP#s 539-048-000-000-000 & 539-048-000-000-000).
- IV. **Public Hearing**
  1. **SPR-847, Mod. #1 – Site Plan – 58 Optical Avenue** – Applicant Jim Phippard of Brickstone Land Use Consultants, LLC on behalf of owner RJ Hall Company is proposing two small additions to the existing building. On the south side, a 2000 SF (20' x 100') single-story addition warehouse space and a 430 SF single-story office addition. The site is approximately 2.27 acres in size and is located in the Industrial Park Zoning District (TMP# 241-008-000-000-000)
  2. **S-05-18 – Subdivision – 8 Green Acres Road** – Applicant Wendy Pelletier of Cardinal Surveying & Land Planning on behalf of owners Joshua & Leanna Hamlin propose a residential 2-lot subdivision. The existing dwelling will be on a 13,855 SF lot with frontage on Green Acres Road. The site is 0.58 acres in size and is located in the Low Density Zoning District (TMP# 521-002-000-000-000).
- V. **Community Development Director Report**
- VI. **New Business**
- VII. **Upcoming Dates of Interest – September 2018**

Planning Board Meeting – September 24, 6:30 PM  
Planning Board Steering Committee – August 11, 12:00 PM  
Joint PB/PLD Committee – September 10, 6:30 PM  
Planning Board Site Visits – September 19, 8:00 AM – To Be Confirmed

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**CITY OF KEENE  
NEW HAMPSHIRE**

**PLANNING BOARD  
MEETING MINUTES**

Monday, July 23, 2018

6:30 PM

Council Chambers

Members Present

Gary Spykman, Chairman  
Douglas Barrett, Vice-Chair  
Mayor Kendall Lane  
Councilor George Hansel  
Chris Cusack  
Nathaniel Stout

Staff:

Rhett Lamb, Asst. City  
Manager/Community Development  
Director  
Planner, Michele Chalice  
Planning Technician, Mari Brunner

Members Not Present:

Pamela Russell Slack  
Martha Landry  
Matthew Burke

**I. Call to order – Roll Call**

Chair Spykman called the meeting to order at 6:30 PM and roll call was taken.

**II. Minutes of previous meeting** – June 25, 2018 Meeting

A motion was made by Mayor Kendall Lane to accept the June 25, 2018 minutes. The motion was seconded by Councilor George Hansel and was unanimously approved.

**III. Boundary Line Adjustment**

**1. S-08-08, Mod. #1 – 421/431 Court Street – Boundary Line Adjustment** –

**Applicant/Owner Richard Hastings proposes to** adjust the boundary between Lot #115-02-006-0100 and Lot #115-02-006-0200 making Lot # 115-02-006-0100 twelve feet wider. The voluntary merger will reduce the total number of lots from 6 lots as originally approved to 3 lots as shown on the plan.

**A. Board Determination of Completeness.**

Planning Technician Mari Brunner indicated that staff recommends the Board grant requested exemptions from grading, landscaping, and the lighting conditions plan and accept Application S-08-08 as complete. A motion was made by Councilor George Hansel that the Board accept this application as complete. The motion was seconded by Nathaniel Stout and was unanimously approved.

**B. Public Hearing**

Chair Spykman stated the Board is not obligated to open an application for a boundary line adjustment for public comment, but it has been the practice of the Board to do so.

Mr. David Mann, Surveyor addressed the Board first. Mr. Mann stated this subdivision was approved in 2008 for six lots. The owner would like to reduce the number of lots and modify a line to move it over by 12 feet. The driveway will be shortened but the same hammerhead

turnaround will remain. Upon approval of this plan, the applicant will merge four lots into one lot as represented on the plan, for a total of three lots.

Chair Spykman asked for the timing for completion of this project. Mr. Mann referred this question to the applicant. Mr. Richard Hastings stated the first two lots have been sold, the third lot should be completed by September and the entire project completed by the end of December.

Staff comments were next. Ms. Brunner stated this subdivision was approved in 2008 for six lots. The boundary adjustment being requested is between lots 2 and 3, to move the line 12 feet to the north. After the adjustment, both lots will still be conforming to minimum lot size requirements. All of these lots will be for single family homes. Ms. Brunner noted that because this is a boundary line adjustment and not a site plan review, not all of the Board's development standards are applicable. The applicant was required to go through the Board's development standards when the subdivision plan was approved in 2008.

Ms. Brunner addressed the standards which apply to this application. She stated that site runoff and drainage were addressed previously; however, the driveway modification would result in less impervious area overall and is expected to have a decreased impact on site runoff. No changes to sedimentation and erosion control measures are being proposed. With regards to hillside protection, Ms. Brunner noted that with the voluntary merger and reduction in the total number of lots there will be less impact on steep slopes.

With regards to snow storage, Ms. Brunner stated that in the original application the applicant proposed to store snow on each lot and at the end of the driveway. There are no wetlands present on the site, and the site is not located in a floodplain.

The applicant is not proposing any changes to lighting and landscaping. The site will be serviced by city water and sewer, and with the voluntary merger and reduction in the total number of lots that will be developed, it is expected that there will be a decreased impact on traffic.

Ms. Brunner noted that Standard #19 does not apply to this application because there is no site development proposed this time.

Mayor Lane asked whether there was restriction of future subdivision of the lots being merged. Ms. Brunner stated that once the lots are merged, they could not be un-merged without getting approval from the Planning Board first.

Chair Spykman asked how the shared driveway was laid out. Ms. Brunner stated it is a common driveway for all the lots and that it was approved through City Council for a single curb cut. The applicant also got approval to make the driveway 20 feet wide with a single turn around area at the end; it is a driveway easement across the three lots.

Mayor Lane noted this has been a controversial subdivision and there has been concern expressed by the neighborhood particularly because of the cliff which has been created behind these houses. Mr. Lamb noted this was a 2:1 slope and it was approved by the Planning Board. It was built with the option of either a retaining wall constructed with concrete units or with native stone on the site. The engineer has signed off on what has been constructed and is satisfied it meets engineering requirements. Mr. Lamb added staff has been looking at this area during construction and there has not been much erosion because of the type of soil. From an enforcement standpoint, staff is satisfied it met what the Board intended. Mr. Lamb agreed this is

a substantial change to the lot but it is holding together pretty well. He felt what is being proposed was a good compromise. He noted that the remainder of the lot is much more difficult to develop. Reducing the total number of lots to three instead of six and shortening the driveway is a reasonable solution for a difficult spot.

The Chairman opened the application for public comment.

Mr. Wendell Pollock asked whether the third house being built will be located in the third lot and what kind of a house this was going to be. The Chairman stated this is what the applicant has alluded to. Mr. Lamb stated it would be a single-family home. Mr. Pollock asked whether any further development was being proposed. The Chairman stated the applicant is proposing to merge the lots into one large lot and plans to finish the proposed construction by the end of the year.

With no further comments, the Chairman closed the public hearing.

C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve S-08-08 Modification #1 as shown on the plan identified as “Boundary Line Adjustment and Voluntary Merger Plan Prepared for Richard E. Hastings Jr. & Charlene M. Hastings, Court Street, City of Keene, County of Cheshire, State of New Hampshire”, prepared by David A. Mann Survey at a scale of 1 inch = 40 feet and dated May 21, 2018 with the following conditions:

1. Prior to signature by Planning Board Chair:
  - a. Voluntary merger as shown on the above referenced plan is approved and recorded at the Registry of Deeds.
  - b. Property owners’ signatures appear on the plan.

The motion was seconded by Councilor Hansel and was unanimously approved.

2. **S-04-18 – 465 West Street – Boundary Line Adjustment** – Applicant/Owner Cheshire Oil Company LLC (dba T-Bird Mini Marts) owns property located at 465 West St which is adjacent to property owned by Ellis Robertson Corp & Realities Inc. (dba Hannaford's Shopping Center.) The Cheshire parcel consists of the T-Bird Mini Mart store, gasoline pumps, travel lanes and approximately 37 parking spaces currently leased by the shopping center. Both properties are fully developed and therefore a Waiver is requested from the Development Standard #19. The sites are located in the Commerce Zoning District (TMP#s 099-01-014 & 099-01-013).

The Chair recused himself as his business is a tenant of one of the applicants and turned the item over to the Vice-Chairman.

A. Board Determination of Completeness.

Planner Michele Chalice recommended to the Board that the Application S-04-18 was complete. A motion was made by Mayor Kendall Lane that the Board accept this application as complete. The motion was seconded by Councilor George Hansel and was unanimously approved.

B. Public Hearing

Vice-Chair Barrett indicated as this is a boundary line adjustment public comment is not required but it is the Board’s practice to take comment, should the public like to comment on this item.

Mr. David Mann addressed the Board again – he noted one of the entities had a name change which he had discussed with staff and noted to a new plan with this name change. There was also an issue with the boundary line due to the lease line which has also been noted on the new plan.

Mr. Mann stated this boundary line adjustment would place the gas station and car wash on the same lot with the associated parking with those lots. The leased spaces would not exist and this would reflect in the ownership agreement. He referred to the two leased areas on the plan. There is an easement for movement of traffic through the gas station to exist via the main entrance and this would continue as well as the two light standards that exist.

Staff comments were next. Ms. Chalice referred to page 18 of the staff report and noted the parcel is currently operated in three different ways and this proposal is to manage operations as one entity and to provide a more cohesive management option. She went on to say both of these sites are fully developed. Ms. Chalice stated this application is not subject to any of the Board's development standards and staff has no other concerns.

Vice-Chair Barrett asked for public comment, with no comments, the Chairman closed the public hearing.

C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve S-04-18, as shown on the plans identified as "BOUNDARY LINE ADJUSTMENT for Realities Inc. Ellis Robertson Corp. and Syfeld Keene Associates, LLC, (465) West St, City of Keene, County of Cheshire, State of New Hampshire", at a scale of 1" = 50', parcel # 565017000000000, stamped by David A Mann Survey, a Division of DuBois & King Inc., dated June 27, 2018, and received by the Community Development Department on July 23, 2018 with the following condition:

1. Owners' signatures on plan before final approval.

The motion was seconded by Councilor Hansel and was unanimously approved.  
Chair Spykman rejoined the Board.

IV. Public Hearing

1. S-03-18 – 139 Forest Street– 2-Lot Subdivision – Applicant Cardinal Surveying & Land Planning, on behalf of owner William Shepard, proposes a 2-lot subdivision. This proposal would subdivide the existing 0.53 acre lot (TMP# 536-074-000-000-000) into one 0.26 acre lot and one 0.27 acre lot. The site is located in the Medium Density Zone.

A. Board Determination of Completeness.

Ms. Brunner recommended to the Board that Application S-03-18 be accepted as complete. A motion was made by Mayor Lane that the Board accept this application as complete. The motion was seconded by Councilor Hansel and was unanimously approved.

B. Public Hearing

Wendy Pelletier of Cardinal Surveying addressed the Board and stated this is a simple two lot subdivision. The existing lot is a half-acre lot surrounded by Forest, Prospect and Armory Streets. It is an existing non-conforming lot as it does not meet the setback requirements. She explained that the subdivision would result in a change in frontage, and by switching the frontage it becomes more conforming. There is a bank that separates the two properties. There is a small retaining wall shown on the plan, but she noted it is more of a pile of rubble and hence she did

not move the property line to avoid the wall. There is no drainage from the existing house onto the proposed lot, which was a question from engineering.

Mr. Stout asked for more explanation as to how the frontage works. Ms. Pelletier stated because it is a corner lot, the shorter side is considered the front of the lot. With this subdivision, the shortest side changes and therefore the frontage changes and the old frontage becomes the side of the lot. Mr. Stout asked whether this would change the address. Ms. Pelletier answered in the negative, staff agreed - Mr. Lamb noted this is a city engineer decision. Mayor Lane asked whether this lot has any wet areas. Ms. Pelletier stated it does not, and Mr. Stout who often walks by this property agreed. Chair Spykman noted that the plan shows a shed near the proposed boundary line between the two properties and asked whether the shed met the zoning setback requirements. Ms. Pelletier stated because it is less than 120 square feet, it does not need to meet setback requirements and staff concurred.

Staff comments were next. Ms. Brunner stated this is a simple two-lot subdivision. The frontage is currently on Forest Street. Once the subdivision is complete, both parcels will have frontage on Prospect Street. The front setback for lots in this zone is 15 feet and side setback is ten feet, however for corner lots the side setback is increased by 10 feet. In this case, the side setback is therefore 20 feet. After this change, the lot will be more conforming because the square footage of the existing building within the setbacks is decreasing.

Ms. Brunner referred to engineering comments, listed on page 28 of the packet, which note that if a driveway permit is required, it would have to be shown on the plan. She stated that the applicant has decided a driveway permit would be applied for separately when the site is developed. Because there is no development being proposed, not all of the Board's development standards apply to this application.

With regards to hillside protection, the applicant has indicated that no work is being performed in the precautionary and prohibitive slope area and the site will conform to the hillside protection ordinance. Lot 2 has a usable area of .25 acres and is hence could be developed. The site is serviced by city sewer and water. There are no wetlands or surface water on site, and the parcel is not located within the floodplain.

The Chairman opened the application for public comment. With no comments, the Chairman closed the public hearing.

#### C. Board Discussion and Action

A motion was made by Mayor Kendall Lane that the Planning Board approve S-03-18, as shown on the plan set identified as "Lot 536-074-000 139 Forest Street Keene, NH 03431" Prepared by Cardinal Surveying & Land Planning for Dazwa Properties, LLC at a scale of 1" = 20', dated June 14, 2018 with the following conditions:

1. Submittal of a revised Subdivision Plan with the following changes:
  - a. The boundary line between Lots #1 and #2 is adjusted to show that the existing retaining wall on Lot #1 does not encroach onto Lot #2.
  - b. Note 13 be corrected to state that a driveway permit and subsequent inspection happen through the City Engineering Department.
2. Owner's signature appears on plan prior to approval.

The motion was seconded by Councilor George Hansel.

Ms. Brunner noted 1. a. no longer applies. The motion and second were withdrawn.

A motion was made by Mayor Kendall Lane that the Planning Board approve S-03-18, as shown on the plan set identified as “Lot 536-074-000 139 Forest Street Keene, NH 03431” Prepared by Cardinal Surveying & Land Planning for Dazwa Properties, LLC at a scale of 1” = 20’, dated June 14, 2018 with the following conditions:

1. Submittal of a revised Subdivision Plan with the following change:
  - a. Note 13 be corrected to state that a driveway permit and subsequent inspection happen through the City Engineering Department.
2. Owner’s signature appears on plan prior to approval.

The motion was seconded by Councilor George Hansel and was unanimously approved.

2. **SPR-11-16, Mod. #5 – 99 Wyman Road – Hillside Village Continuing Care Retirement Community** – Applicant Prospect-Woodward Home is requesting changes to their lighting and landscape plans. To accomplish the lighting changes, they have also requested a Waiver from Development Standard #10.C.1 – Lighting. Shielding. The Hillside Village Continuing Care Community is located at 99 Wyman Road. The site is now 36.26 acres in both the Rural and the Corporate Park Zoning Districts (TMP# 919-09-024).

Mayor Kendall Lane recused himself from the application.

A. Board Determination of Completeness.

Planner Michele Chalice recommended to the Board that Application SPR-11-16 was complete. A motion was made by Councilor George Hansel that the Board accept this application as complete. The motion was seconded by Chris Cusack and was unanimously approved.

B. Public Hearing

Mr. Jim Phippard of Brickstone Masons addressed the Board and noted to a correction to the tax map numbers due to the recent changes in the Assessing database. The correct number should read as 221-018-000 and 221-019-000. He indicated this is modification #5; Hillside Village construction is well underway. However, as residents start entering this site, they are providing feedback to the applicant, especially to landscaping and landscaping.

Landscaping – The proposed changes to landscaping affected the courtyard area, community area, main community building, area adjacent to Woodside apartments, west side of the community building, and both court yard areas to the health center and assisted living area. The residents are asking that they be able to retain the view from their living areas.

Previously the court yard area had six flowering crab trees; the residents are concerned their view is going to be obstructed. As a result, these trees are going to be relocated and replacing them with single trees in the courtyard and then locate shrub plantings in the rest of the area. The walkway is also being moved giving residents an area to locate a chair or table. Similar changes were done to the south courtyard area as well. The flowering crabs were relocated to the outdoor walkway area leading from Woodside Apartments back to the community building.

At the front of the community building, for building code reasons for fire separation it could not be an open parking – it required three walls. The arborvitae which was in front of the parking



area is being moved, so they won't face a wall. The same was true with the other covered parking area as well.

As they progressed with the plans for the health center, the area here is referred to as a sensory garden to help dementia patients. The landscaping is being changed to include two trees (birch cluster and flowering crab). On the east side of the health center, the area will be more open with a single tree. A trash compactor has been added to serve the health center. This unit would be screened on all sides with eight foot high solid vinyl with the top 18 inches would in in lattice and arbor vitae.

Councilor Hansel clarified the arborvitae on the northwest side will be below the wall level. Mr. Phippard agreed.

Mr. Stout asked about the walls being proposed for the parking on three sides. Mr. Phippard stated it would be constructed with solid wood and would match the architecture at the parking at Woodside.

Lighting – There was a single pole light at the entry to the underground parking (S3) fixture 15 feet high. A resident near this area realized this light would be very close to their window and objected to it. This fixture has been removed and the fixture above the overhead door would be sufficient. The light at the port cochere is a fixture the architect objected to because of the view of same, the lighting engineer has assured the applicant the fixtures below the port cochere would be sufficient.

The next change is at the court yards next to the assisted living – there will be two up lights. The other location for up lights would be in the trees in the sensory garden in a specific color as recommended by the consultant. Mr. Phippard referred to a letter from Reno Engineering regarding this lighting which indicates this would be a 50 watts fixture, low intensity.

Mr. Phippard stated the applicant did apply for a waiver - A waiver from Standard 10. Lighting is requested due to the recommendation of up lights in the trees sensory gardens. Additional bollards which meet the Planning Board Lighting standard have also been added in these courtyards. With regard to the proposed up lighting, the applicant has addressed all four of the waiver criteria in the attached memo. Mr. Phippard noted this site is going to be 100 feet from Wyman Road and did not feel it would be distracting to drivers.

Mr. Stout stated he has never seen the Board address up lighting in the past. Mr. Phippard stated this is the first time he has brought such an issue before the Board. Mr. Stout felt the sensory garden was a good idea and liked the idea of up lighting.

Vice-Chair Barrett asked about the lighting being eliminated at the port cochere, what kind of lighting would be available on the west side. Mr. Phippard referred to the lighting plan the Board approved which addresses this lighting for that walkway.

Chair Spykman referred to the waiver criteria 1 where it says "*That granting the waiver will not be contrary to the spirit and intent of these Regulations*" and noted the reason the Board does not permit up lighting is to prevent the dark sky and this issue was not addressed by Mr. Phippard. Mr. Phippard stated because this area is surround on three sides by a four story building, being the type of facility this is, it won't go dark completely and unless someone is in the sensory garden the lights won't be noticed - On the other side there is fencing and this is how

the applicant tried to stay compliant. Chair Spykman stated he was afraid of setting precedence with up lighting and hoped this was small low wattage lights.

Staff comments were next. Ms. Chalice stated the standards the Board would be looking at with this application are landscaping, screening and lighting. The number of plants is one issue the Board should be looking at and this number is not decreasing. Ms. Chalice noted the changes being proposed still meet the Board's standards. She agreed the Board does not want to set precedence with up lighting but noted 40 watts is very low and there is screening for this lighting with the enclosure and the arbor vitae. As a result, staff feels this is diminimus lighting which won't set precedence.

Mr. Stout asked whether it makes sense to place a height limitation for the growth of trees to make sure they are maintained. Ms. Chalice stated unless there is sight line issues, this would not be a concern.

The Chairman opened the application for public comment, with no comments; the Chairman closed the public hearing.

Mr. Stout felt up lighting was an interesting proposal and was in favor and did not feel precedence was being set here. He felt also bringing in residents at this point and making changes they are requesting was commendable.

#### C. Board Discussion and Action

A motion was made by Councilor George Hansel that the Planning Board approve SPR-11-16, modification 5 with a waiver from Development Standard #10, Site Lighting as shown on the plan set entitled "Hillside Village, Wyman Road, Keene, New Hampshire" prepared by SVE Associates, at various scales, on August 19, 2016 and last revised on June 14, 2018, with the following conditions:

1. Owner's representative's signature on the elevation.
2. Signature by Planning Board Chair.

The motion was seconded by Chris Cusack and was unanimously approved.

Mayor Lane rejoined the Board.

#### V. Advice & Comment

**26 Water Street** – Applicant Suzanne Boisvert is requesting that the Planning Board determine that the application for a site plan review for a change of use at 26 Water Street be approved administratively. The proposed use is a "group home".

Mr. Lamb stated the applicants came before staff to request administrative approval of their application for a change of use from a 2-family residence to a group home. The applicants have already gone through the zoning process with the Zoning Administrator. The proposal for a group home, which is a change of use, triggered the need for planning review. The applicant requested that this be approved administratively, but it was Mr. Lamb's recommendation the matter come before the Board so they could decide whether the application could be approved administratively or whether it should be approved by the Planning Board. Mr. Lamb stated that

the discussion today is not a public hearing as it has not been advertised as such. The question of the use has already been approved administratively.

Mr. Stout asked why this matter would not go before the Zoning Board. Mr. Lamb stated that the Zoning Administrator has determined that this use is allowed in the district and therefore the applicants did not need to seek a variance from the Zoning Board. This is a permitted use in the high density district. Mr. Lamb noted Page 4 of the Board's regulations address this request, in section 3 (jurisdiction) 3b (site plan review). He added change of use does call for review either by the Board or administratively. The prior use was two-family. Dr. Cusack asked whether public interest is one of the driving forces for this to be addressed before the Board when other changes of use have been approved administratively. Mr. Lamb agreed. The Mayor clarified unless a site plan comes before the Board for this matter there would be no public notice.

Suzanne Boisvert addressed the Board and stated they have been working tirelessly to bring a recovery residence to the City of Keene. Ms. Boisvert stated she was advised this was a group home and that the property was recognized as such for many years. She was initially told she needed building and fire code upgrades. After she purchased the home, she was told by the City they were incorrect and that this was in fact a rooming house, but because the property was in high density zone a group home is permitted. Building plans for the property were submitted on June 25<sup>th</sup>. No site changes were being sought except for a ramp. However, once the building permit application was submitted they were told they would need to go through planning review as staff was incorrect and that it was in fact a two-family home, even though the applicant had information to the contrary that this was not the case.

Ms. Boisvert stated she would like to request from the Board that they permit staff to do an administrative approval of this site plan and that she not be asked to seek approval during a public hearing. Mr. Lamb stated what should be discussed from the Planning Board's standpoint are the Planning Board standards and the potential impacts of the change of use on issues such as parking and traffic. He indicated it is very easy to talk about the zoning issue; however this is not the purview of the Planning and Board and they should base their determination on the site impacts.

The Mayor agreed with Mr. Lamb and asked the applicant whether she had a site plan. Ms. Boisvert stated she had submitted a parking plan and a garbage plan as requested by staff. She stated there are no changes being made to the exterior of the building; all changes being proposed are for the interior to bring the property up to code and ADA standards. Councilor Hansel asked whether the applicant anticipates any changes in impact to traffic. Ms. Boisvert answered in the negative – she stated the number of people who will live at the home will be similar to the number that live there now. She further stated that the parking plan calls for only two of the residents to have cars; people at this stage often can't afford a vehicle. There are arrangements being made for spaces to be rented off site. The contract would also indicate that on-street parking cannot be used for guests.

The property consists of one living room, one kitchen, eight bedrooms and five bathrooms and the proposal is for two people per bedroom. There will not be more than 16 residents.

Mr. Stout stated he could not see a compelling reason why the Board would need to weigh in on this issue. He asked for clarification on the terminology used by the applicant where it refers to people living in the home being unrelated and asked whether a couple would be considered. Ms.

Boisvert stated at the present time all the residents are men but she does not want to shut the door to other possibilities.

Mayor Lane stated that the question is whether the Board would like to conduct a public hearing or not. Councilor Hansel stated the only question the public would want to discuss would be the use of the property, and this is something the Board would not be able to do anything about. He stated he was comfortable with staff handling this administratively. Vice-Chair Barrett felt the only two items the Board could address are re-striping the parking lot and the ADA spaces. Mayor Lane asked for the location of the garage. Ms. Boisvert stated it is at the end of the driveway. Mr. Lamb noted one of the parking spaces would be in the garage and the other bays in the garage would be used for storage and trash.

Chair Spykman stated when there is a project that is “on the line” between a minor and a major project and staff is not comfortable signing off on it administratively, they approach the Chairman to get his opinion. He noted that this item is very low on the scale compared to those that usually come before him. The Chairman stated he was comfortable the Director handling this administratively. Mr. Stout agreed. Councilor Hansel felt a majority of the Board agrees with the Chairman. Dr. Cusack agreed with the Chairman. Mr. Lamb noted because this is advice and comment, it is not set up for a full evaluation and a vote but understands the Board’s consensus and will move ahead accordingly.

**VI. Community Development Director Report**

Mr. Lamb reminded the Board about the land use code update, “Building Better Together,” and called the Board’s attention to that website and reminded them of the July 26 presentation at Stone Arch Village at 6:30 pm and then again Wednesday August 1 at Antioch University.

**VII. New Business**

**VIII. Upcoming Dates of Interest – August 2018**

Planning Board Meeting – August 27, 6:30 PM

Planning Board Steering Committee – August 14, 12:00 PM

Joint PB/PLD Committee – August 13, 6:30 PM

Planning Board Site Visits – August 22, 8:00 AM – To Be Confirmed

The meeting adjourned at 9:55 PM.

Respectfully submitted,

Krishni Pahl, Minute Taker

Reviewed by: Mari Brunner, Michele Chalice

**S-06-18 Boundary Line Adjustment –7 Pinehurst Avenue & 366 Park Avenue**

**Request:**

Wendy S. Pelletier, of Cardinal Surveying & Land Planning, on behalf of owner Thomas Perreault, proposes a boundary line adjustment between two adjacent lots. Mr. Perrault owns both properties. The proposal would adjust the area of each lot so that the usage matches the property boundaries. TMP#s 539-048-000 and 539-049-000, 6,240 square foot and 20,115 square foot respectively are located in the Low Density zoning district.

**Background:**

The subject parcels are just north of Keene High School as the crow flies, past Ladies Wildwood Park off of Park Street before Kendall Road, east of Tucker’s Power Equipment. Both sites are flat with grass lawns and scattered shade trees.

**Completeness:**

The Applicant has supplied one drawing: “Boundary Line Adjustment Plan, Lots 539-048-000 & 539-049-000 7 Pinehurst Avenue & 366 Park Avenue, Keene NH 03431”. Dated July 20, 2018 and received on the same day at a scale of 1” = 20’.

The Applicant has requested site-specific exemptions from all the Plan requirements as no development is proposed. Staff

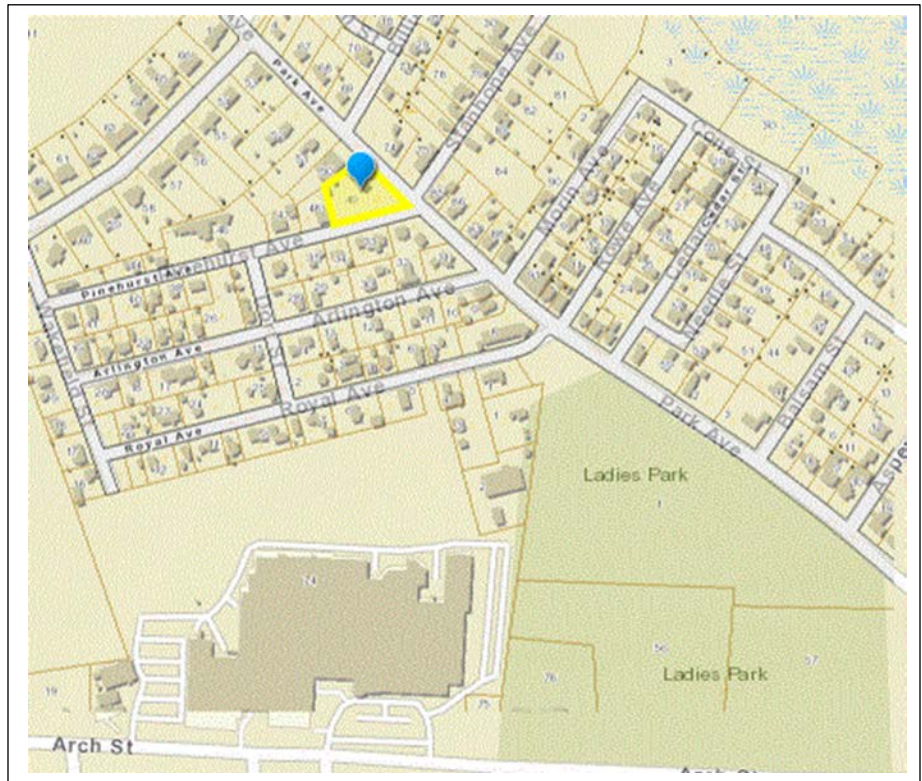


Figure 1: Site Location

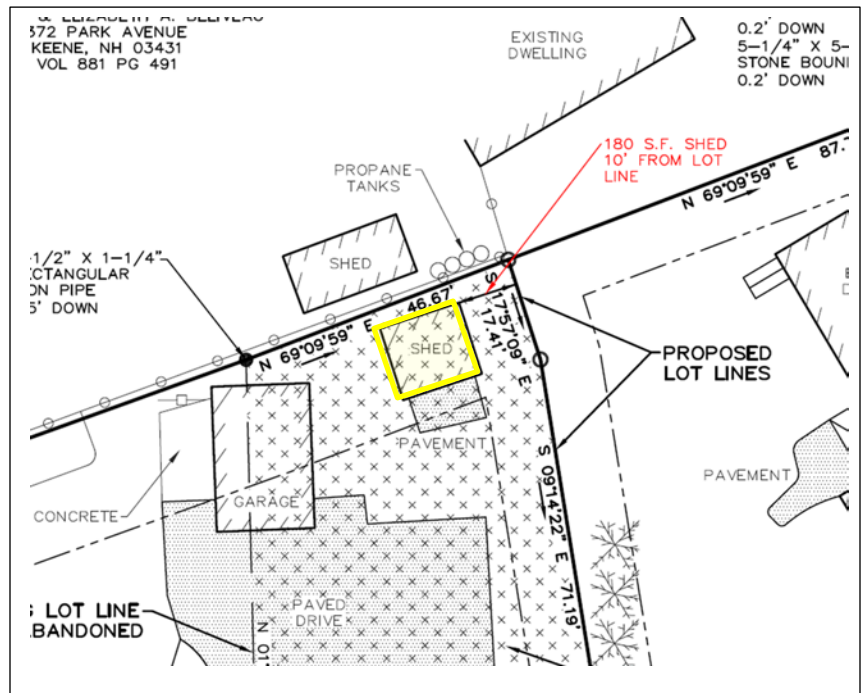


Figure 2: Detail of Existing Shed at Proposed, New Property Line

recommends that the Board grant all exemptions and open the public discussion for **S-06-18**.

**Departmental Comments:**

Engineering: Reviewed with no comment.

Police: Reviewed with no comment.

Fire: Reviewed with no comment.

Code: Initial concerns regarding the setback of the existing shed were resolved by the applicant re-submitting a modified plan showing the required 10’ setback for the existing structure. See Figure 1.

**Application Analysis:**

The existing properties and proposed, resulting parcels are shown below:

	<b>7 Pinehurst Ave.</b> (TMP# 539-048-000)	<b>366 Park Avenue</b> (TMP# 539-049-000)
<b>Prior to Adjustment</b>	10,272 SF (0.23 acres) ±	26,355 SF (0.61 acres)±
<b>After Adjustment</b>	16,512 SF (0.38 acres) ±	20,115 SF (0.46 acres) ±

1. Per Planning Board Site Plan and Subdivision Regulation III.C. 5. The applicant has met all of the requirements for the boundary line adjustment.
2. Per the City’s zoning code, Section 102-791, Table 1, the resulting parcels meet the minimum 10,000 SF size required for the Low Density zoning district.
3. No development is proposed so the Planning Board’s standards are not relevant.

**RECOMMENDATION FOR APPLICATION:**

*Approve S-06-18, as shown on the plan identified as “Boundary Line Adjustment Plan, Lots 539-048-000 & 539-049-000, 7 Pinehurst Avenue & 366 Park Avenue, Keene NH 03431”, dated July 20, 2018 and received on the same day at a scale of 1” = 20’, prepared by Cardinal Surveying and Land Planning with the following conditions:*

1. *Owner’s signature on plan prior to approval.*

# CITY OF KEENE | PLANNING BOARD

## SUBDIVISION APPLICATION



*This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.*

<b>A</b> Project Name: Boundary line Adjustment, 7 Pinehurst Ave.	Date Received/Date of Submission:	
	Date of pre-application meeting:	
Tax Map Parcel number(s) 539-048-000 539-049-000	Date Application is Complete:	
	Planning Department File #: <i>S-06-18</i>	

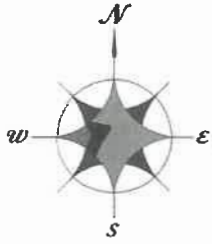
Project Address: 7 Pinehurst Ave. <i>R 3100 PARK AVE.</i>	<b>O w n e r</b>	Name: Thomas Perreault
		Address: 7 Pinehurst Ave, Keene
Telephone/E-mail: tperreault@ne.rr.com 603-352-1955		
Signature: <i>Thomas Perreault</i>		
Acreage/S.F. of Parcel: $\frac{0.23}{0.441} / \frac{10,272}{26,355}$	<b>A p p l i c a n t</b>	Name: Cardinal Surveying & Land Planning: Wendy Pelletier
Zoning District: Low Density		Address: 127 Washington Street, Keene
		Telephone/E-mail: 603-499-6151, wendy@cardinalsurveying.net
		Signature: <i>Wendy S. Pelletier 7-20-18</i>

### **B** Descriptive Narrative Including

<input checked="" type="checkbox"/> Type of development	<input checked="" type="checkbox"/> Sedimentation Control	<input checked="" type="checkbox"/> Scope/scale of development
<input checked="" type="checkbox"/> Proposed uses	<input checked="" type="checkbox"/> Vegetation	<input checked="" type="checkbox"/> Parcel size
<input checked="" type="checkbox"/> Location of access points	<input checked="" type="checkbox"/> Debris management	<input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan
<input checked="" type="checkbox"/> Any other descriptive information	<input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris	

### **C** A complete application must include the following

<input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated	<input checked="" type="checkbox"/> Plans stamped/signed by reg. professional
<input checked="" type="checkbox"/> Two (2) copies of descriptive narrative	<input checked="" type="checkbox"/> Two (2) copies on 11" x 17"
<input checked="" type="checkbox"/> Notarized list of all owners of property within 200'	<input checked="" type="checkbox"/> Three (3) copies of all technical reports
<input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter	<input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing, mailing notices out to abutters
<input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36")	



## CARDINAL SURVEYING AND LAND PLANNING, LLC

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127 Washington Street

Keene, NH 03431

(603) 209-1989

[www.cardinalsurveying.net](http://www.cardinalsurveying.net)

*"Know Your Boundaries"*

July 19, 2018

7 Pinehurst Ave.

Boundary Line Adjustment

TM 539-048-000 & TM 539-049-000

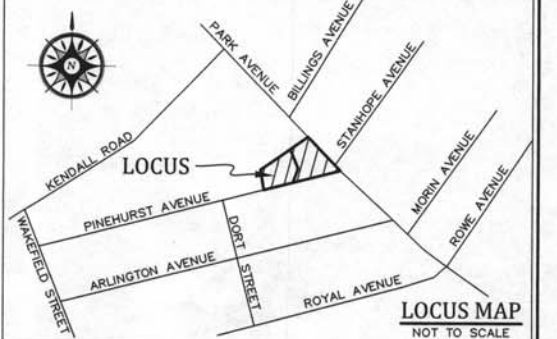
### Project Narrative

Thomas Perreault owns 2 adjoining residential properties at 7 Pinehurst Ave. and 366 Park Ave. The lot line between the 2 parcels currently runs along the west edge of the driveway at 7 Pinehurst Ave. and bisects the garage. Mr. Perreault wishes to move the line approximately 50' to the east to encompass all the improvements at 7 Pinehurst.

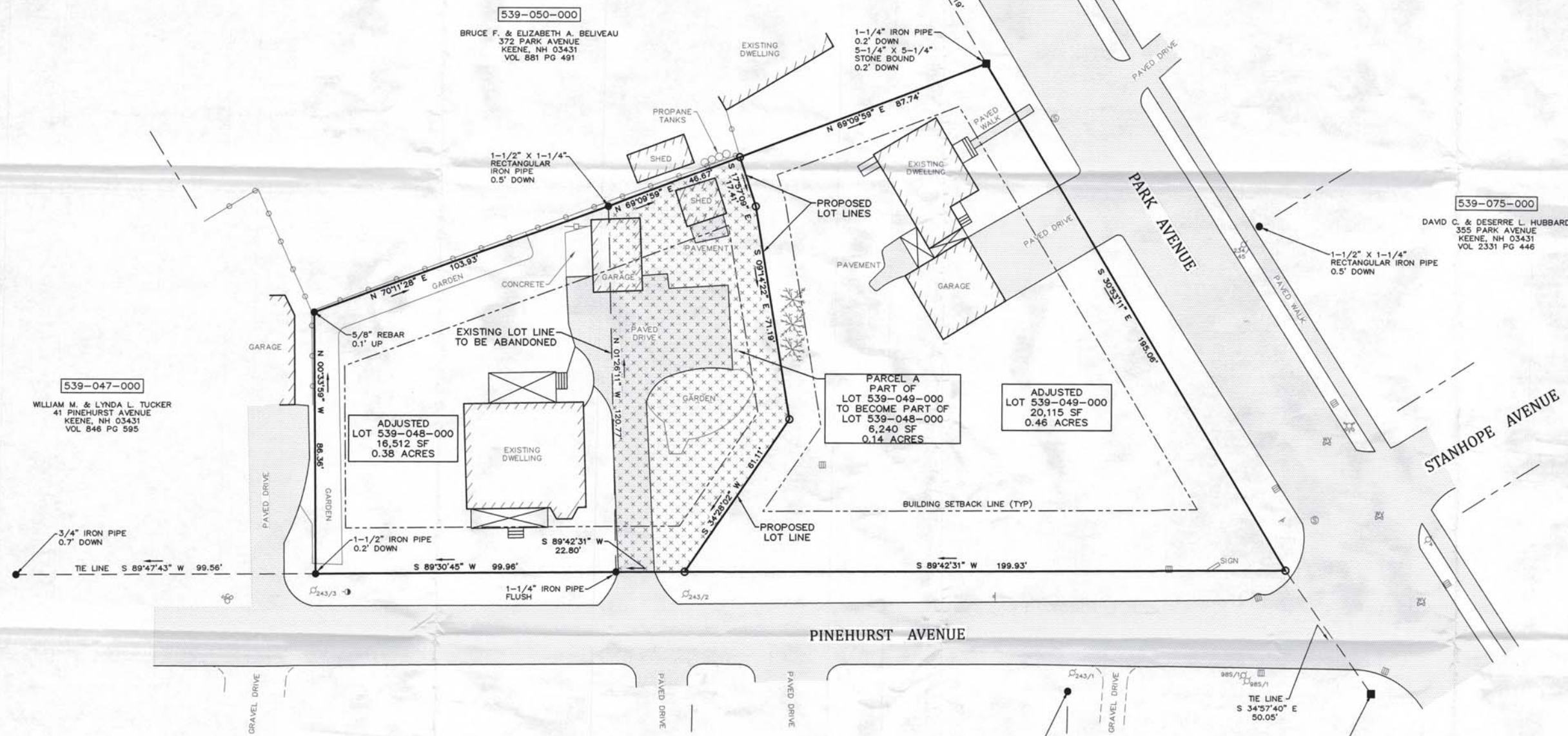
There is no building or improvements planned on either lot at this time, therefore we request waivers from a Proposed Conditions plan, Grading Plan, Landscaping Plan and Lighting Plan, also Development Standards 1-19.



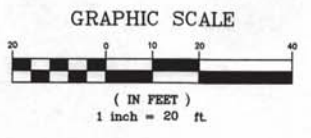




- NOTES**
- 1) THE PURPOSE OF THIS PLAN IS TO ADJUST THE BOUNDARY LINE BETWEEN LOT 539-048-000 AND LOT 539-049-000.
  - 2) OWNER OF RECORD:  
THOMAS K. PERREAULT  
7 PINEHURST AVENUE  
KEENE, NH 03431  
VOLUME 2781 PAGE 187 (539-048-000)  
VOLUME 687 PAGE 472 (539-049-000)
  - 3) AREAS:  
LOT 539-048-000  
EXISTING: 10,275 SF OR 0.24 ACRES  
PARCEL A: + 6,240 SF OR 0.14 ACRES  
ADJUSTED: 16,515 SF OR 0.38 ACRES  
LOT 539-049-000  
EXISTING: 26,352 SF OR 0.60 ACRES  
PARCEL A: - 6,240 SF OR 0.14 ACRES  
ADJUSTED: 20,112 SF OR 0.46 ACRES
  - 4) MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
  - 5) CURRENT ZONING: LOW DENSITY DISTRICT  
MIN. LOT AREA - 10,000 SF  
MIN. FRONTAGE - 60 FEET  
MIN. WIDTH AT BUILDING LINE - 70 FEET  
SETBACKS:  
THE NARROWER SIDE OF A CORNER LOT IS CONSIDERED THE FRONT. STREET SIDE SETBACK IS THE SIDE SETBACK PLUS 10'.  
FRONT - 15 FEET  
SIDE - 10 FEET  
REAR - 20 FEET
  - 6) THE RIGHT OF WAY OF PARK AVENUE WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 2-1/2 RODS WIDE (41.25') BASED ON THE LAYOUT OF 1836 RECORDED IN VOLUME 1 PAGE 58 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
  - 7) THE RIGHT OF WAY OF PINEHURST AVENUE WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 40' WIDE BASED ON CORD VOLUME 433 PAGE 413.
  - 8) NO JURISDICTIONAL WETLANDS WERE OBSERVED.
  - 9) LOTS 539-048000 AND 539-049-000 ARE NOT WITHIN THE 100 YEAR FLOOD PLAIN.
  - 10) THE PARCEL MAY BE SUBJECT TO OTHER EASEMENTS AS THEY EXIST OF RECORD OR IN FACT. CARDINAL SURVEYING AND LAND PLANNING DOES NOT INTEND OR REPRESENT THAT ALL RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN. A SPECIFIC TITLE EXAMINATION IS SUGGESTED TO DETERMINE THE NATURE AND EXTENT OF RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY.
  - 11) THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING & LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.

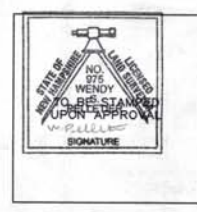


- LEGEND**
- PIN FOUND
  - MONUMENT FOUND
  - REBAR SET
  - SIGN
  - UTILITY POLE
  - GUY ANCHOR
  - HYDRANT
  - WATER VALVE
  - CATCH BASIN
  - SEWER MANHOLE
  - SEWER CLEAN OUT
  - VINYL FENCE
  - CHAIN LINK FENCE
  - APPROXIMATE ABUTTER LINE
  - BUILDING SETBACK LINE



**SURVEYOR'S CERTIFICATION**  
THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN URBAN SURVEY AS SPECIFIED IN NH LAWS 500.1.  
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

**OWNER CERTIFICATION**  
I, THOMAS K. PERREAULT, CERTIFY THAT I AM THE OWNER OF LOTS 539-048-000 & 539-049-000, AND APPROVE OF THIS BOUNDARY LINE ADJUSTMENT.  
*Thomas Perreault*  
THOMAS K. PERREAULT



APPROVED AS A BOUNDARY LINE ADJUSTMENT IN ACCORDANCE WITH THE PROVISIONS OF RSA 674. THE CITY OF KEENE PLANNING BOARD  
BY \_\_\_\_\_, CHAIRMAN

NO.	DATE	REVISION	BY

**BOUNDARY LINE ADJUSTMENT PLAN**  
LOTS 539-048-000 & 539-049-000  
7 PINEHURST AVENUE & 366 PARK AVENUE  
KEENE, NH 03431  
DATE: JULY 20, 2018 SCALE: 1"=20'  
PREPARED FOR:  
THOMAS K. PERREAULT  
7 PINEHURST AVENUE  
KEENE, NH 03431  
CARDINAL SURVEYING & LAND PLANNING  
Keene, New Hampshire 03431  
Tel. (603) 499-6151

# STAFF REPORT

## SPR-847, Modification 1: SITE PLAN REVIEW – Sunset Tool, 58 Optical Ave.

### Request:

Property owner RJ Hall Company is proposing a 2,430 SF, single-story expansion of their building on their 2.27 acre site, parcel # 218-004-000 in the Industrial Park zoning district.

### Background:

This existing manufacturing business in the southeast corner of Keene is just north of NH Route 101. 2000 SF of additional warehouse space will be added to the west and left side of the structure in Figure 2. 430 SF will be added to create a new entrance foyer at the south and front side of the building. The building expansions are happening in existing paved areas. However, 17 existing parking spaces on the west side of the building will be moved to a new location at the north and back side of the site.

### Completeness:

The applicant has requested various site-specific exemptions which are not present or relevant to the project. A drainage report has been provided as well as specification sheets for the proposed lighting fixtures. The site and landscape plans are combined. A full and a reduced lighting plan have been provided. Staff recommends to the Planning Board that the application is “complete.”



Figure 1: Sunset Tool Inc. Location



Figure 2: 58 Optical Avenue, Existing Structure

# STAFF REPORT

## **Departmental Comments:**

### Code:

1. Section 102-1226, side paving setbacks for Medium Large lots is 10', the plans scale at about 3'.
2. Section 102-794, the new parking at the rear and side shall have bumpers or curb like stops.

Police Dept.: No concerns

Fire Dept.: No concerns

### Engineering Dept.:

1. Please confirm that all symbology used in the drawings is defined correctly in the legend (e.g., Storm drain line, Drain Manhole, etc.).
2. Show locations of soil percolation tests.

## **Application Analysis:**

The following is a review of the Board's relevant standards in relation to the proposed application:

1. Drainage:
  - a. Per Development Standard 1.b. The construction of the building additions happens within paved areas incurring no drainage modifications. However existing parking spaces on the west edge side of the building are being relocated to the back of the site onto new pavement. This area is proposed to be sheet drained into a gravel trench fulfilling the Low Impact Development requirement.
  - b. Per Development Standard 1.b.3. The seasonally high groundwater table SHWT is communicated by a Test Pit detail on Sheet 1, the "Existing Plan" states that there was "no observed water table" at the bottom of the 36" depth soil boring hole. This same detail notes the sharply drained percolation rate of 1 min/inch at 30". A drainage report was submitted by Thayer Fellows, PE. This standard has been met.
2. Sedimentation and Erosion Control: Per Development Standard 2.a. Silt fence is shown to be installed surrounding the back area to be excavated for new parking spaces. Existing catch basins are also shown to be protected with Siltsoxx. The construction site has an existing paved entrance and soil disturbance should be minimal. This standard appears to be met.
4. Snow Storage: Per Development Standard 4.d. Snow storage will be provided onsite adjacent to the pavement and parking areas. Adequate space is available for this purpose. Excess snow is specified to be removed from the site. This standard has been met.
6. Landscaping:
  - a. Per Development Standard 6. A number of new shrubs and perennials are shown on sheet 2 to be planted at the new front entrance.
  - b. Per Development Standard 6.b. "For parking lots having parking lots of 10 or more spaces:
    - a. "One tree, at least three inches diameter..." or
    - b. "Tree groupings of three or more trees at least six feet tall or 2" in diameter are required.

The submitted "Location and Landscape Plan" shows 2, 8-10' tall "Paper Birch Cluster". This specification does not meet the standard for the 28 parking spaces shown on the site plan. The Board may wish to discuss this circumstance with the applicant so that either:

- i. Two clusters of three or more trees at least six feet tall are specified or
- ii. Two, 3" caliper trees are specified.

## STAFF REPORT

### 8. Screening:

- a. Per Development Standard 8.a. the dumpster at this location will now be surrounded by 6' high solid fence. The provided detail shows vertical wood rails and slats to be painted the same as the main building color. This standard has been met.
- b. Per Development Standard 8.b. the air handling unit (AHU) will be painted the same color as the building and has been moved to the lower roof allowing the taller wall of the main building (painted the same color) to mask the unit. This location will be visible from the front of the building but not from the adjacent residence of Optical Avenue. The Board may wish to speak to the applicant regarding this circumstance.

### 10. Lighting:

- a. Per Development Standard 10.C.1. Proposed changes to the existing exterior site lighting include 11 wall pack units, and two new, pole fixtures. The attached cutsheets show full-cutoff LED lamps in both instances. This standard has been met.
- b. Per Development Standard 10.C.4. The two, new pole fixtures are specified at 20' tall which meets the City's standard of not exceeding 30' in an Industrial zoning district.
- c. Per Development Standard 10.C.6. The applicant has submitted a Reduced Lighting Plan that meets the City's standards with motion sensors provided to activate site lights in the event of activity after 9PM. Additionally, the proposed lighting fixtures are Design Lights Consortium (DLC) qualified. This is a rating system for the Northeast region that is similar to the Energy Star program meeting the City's encouragement of energy saving devices. These standards have been met.
- d. Per Development Standard 10.D. The new rear parking area meets the City's parking lot standards of a minimum of 0.3 with an average to minimum ratio that exceeds 4:1. However the two, existing, front parking areas on the outside of the pavement (easternmost and southernmost) have lighting levels of 0.0. There are no poles, no fixtures. Staff recommends the Board speak with the applicant regarding light for these parking spaces.

### 19. Architectural and Visual Appearance:

- a. Per Development Standard 19.b.3. "Structures shall have architectural features that ...harmonize with the City's architectural identity...": The existing structure is described as a metal building with corrugated metal siding and a metal roof. The parcel is in the Industrial *Park* zoning district which has the intent to provide:

*"... for those manufacturing and assembling activities which add value to a product. The character of this district will, by its nature, be one of a relatively low-intensity use of the land, providing for concerns which create the greatest employment opportunities, especially labor intensive rather than land intensive uses...Aesthetically, this is to be the industrial area over which are exerted the greater site controls."*

The building additions are proposed to match the existing materials. That said, Figure 1 shows the location of the building as tucked back and away, removed from view of the City's gateway entrance from NH Route 101 along Optical Avenue and Marlboro Street to downtown. Therefore continuing the metal "theme" of this building, see Figure 2 on the front page of this staff report, does not detract from the City's architectural aesthetics.

## STAFF REPORT

### **RECOMMENDATION FOR APPLICATION:**

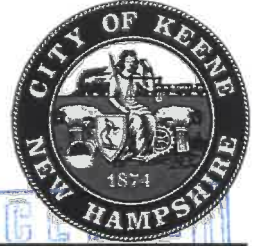
*If the Board is inclined to approve this application, the following motion is recommended:*

*Approve SPR-847, Modification #1, as shown on the plan entitled “Proposed Expansion Sunset Tool, Parcel # parcel # 218-004-000, 58 Optical Ave., Keene,, NH, dated July 20, 2018, last revised August 9, 2018 , drawn by Brickstone Land Use Consultants and DB Architects at scales of predominantly 1” = 20’ and ¼” = 1’0”; with the following conditions:*

- 1. Submittal of revised Landscape and Lighting plans to meet the City’s Development standards, acceptable to the Community Development Director.*
- 2. Prior to signature, submittal of security for site stabilization, landscaping and an “as-built” plan in a form and amount acceptable to the Community Development Director and City Engineer.*
- 3. Prior to signature by Planning Board Chair, Owner’s signature on plan.*

# CITY OF KEENE | PLANNING BOARD

## SITE PLAN REVIEW / MODIFICATION APPLICATION



*This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.*



<b>A</b> Project Name Addition to Sunset Tool Inc Tax Map Parcel number(s) 241 - 008 - 000	Date Received/Date of Submission:	
	Date of pre-application meeting:	
Date Application is Complete:		Planning Department File #: <i>SPR-847, Mod 1</i>
Project Address: 58 Optical Avenue Acreage/S.F. of Parcel: 2.27+/- / 98,881 +/-	O w n e r	Name: RJ Hall Company
		Address: 21 Sunset Terrace Keene NH
Zoning District: Industrial Park	A p p l i c a n t	Telephone\ Email:
		Signature: <i>[Signature]</i>
		Name: Brickstone Land Use Consultants LLC
		Address: 185 Winchester Street Keene NH 03431
		Telephone\ Email: jhippard@ne.rr.com
		Signature:

**Modifications:** Is this a modification to a previously-approved site plan:  No  Yes: SPR#: 847 Date: 6/20/96

For those sections of the application that are not affected by the proposed modification to the previously approved site plan, you are encouraged to request exemptions in lieu of submitting required documents.

### B Descriptive Narrative Including

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development               | <input checked="" type="checkbox"/> Sedimentation Control                            | <input checked="" type="checkbox"/> Scope/scale of development                   |
| <input checked="" type="checkbox"/> Proposed uses                     | <input checked="" type="checkbox"/> Vegetation                                       | <input checked="" type="checkbox"/> Parcel size                                  |
| <input checked="" type="checkbox"/> Location of access points         | <i>N/A</i> <input type="checkbox"/> Debris management                                | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <i>N/A</i> <input type="checkbox"/> Disposal proposals for boulders, stumps & debris |  |

### C A complete application must include the following

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated      | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional   |
| <input checked="" type="checkbox"/> Two (2) copies of descriptive narrative                           | <input checked="" type="checkbox"/> Two (2) copies on 11" x 17"   |
| <input checked="" type="checkbox"/> Notarized list of all owners of property within 200'              | <input checked="" type="checkbox"/> Three (3) copies of all technical reports   |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter                       | <input checked="" type="checkbox"/> Two (2) color architectural elevations on 11" x 17"   |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36")           | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing, mailing notices out to abutters |
| <input checked="" type="checkbox"/> Three (3) copies of "D" size architectural elevations (24" x 36") |   |

**Site Plan Review Application Narrative  
Additions to Sunset Tool, Inc.  
58 Optical Avenue  
Keene, NH**

**July 20, 2018**

**Project Narrative**

RJ Hall Company is the owner of TMP 241-008-000, a 2.27 acre site located at 58 Optical Avenue. The property is in the Industrial Park District and is currently occupied by a one-story building containing 11,300 sf. The building is occupied by Sunset Tool, Inc., a precision manufacturer of special dies, tools and metal parts. The owner is proposing two small additions to the existing building. On the south side of the building, a 2000 sf (20' x 100') single story addition is proposed for additional warehouse space. On the southeast corner, at the front of the building, a 430 sf single story addition is proposed for a new entry foyer. The old entry foyer will be converted to office space. The expanded building will contain 13,730 sf. 16 parking spaces are required by zoning. 31 spaces exist at the site. Existing parking spaces will be relocated to accommodate the addition on the south side of the building. 3 spaces will be removed, and 17 spaces will be relocated to the rear of the lot. A total of 28 spaces will be provided.

This site is serviced with city water and city sewer and adequate capacity exists to support the proposed additions. Sunset Tool, Inc. currently has 19 employees and operates M-F from 7AM to 3PM. One additional employee is planned.



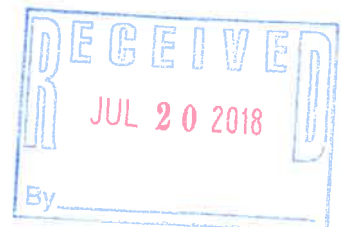
## Site Plan Review Application Narrative

**Additions to Sunset Tool, Inc.  
58 Optical Avenue  
Keene, NH**

**July 20, 2018**

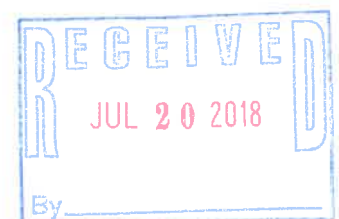
### Development Standards

1. **Drainage** - The proposed additions will be located in areas which are currently paved. The existing storm drains along the south side of the building will be replaced and relocated to accommodate the addition. At the rear parking area, the pavement will be extended to the west and sloped to sheet drain into a new infiltration strip. 100% infiltration for a 50 year design storm can be accommodated. As a result, there will be no increase in runoff onto adjacent properties. See attached drainage report.
2. **Sediment/Erosion Control** – Existing catch basins adjacent to the proposed additions will be protected with silt soxx to prevent sediment from leaving the site. The existing driveway is paved and provides a stable construction entrance.
3. **Hillside Protection** - N/A
4. **Snow Storage and Removal** – Snow from the parking and circulation areas will be stored at the rear of the site. Excess snow will be removed from the site when necessary.
5. **Flooding** - The property is not located within the 100 year floodplain as shown on FEMA FIRM panel 33005C0267E dated May 23, 2006. The property is not subject to flooding in a 100 year flood.
6. **Landscaping** – New landscaping at the front of the office addition is proposed. 7 shrubs including Lil' Kim Hibiscus, Juniper, Spirea and arbor vitae will be planted. Day lilies (perennial) will also be planted. No changes to the existing landscaping are proposed.
7. **Noise** - No excess noise is expected to be generated from this proposal.
8. **Screening** – The existing dumpster pad is located at the rear of the parking area. It will be screened with 6' high solid fencing. Existing tree lines along the north, east and west property lines will be maintained for screening from the adjacent residential neighborhood.
9. **Air Quality** – N/A





10. **Lighting** – Existing wall mounted lights will be replaced with full cutoff LED fixtures. Two new pole lights will be added at the rear parking area and will use full cutoff, LED fixtures. The 87W pole fixtures and 12-18W wall mounts will provide an average of 1.45 footcandles with a uniformity ratio of 4:1. After 9 PM all sight lights will be turned off except for the security lights at the entry doors. Motion sensors will be used to activate site lights in the event there is activity after 9 PM.
11. **Sewer and Water** – This property is serviced by city water and city sewer. No changes are proposed.
12. **Traffic** – There will be no significant changes to traffic resulting from the proposed building additions. One additional employee is planned and no changes to the existing business hours are proposed. Currently 8 – 10 truck deliveries per week occur during normal business hours. This will not change. Deliveries and loading are restricted to the rear (west side) of the building.
13. **Comprehensive Access Management** – The existing curb cut will continue to be utilized with this proposal. There are no sidewalks on Optical Avenue. City Express and the Friendly Bus do not presently provide bus service to this area. A bicycle rack will be located on site. Handicap parking and handicap access is existing at the front parking area.
14. **Hazardous and Toxic Materials** – The property owner has no knowledge of environmental contamination at this property.
15. **Filling/Excavation** – Filling and excavation normal for the construction of the building additions will be performed. Approximately 250 CY of material will be hauled to the site. Trucks will use Route 101 to Optical Avenue for the haul route.
16. **Wetlands** – None.
17. **Surface Waters** – None.
18. **Stump Dumps** – None
19. **Architecture and Visual Appearance** – The proposed warehouse space addition will be a single story, shed roof metal building with corrugated metal siding to match the existing building. The office addition will be a single story shed roof metal building, also with corrugated metal siding to match the existing building.



# THAYER R. FELLOWS

PO Box 428, County Road  
Walpole, NH 03608

REGISTERED PROFESSIONAL ENGINEER  
Civil - Structural

(603) 756-4811  
trifel@myfairpoint.net

July 20, 2018

David Bergeron  
Brickstone Land Use Consultants, LLC  
185 Winchester Street  
Keene, NH 03431

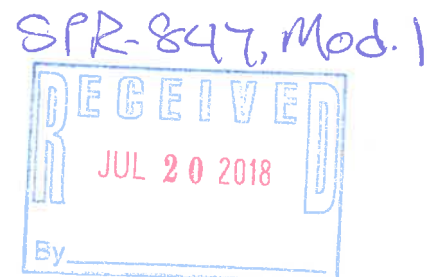
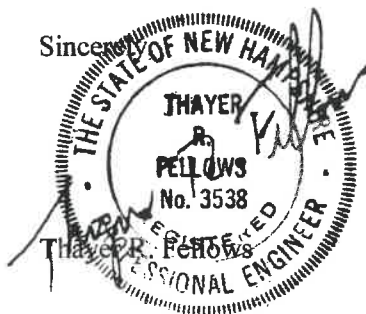
Re: Storm Water Management, Sunset Tool, Optical Ave, Keene, NH

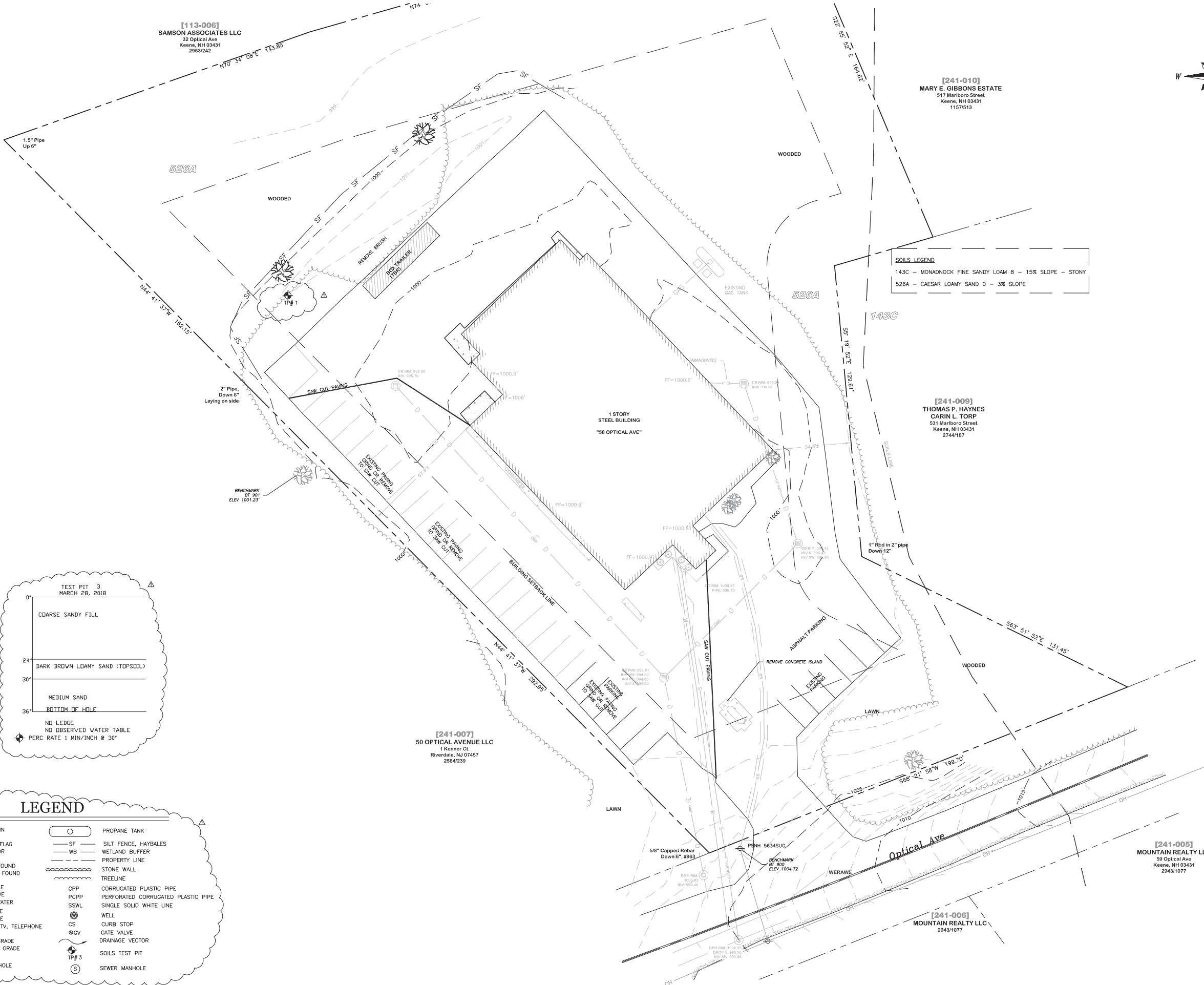
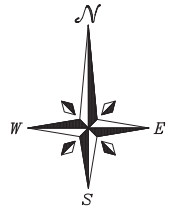
This is an expansion of Sunset Tool located at 58 Optical Ave in Keene, NH. The existing building is an older metal framed building with metal siding. The site is fairly level with on-site drainage catch basins which are tied into the municipal system in Optical Ave. The site is bordered on the south by Optical Ave and to the west and north by industrial park land. To the east are residential lots along Marlborough Street. The expansion is for additional storage space and office space needed for the current operation of the business. The proposed expansions to the building are located in existing paved areas of the lot.

The addition of the storage area on the side of the building will require moving the existing parking to the rear of the lot. A new paved area will be added to the rear to accommodate the new parking. Runoff from the new parking area will be controlled with a stone infiltration strip adjacent to the parking area. The new parking area will be graded to slope away from the existing drainage system and into the new infiltration strip. The soils in this area are sandy, rapidly draining soils. A perc test determined an infiltration rate of 1 minute per inch. A more conservative rate of 2 minutes per inch were used in the design.

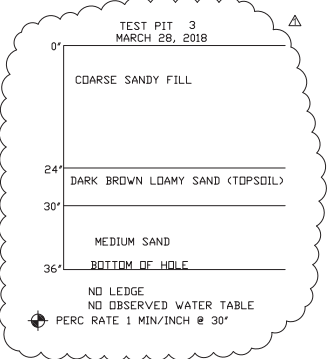
Because this is such a small change to lot coverage and the site has sandy well drained soil, the pre-existing runoff for the expansion area is 0.0 CFS. Therefore, the stone infiltration trench is sized to maintain 0.0 CFS runoff from the new paving so there is no increase in runoff from the site.

If you or others have comments or questions, please feel free to contact me.





**SOILS LEGEND**  
 143C - MONADNOCK FINE SANDY LOAM 8 - 15% SLOPE - STONY  
 526A - CAESAR LOAMY SAND 0 - 3% SLOPE



**LEGEND**

<ul style="list-style-type: none"> <li>⊕ CATCH BASIN</li> <li>● CLEAN OUT</li> <li>⊕ WET LAND FLAG</li> <li>⊕ GUY ANCHOR</li> <li>⊕ HYDRANT</li> <li>⊕ IRON PIN FOUND</li> <li>⊕ MONUMENT FOUND</li> <li>⊕ SIGN</li> <li>⊕ UTILITY POLE</li> <li>⊕ WATER VALVE</li> <li>— EDGE OF WATER</li> <li>— W WATER LINE</li> <li>— S SEWER LINE</li> <li>— E ELECTRIC, TV, TELEPHONE</li> <li>— GAS GAS LINE</li> <li>— EXISTING GRADE</li> <li>— PROPOSED GRADE</li> <li>— D DRAIN LINE</li> <li>⊕ DRAIN MANHOLE</li> </ul>	<ul style="list-style-type: none"> <li>○ PROPANE TANK</li> <li>— SF SILT FENCE, HAYBALES</li> <li>— WB WETLAND BUFFER</li> <li>— — PROPERTY LINE</li> <li>— — STONE WALL</li> <li>— — TREELINE</li> <li>— CPP CORRUGATED PLASTIC PIPE</li> <li>— PCPP PERFORATED CORRUGATED PLASTIC PIPE</li> <li>— SSWL SINGLE SOLID WHITE LINE</li> <li>⊕ WELL</li> <li>⊕ CS CURB STOP</li> <li>⊕ @GV GATE VALVE</li> <li>— DRAINAGE VECTOR</li> <li>⊕ TP# 3 SOILS TEST PIT</li> <li>⊕ SEWER MANHOLE</li> </ul>
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**ENGINEER:**  
**THAYER FELLOWS, PE**  
 COUNTY ROAD  
 P. O. BOX 428  
 WALPOLE, NH  
 03608-0428

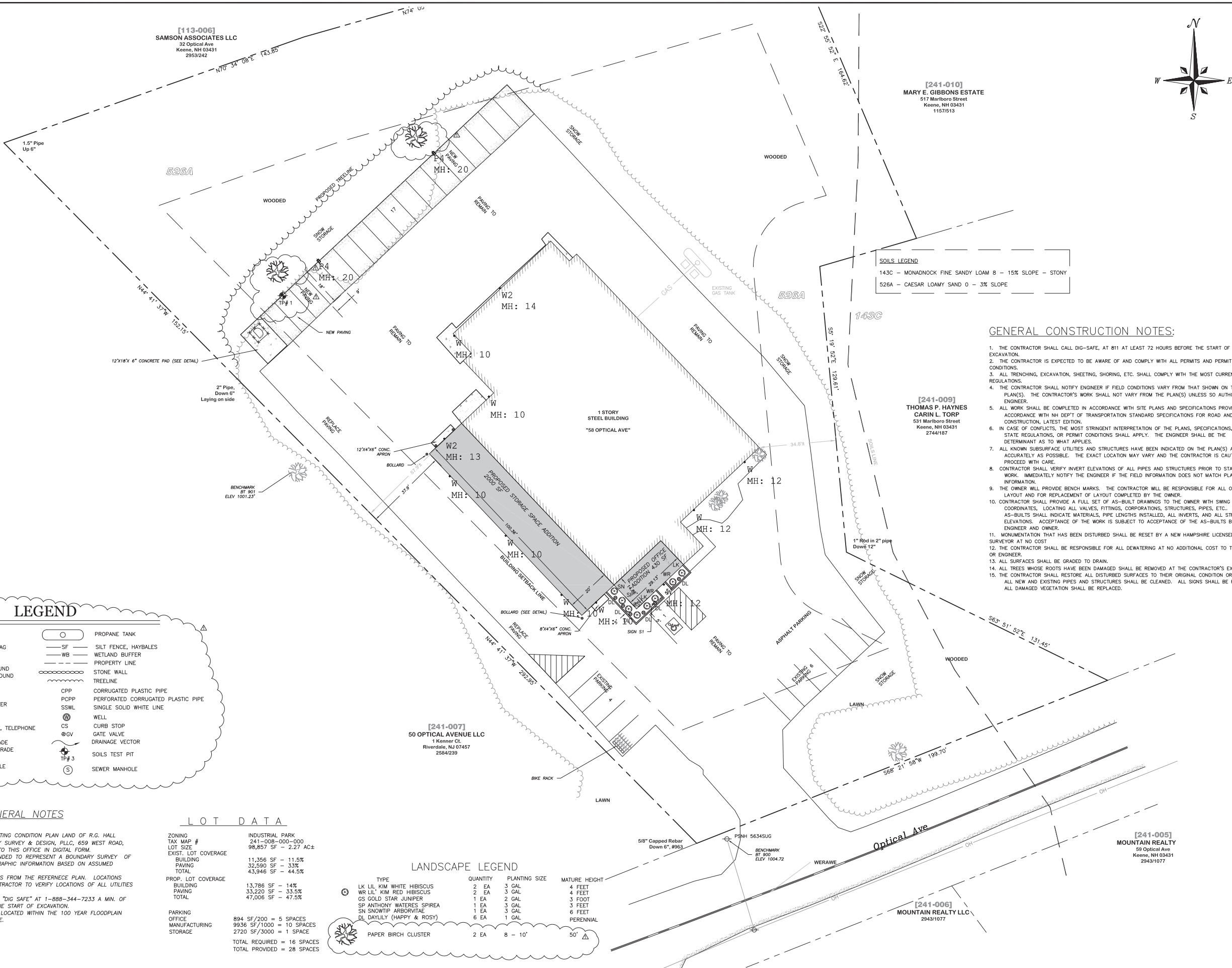
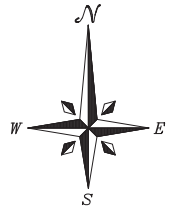
**OWNER:**  
 RJ HALL COMPANY  
 21 SUNSET TERRACE  
 KEENE, NH 03431

**Brickstone**  
 Land Use Consultants LLC  
 Site Planning, Permitting and Development Consulting  
 185 Winchester Street, Keene, NH 03431  
 Phone: (603) 357-0116

**PROPOSED EXPANSION SUNSET TOOL**  
 58 OPTICAL AVE.  
 KEENE, NH

**EXISTING PLAN**

SCALE: 1"=20'  
 DATE: JULY 20, 2018  
 SHEET 1



**SOILS LEGEND**  
 143C - MONADNOCK FINE SANDY LOAM 8 - 15% SLOPE - STONY  
 526A - CAESAR LOAMY SAND 0 - 3% SLOPE

**GENERAL CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL CALL DIG-SAFE, AT 811 AT LEAST 72 HOURS BEFORE THE START OF EXCAVATION.
2. THE CONTRACTOR IS EXPECTED TO BE AWARE OF AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS.
3. ALL TRENCHING, EXCAVATION, SHEETING, SHORING, ETC. SHALL COMPLY WITH THE MOST CURRENT OSHA REGULATIONS.
4. THE CONTRACTOR SHALL NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM THAT SHOWN ON THE PLAN(S). THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLAN(S) UNLESS SO AUTHORIZED BY ENGINEER.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH SITE PLANS AND SPECIFICATIONS PROVIDED OR IN ACCORDANCE WITH NH DEPT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
6. IN CASE OF CONFLICTS, THE MOST STRINGENT INTERPRETATION OF THE PLANS, SPECIFICATIONS, LOCAL OR STATE REGULATIONS, OR PERMIT CONDITIONS SHALL APPLY. THE ENGINEER SHALL BE THE DETERMINANT AS TO WHAT APPLIES.
7. ALL KNOWN SUBSURFACE UTILITIES AND STRUCTURES HAVE BEEN INDICATED ON THE PLAN(S) AS ACCURATELY AS POSSIBLE. THE EXACT LOCATION MAY VARY AND THE CONTRACTOR IS CAUTIONED TO PROCEED WITH CARE.
8. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL PIPES AND STRUCTURES PRIOR TO START OF WORK. IMMEDIATELY NOTIFY THE ENGINEER IF THE FIELD INFORMATION DOES NOT MATCH PLAN INFORMATION.
9. THE OWNER WILL PROVIDE BENCH MARKS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL OTHER LAYOUT AND FOR REPLACEMENT COMPLETED BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE A FULL SET OF AS-BUILT DRAWINGS TO THE OWNER WITH SWING TIES OR COORDINATES, LOCATING ALL VALVES, FITTINGS, CONNECTIONS, STRUCTURES, PIPES, ETC. THE AS-BUILTS SHALL INDICATE MATERIALS, PIPE LENGTHS INSTALLED, ALL INVERTS, AND ALL STRUCTURE ELEVATIONS. ACCEPTANCE OF THE WORK IS SUBJECT TO ACCEPTANCE OF THE AS-BUILTS BY THE ENGINEER AND OWNER.
11. MONUMENTATION THAT HAS BEEN DISTURBED SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT NO COST.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING AT NO ADDITIONAL COST TO THE OWNER OR ENGINEER.
13. ALL SURFACES SHALL BE GRADED TO DRAIN.
14. ALL TREES WHOSE ROOTS HAVE BEEN DAMAGED SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO THEIR ORIGINAL CONDITION OR BETTER. ALL NEW AND EXISTING PIPES AND STRUCTURES SHALL BE CLEANED. ALL SIGNS SHALL BE REPLACED. ALL DAMAGED VEGETATION SHALL BE REPLACED.

**LEGEND**

	CATCH BASIN		PROpane TANK
	CLEAN OUT		SILT FENCE, HAYBALES
	WETLAND FLAG		WETLAND BUFFER
	GUY ANCHOR		PROPERTY LINE
	HYDRANT		STONE WALL
	IRON PIN FOUND		TREELINE
	MONUMENT FOUND		CORRUGATED PLASTIC PIPE
	SIGN		PERFORATED CORRUGATED PLASTIC PIPE
	UTILITY POLE		SINGLE SOLID WHITE LINE
	WATER VALVE		WELL
	EDGE OF WATER		CURB STOP
	WATER LINE		GATE VALVE
	SEWER LINE		DRAINAGE VECTOR
	ELECTRIC, TV, TELEPHONE		SOILS TEST PIT
	GAS LINE		SEWER MANHOLE
	EXISTING GRADE		
	PROPOSED GRADE		
	DRAIN LINE		
	DRAIN MANHOLE		

**GENERAL NOTES**

1. REFERENCE PLAN: "EXISTING CONDITION PLAN LAND OF R.G. HALL COMPANY" BY HUNTLEY SURVEY & DESIGN, PLLC, 659 WEST ROAD, TEMPLE, NH SUPPLIED TO THIS OFFICE IN DIGITAL FORM.
2. THIS PLAN IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY OF THIS PROPERTY. TOPOGRAPHIC INFORMATION BASED ON ASSUMED ELEVATION.
3. LOCATION OF UTILITIES IS FROM THE REFERENCE PLAN. LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.
4. CONTRACTOR TO NOTIFY "DIG SAFE" AT 1-888-344-7233 A MIN. OF 72 HOURS PRIOR TO THE START OF EXCAVATION.
5. THIS PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN FOR THE CITY OF KEENE.

**LOT DATA**

ZONING	INDUSTRIAL PARK
TAX MAP #	241-008-000-000
LOT SIZE	98,857 SF = 2.27 AC±
EXIST. LOT COVERAGE	
BUILDING	11,356 SF - 11.5%
PAVING	32,590 SF - 33%
TOTAL	43,946 SF - 44.5%
PROP. LOT COVERAGE	
BUILDING	13,786 SF - 14%
PAVING	33,220 SF - 33.5%
TOTAL	47,006 SF - 47.5%
PARKING OFFICE	894 SF/200 = 5 SPACES
MANUFACTURING	9936 SF/1000 = 10 SPACES
STORAGE	2720 SF/3000 = 1 SPACE
TOTAL REQUIRED	= 16 SPACES
TOTAL PROVIDED	= 28 SPACES

**LANDSCAPE LEGEND**

TYPE	QUANTITY	PLANTING SIZE	MATURE HEIGHT
LK LIL KIM WHITE HIBISCUS	2 EA	3 GAL	4 FEET
WR LIL KIM RED HIBISCUS	2 EA	3 GAL	4 FEET
GS GOLD STAR JUNIPER	1 EA	2 GAL	3 FEET
SP ANTHONY WATER'S SPIREA	1 EA	3 GAL	3 FEET
SN SNOWTIP ARBORVITAE	1 EA	3 GAL	6 FEET
DL DAYLILY (HAPPY & ROSY)	6 EA	1 GAL	PERENNIAL
PAPER BIRCH CLUSTER	2 EA	8 - 10'	50'

**ENGINEER:**  
**THAYER FELLOWS, PE**  
 COUNTY ROAD  
 P. O. BOX 428  
 WALLPOLE, NH  
 03608-0428

**OWNER:**  
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 21 SUNSET TERRACE  
 KEENE, NH 03431

**Brickstone**  
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**PROPOSED EXPANSION SUNSET TOOL**  
 58 OPTICAL AVE.  
 KEENE, NH

**LOCATION & LANDSCAPE PLAN**

SCALE: 1"=20'

DATE: JULY 20, 2018

SHEET 2

**EROSION CONTROL MEASURES**

THIS IS A SUGGESTED SEQUENCE FOR THE IMPLEMENTATION OF EROSION CONTROLS. IT SHALL NOT LIMIT THE CONTRACTOR IN HIS MEANS, METHODS, AND TECHNIQUES FOR CONTROLLING EROSION AND SEDIMENTATION.

1. INSTALL SILT FENCE OR HAY BALE BIKES WHERE SHOWN AND WHERE NECESSARY TO CONTROL EROSION AND SEDIMENT MOVEMENT.
2. CLEAR TREES AND REMOVE STUMPS, ROCKS AND TOPSOIL WITHIN CONSTRUCTION AREA. STOCKPILE OUTSIDE OF WETLAND AREA AND SURROUND WITH SILT FENCE/HAYBALES.
3. INSTALL CULVERT DURING PERIOD OF LOW OR NO FLOW. MAINTAIN EXISTING STREAM CHANNEL, BACKFILL AND CONSTRUCT HEADWALLS.
4. GRADE AND SEED ALL EXPOSED EARTH SURFACES THAT WILL BE LEFT LONGER THAN THIRTY DAYS.

ALL EROSION CONTROL MEASURES AND TO BE CHECKED WEEKLY AND AFTER RAINSTORMS OF MORE THAN 1/4". REPAIR AS REQUIRED TO MAINTAIN INTEGRITY.

ALL SEEDED AREAS TO BE CHECKED WEEKLY AND AFTER RAIN EVENTS OF MORE THAN 1/4" AND REPAIRED AS REQUIRED UNTIL PERMANENT STABILIZATION.

CONTRACTOR SHALL MAINTAIN A LOG BOOK OF ALL WEEKLY INSPECTIONS AND INCLUDE DATE AND TIME OF INSPECTIONS, NOTES ON STATUS OF EROSION CONTROL MEASURES AND ANY REPAIRS REQUIRED.

WHEN ALL WORK IS COMPLETED, SLOPES AND DITCHES ARE STABILIZED, REMOVE SILT FENCE/HAY BALES AND ANY SEDIMENT THAT HAS COLLECTED IN DITCHES.

CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL EROSION CONTROL MEASURES REQUIRED TO INSURE SEDIMENT AND EROSION IS CONTROLLED ON AND OFF SITE.

**WINTER CONSTRUCTION REQUIREMENTS:**

1. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND 1) INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, OR 2) PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF SPRING THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL MEETING NHDOT ITEM 304.3 SPECIFICATIONS.

**PROJECT SPECIFIC NOTES:**

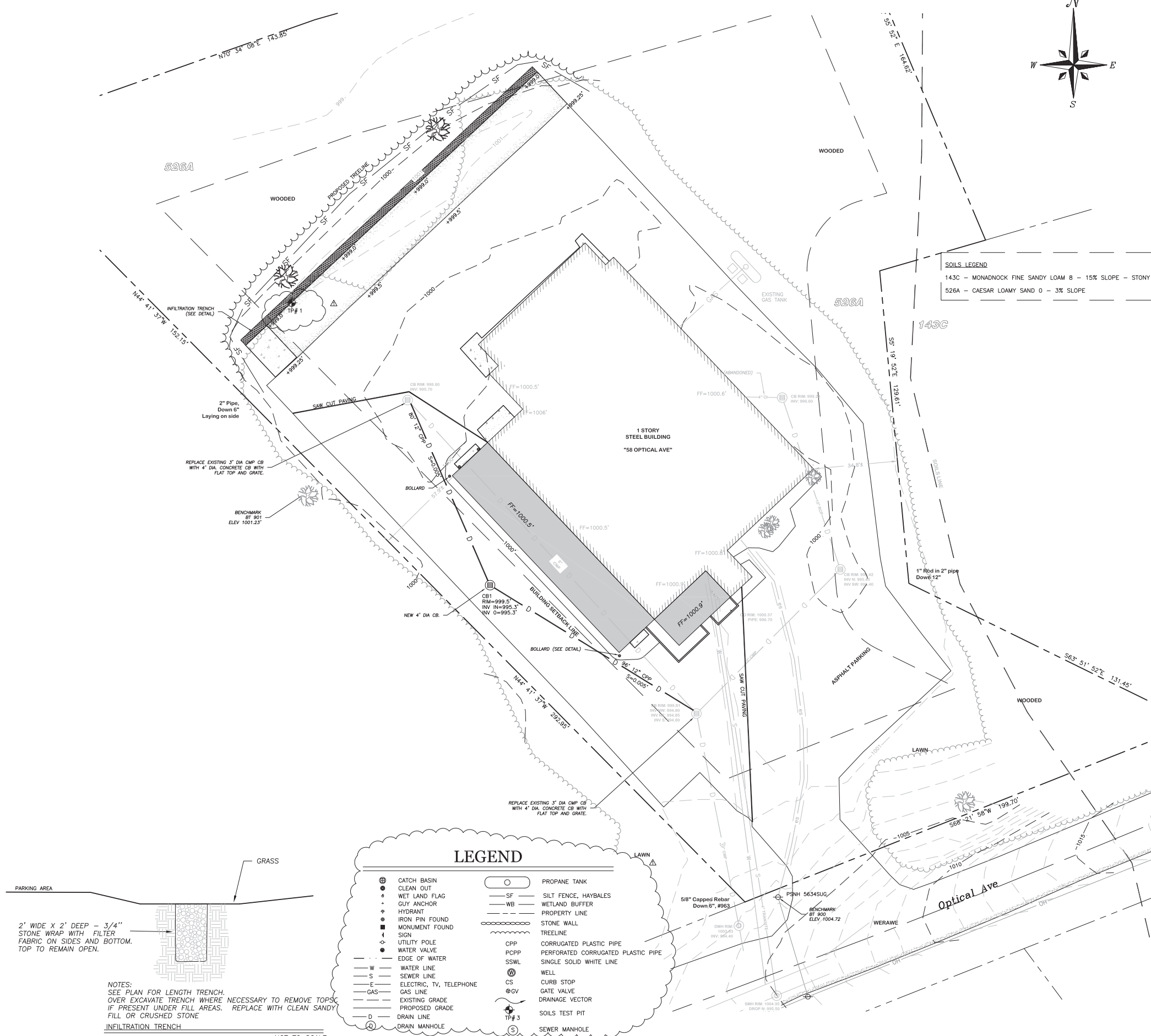
1. ALL STORM DRAIN TO BE HIGH DENSITY SMOOTH BORE POLYETHYLENE, HANCOR, ADS OR APPROVED EQUAL, U.N.O.
2. ALL AREAS TO BE VEGETATED SHALL RECEIVE A MINIMUM OF 6" OF LOAM, SEED AND MULCH.
3. SEEDING OF ALL DISTURBED AREAS SHALL BE COMPLETED NOT LATER THAN OCTOBER 15TH.
4. SEEDING OF ALL FINISHED AREAS SHALL BE COMPLETED NOT MORE THAN 72 HOURS AFTER FINISH GRADING.
5. STABILIZATION OF ALL WORK AREAS SHALL BE COMPLETED NOT MORE THAN 45 DAYS FOLLOWING THE START OF WORK.
6. BROOM, WASH AND APPLY TACK COAT TO BASE PAVEMENT PRIOR TO WEAR COURSE PLACEMENT.
7. ALL NEW EXTERIOR LIGHTS SHALL BE SHIELDED TO PROTECT AGAINST ADDED LIGHT POLLUTION. ALL LIGHTS & CHANGES TO LIGHTING MUST BE APPROVED BY THE PLANNING BOARD.
8. STABILIZE ALL DRAINAGE SWALES PRIOR TO DIRECTING RUNOFF TO THEM.

**SEQUENCE OF WORK:**

1. INSTALL SILT FENCE AROUND AREAS SHOWN ON PLAN SET AND AROUND ANY AREAS WHERE EARTH WORK WILL BE PERFORMED.
2. CLEAR AND GRUB THE SITE; IF CONSTRUCTION IS TO BE DONE IN PHASES, CLEAR AREA FOR CURRENT PHASE ONLY. REMOVE STUMPS AND BRUSH FROM SITE. STOCK-PILE SUFFICIENT LOAM FOR RE-USE AND SURROUND W/ SILT-FENCE.
3. SAW CUT AND REMOVE PAVING WHERE SHOWN AND INSTALL STABILIZED CONSTRUCTION ENTRANCE IF REQUIRED, WHERE SHOWN ON THE PLANS ONCE PAVING IS REMOVED.
4. PLACE FILL WHERE NEEDED TO BRING BUILDING SITES AND DRIVEWAYS TO ROUGH GRADE.
5. INSTALL UNDERGROUND UTILITIES TO SITE AND CONSTRUCT BUILDINGS.
6. INSTALL SUB-BASE GRAVELS FOR DRIVEWAYS, AND PAVE TO FINISH GRADES SPECIFIED.
7. LOAM AND SEED ALL DISTURBED AREAS ON THE SITE.
8. REMOVE EROSION CONTROL MEASURES ONCE ALL UPHILL SURFACES ARE CONSIDERED STABLE AS DEFINED IN SEDIMENT & EROSION CONTROL NOTES.

**GENERAL UTILITY NOTES**

1. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KEENE STREET AND UTILITY STANDARDS AND INSPECTED BY DPW ENGINEERING OR WATER/SEWER DEPARTMENT PRIOR TO BURIAL OR BEING PLACED IN SERVICE.
2. MAINTAIN MIN. 10' HORIZONTAL SEPARATION OF WATER AND SEWER LINES.
3. ALL CATCHBASINS TO HAVE A MIN. 2' SLUMP.
4. ALL CATCHBASINS TO HAVE HOODED OUTLETS. GRATES SHALL BE TYPE "B" OR AS APPROVED BY CITY OF KEENE.
5. EACH WATER SERVICE TO BE METERED SEPARATELY.
6. PAVING SHALL CONSIST OF 2" BASE COURSE AND 1" TOP PAVING BASE SHALL BE OF 1/2" BANK RUN GRAVEL AND 6" COURSE CRUSHED GRAVEL. ALL FILL MATERIAL AND DISTURBED AREAS UNDER PAVING TO BE COMPACTED TO A MIN 95% DENSITY. DRAINAGE PIPE TO BE CPP PLASTIC. SUITABLE FOR H-20 LOADING.
7. CONSTRUCTION WITHIN THE CITY ROW REQUIRES AN EXCAVATION PERMIT FROM THE PUBLIC WORKS DEPT. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION PERMITS REQUIRED.
8. EXCAVATION WITHIN THE CITY STREET SHALL BE SAW CUT. WORK TO BE DONE TO DPW STANDARDS AND INSPECTED BY DPW.
9. SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED WITH 1 1/2" EPS.
10. DOMESTIC WATER SERVICE SHALL REQUIRE A KEENE DPW APPROVED TESTABLE BACKFLOW DEVICE TO BE INSTALLED IN BUILDING.
11. INSTALL CORPORATIONS OR GATE VALVES AT ALL WATER LINE CONNECTIONS TO THE CITY MAIN LINE.



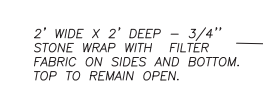
**SOILS LEGEND**

143C	MONADNOCK FINE SANDY LOAM 8 - 15% SLOPE - STONY
526A	CAESAR LOAMY SAND 0 - 3% SLOPE



**LEGEND**

⊕	CATCH BASIN	○	PROpane TANK
●	CLEAN OUT	— SF —	SILT FENCE, HAYBALES
▲	WET LAND FLAG	— WB —	WETLAND BUFFER
+	GUY ANCHOR	---	PROPERTY LINE
⊕	HYDRANT	— — —	STONE WALL
●	IRON PIN FOUND	— — —	TREELINE
■	MONUMENT FOUND	— — —	CORRUGATED PLASTIC PIPE
⊕	UTILITY POLE	— — —	PERFORATED CORRUGATED PLASTIC PIPE
⊕	SIGN	— — —	SINGLE SOLID WHITE LINE
⊕	WATER VALVE	— — —	WELL
—	EDGE OF WATER	— — —	CURB STOP
— W —	WATER LINE	— — —	GATE VALVE
— S —	SEWER LINE	— — —	DRAINAGE VECTOR
— E —	ELECTRIC, TV, TELEPHONE	— — —	SOILS TEST PIT
— G —	GAS LINE	— — —	SEWER MANHOLE
— — —	EXISTING GRADE	— — —	
— — —	PROPOSED GRADE	— — —	
— D —	DRAIN LINE	— — —	
⊕	DRAIN MANHOLE	— — —	



NOTES:  
SEE PLAN FOR LENGTH TRENCH.  
OVER EXCAVATE TRENCH WHERE NECESSARY TO REMOVE TOPSOIL.  
IF PRESENT UNDER FILL AREAS. REPLACE WITH CLEAN SANDY FILL OR CRUSHED STONE

**INFILTRATION TRENCH**

NOT TO SCALE

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

AUG 8, 2018  
PLANNING STAFF COMMENTS

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**ENGINEER:**  
**THAYER FELLOWS, PE**

COUNTY ROAD  
P. O. BOX 428  
WALPOLE, NH  
03608-0428

---

**OWNER:**  
**R J HALL COMPANY**  
**21 SUNSET TERRACE**  
**KEENE, NH 03431**

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**Brickstone**  
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**PROPOSED EXPANSION SUNSET TOOL**  
**58 OPTICAL AVE.**  
**KEENE, NH**

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**UTILITY & GRADING PLAN**

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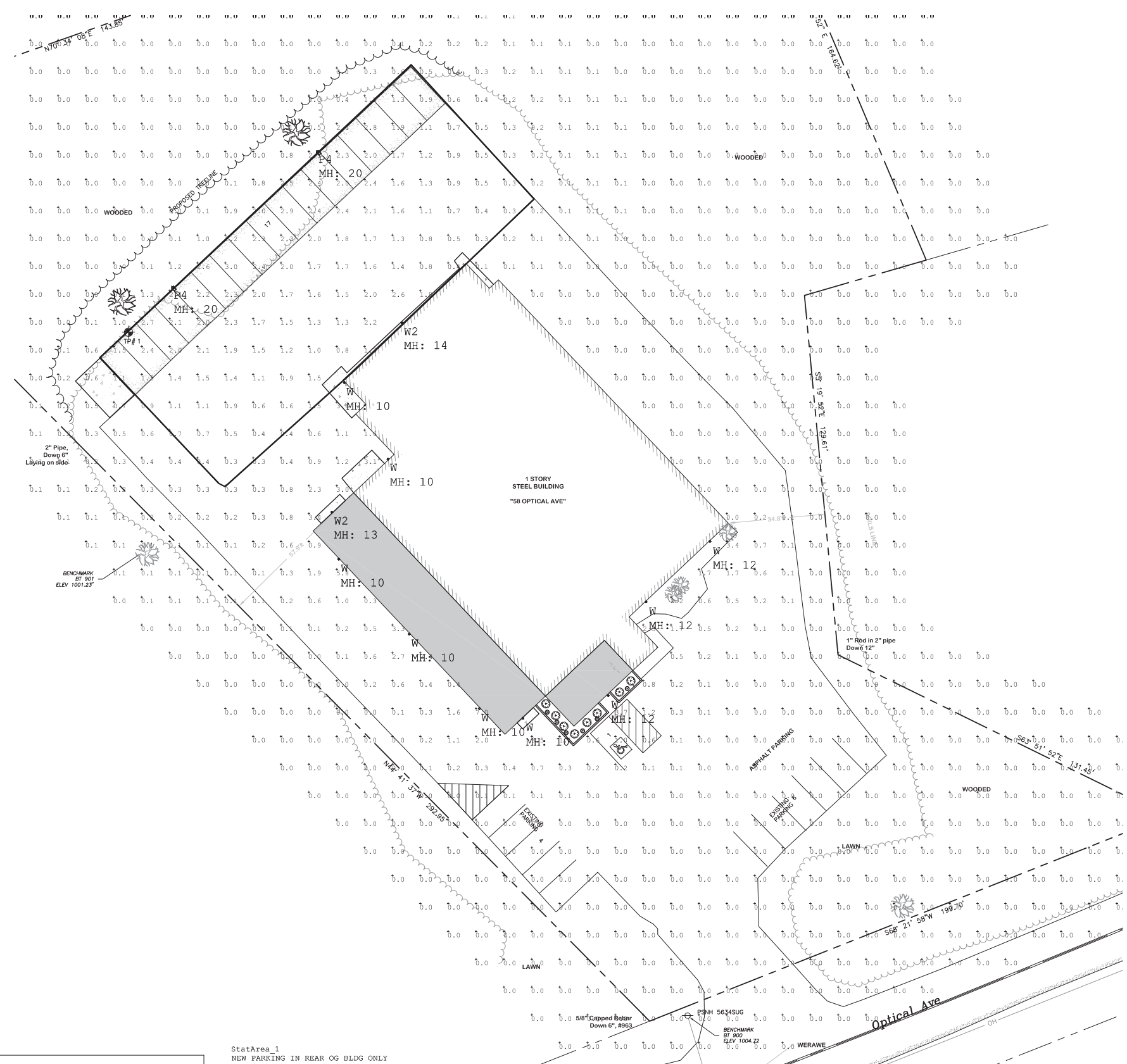
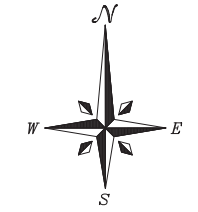
**SCALE: 1"=20'**

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**DATE: JULY 20, 2018**

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**SHEET 3**



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	2	F4	SINGLE	FFPRV-1-A25-T4-20-HSS (20' APG)
	9	W	SINGLE	XTOR1B
	2	W2	SINGLE	XTOR2B

StatArea\_1  
 NEW PARKING IN REAR OG BLDG ONLY  
 Illuminance (Fc)  
 Average = 1.45  
 Maximum = 3.0  
 Minimum = 0.3  
 Avg/Min Ratio = 4.03  
 Max/Min Ratio = 10.00

ENGINEER:  
**THAYER FELLOWS, PE**  
 COUNTY ROAD  
 P. O. BOX 428  
 WALPOLE, NH  
 03608-0428

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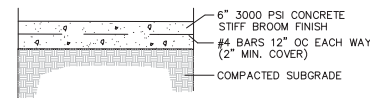
PROPOSED  
 EXPANSION  
 SUNSET TOOL  
 58 OPTICAL AVE.  
 KEENE, NH

# FULL LIGHTING PLAN

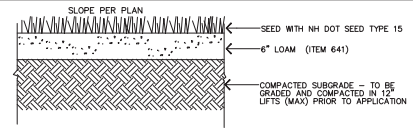
SCALE: 1"=20'

DATE: JULY 20, 2018

SHEET 4



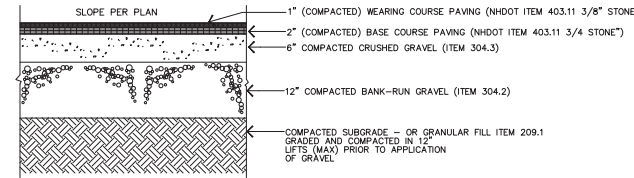
**CONCRETE PAD DETAIL**  
SCALE: NOT TO SCALE



KIND OF SEED	MINIMUM PURITY %	GERMINATION %	LBS/ACRE
CREeping RED FESCUE	96	85	40
PERENNIAL RYEGRASS	98	90	50
KENTUCKY BLUEGRASS	97	85	25
REDTOP	95	80	5
TOTAL			120

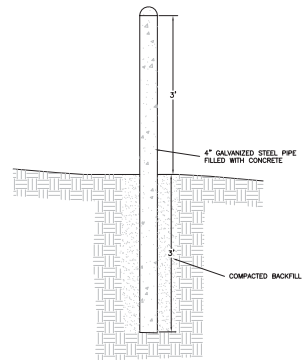
1. SPREAD LOAM TO SPECIFIED DEPTH AND RAKE TO REMOVE ALL UNSUITABLE MATERIALS. ROLL LOAM TO COMPACT.
2. SPREAD LIMESTONE AT A RATE OF 80 LBS/1000 SF OF SURFACE AREA
3. FERTILIZE WITH 10-10-10 FERTILIZER AT A RATE OF 20 LBS/1000 SF
4. SEED AT 2.75 LBS/1000 SF

**LOAM AND SEED DETAIL**  
NOT TO SCALE



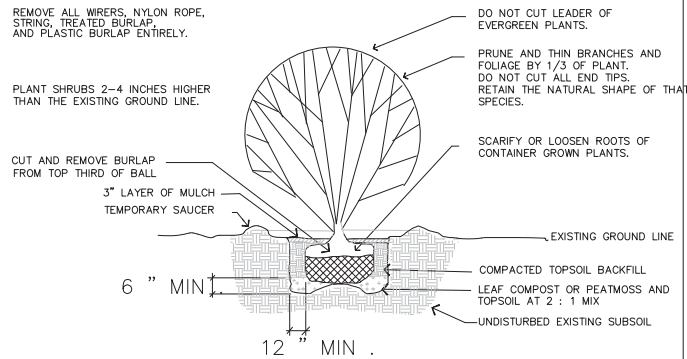
**PAVEMENT DETAIL**  
NOT TO SCALE

ALL FILL MATERIAL AND DISTURBED AREAS UNDER PAVING TO BE COMPACTED TO A MIN 95% DENSITY.

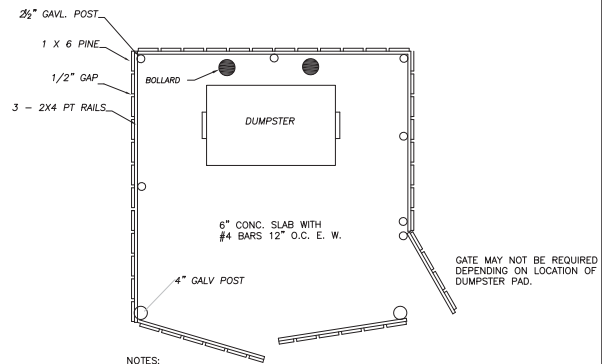


**BOLLARD DETAIL**  
NTS

OTHER SUITABLE MATERIAL ACCEPTED SUCH AS 3" STEEL BEAMS, RAILROAD RAILS, ETC. PENDING APPROVAL BY OWNER.

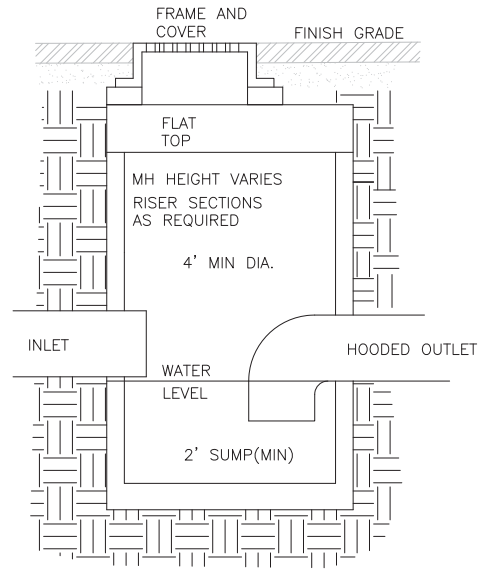


**DETAIL OF SHRUB PLANTING**  
NOT TO SCALE

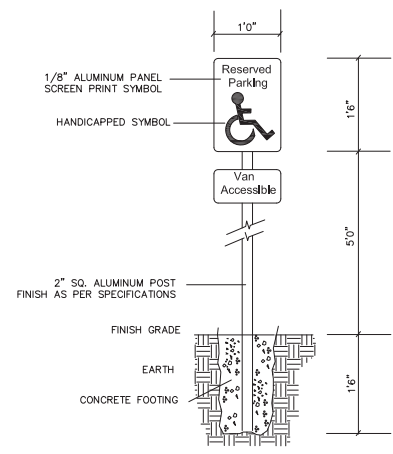


- NOTES:
1. WOOD RAILS TO BE PRESSURE TREATED, FREE FROM EXCESSIVE CRACKS, CHIPS, WARPS OR KNOTS.
  2. VERTICAL WOOD SLATS TO BE SPF #2 OR BETTER PAINTED TO MATCH MAIN BUILDING COLOR.
  3. ALL FASTENERS AND POSTS TO BE HOT DIPPED GALVANIZED.
  4. NUMBER OF DUMPSTERS AND SIZE TO BE DETERMINED BY OWNER. SIZE AND NUMBER WILL DETERMINE FINAL DIMENSIONS OF ENCLOSURE.
  5. PROVIDE 4' WIDE ACCESS OPENING ON SIDE, W/ A.D.A. ROUTE.

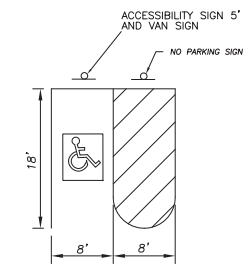
**DUMPSTER ENCLOSURE DETAIL**  
NTS



**CATCHBASIN DETAIL**  
NTS

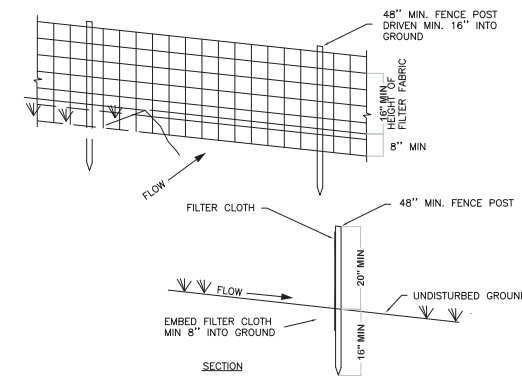


**SIGN S1 - HANDICAPPED PARKING SIGN**  
SCALE: NOT TO SCALE



**VAN ACCESSIBLE SPACE**  
NTS

1. ACCESS ISLE SHALL HAVE A FIRM NON SLIP SURFACE.
2. ACCESS ISLE AND PARKING SPACE MAX SLOPE OF 2%.
3. IF ACCESSIBLE ROUTE IS LOCATED IN FRONT OF THE PARKING SPACE, WHEELSTOPS MAY BE REQUIRED TO KEEP VEHICLE OVERHANG FROM REDUCING WIDTH BELOW 36 INCHES.



**SILT FENCE DETAIL**  
NTS

- CONSTRUCTION SPECIFICATIONS
1. FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED AT A POST BY 6 INCHES, FOLDED AND STAPLED.
  3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**ENGINEER:**  
**THAYER FELLOWS, PE**  
COUNTY ROAD  
P. O. BOX 428  
WALPOLE, NH  
03608-0428

**OWNER**  
**R J HALL COMPANY**  
21 SUNSET TERRACE  
KEENE, NH 03431

**Brickstone**  
Land Use Consultants **LLC**  
Site Planning, Permitting and Development Consulting  
185 Winchester Street, Keene, NH 03431  
Phone: (603) 357-0116

**PROPOSED EXPANSION SUNSET TOOL**  
58 OPTICAL AVE.  
KEENE, NH

**DETAIL PLAN**

SCALE: AS NOTED

DATE: JULY 20, 2018

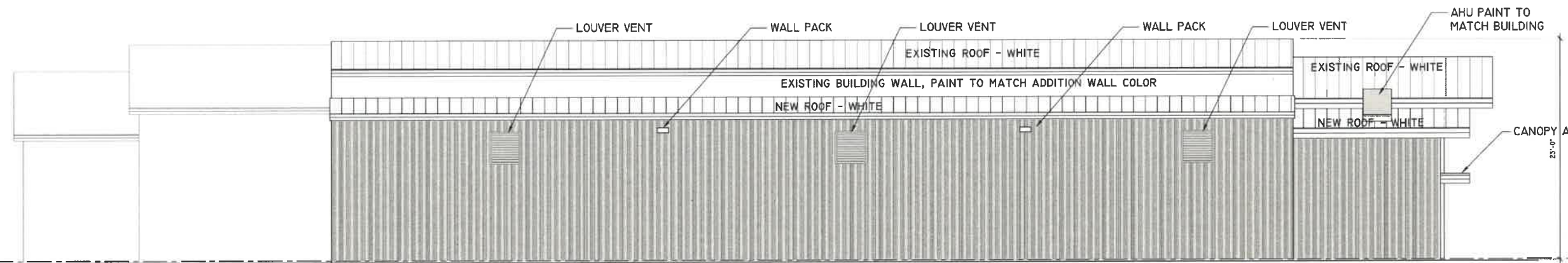
SHEET 6

ISSUE LOG

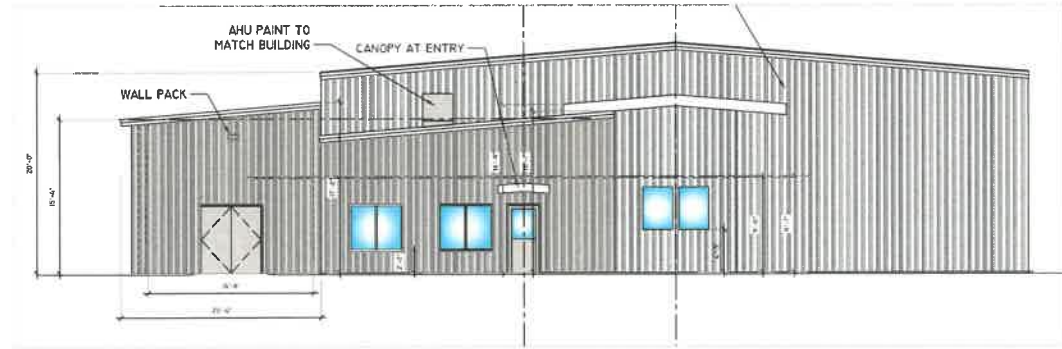
DATE	FOR
6-22-18	

The Architect's design responsibility for the building is limited to the design of the building envelope and mechanical systems. The Architect is not responsible for the design of the building's interior, exterior finishes, or other building systems. The Architect's design responsibility is limited to the design of the building envelope and mechanical systems. The Architect is not responsible for the design of the building's interior, exterior finishes, or other building systems.

**db architects llc**  
 Dan Barlett AIA  
 135 Worcester Street  
 Keene NH 03421  
 603.352.4412  
 dan@dbarchitects.net



**2** WEST ELEVATION  
 SCALE: 3/16" = 1'-0"



**1** SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0"

PROJECT NAME:  
**SUNSET TOOLS**  
 58 OPTICAL AVENUE KEENE NH  
 DRAWING NAME:  
**FLOOR PLANS**

SCALE  
 1/4" = 1'-0"

SHEET NUMBER  
**A2**





August 08, 2018

Michele Chalice, Planner  
City of Keene  
3 Washington Street  
Keene, NH 03431

Re: SPR-847 Modification #1, Additions to Sunset Tool Hillside Village, 58 Optical Ave.

Dear Michele,


In response to the staff comments received 8-06-18 we offer the following:

1. **Test Pit location and SHWT** - The information has been added to the site plan.
2. **Code Comments** –
  - a. **Pavement Setback less than 10'** – There is an area of existing pavement at the front of the lot which is 3' from the property line. This area is not being disturbed and will remain an existing nonconforming pavement setback.
  - b. **Bumpers/Wheel Stops at Rear Parking** – 17 new parking spaces are being constructed at the rear of the lot. This area will sheet drain into a 3' wide stone infiltration strip which runs the length of the parking spaces. Since the pavement does not abut a landscaped area, the stone strip is an adequate barrier between the paved parking and the grass area to the rear. Wheel stops are not necessary.
3. **Public Works/Engineering** –
  - a. **Legend Symbols** – Additional symbols have been added to the legend to identify plan elements.
  - b. **Stormwater Management** – The test pit/perc test location has been added to the plan.
4. **Planning-**
  - a. **Drainage** – There are no roof drains on this building. Roof runoff will continue to sheet drain into the onsite collection system which discharges into the existing city storm drains.
  - b. **Screening** – The rooftop HVAC unit will be placed on the lower roof allowing the taller wall of the main building to provide screening behind the unit. The HVAC unit will be painted to match the building wall, so it will not stand out as a separate element. This unit will not be visible from the residential area to the north of the site.
  - c. **Architecture and Visual Appearance** –
    - i. **Submittals** – Three additional color elevations are provided (11 x 17).
    - ii. **Façade Materials** – A product sample will be provided at the Planning Board meeting.
    - iii. **Building Paint** - The owner is proposing to paint the entire building a light beige color to match metal siding on the building addition.

- d. **Lighting** – There are six existing parking spaces in front of the building along Optical Avenue which are not currently lit. The owner does not wish to add a light at this location.
- e. **Landscaping** – Two 3” caliper trees have been added at the rear parking area.

Please review the enclosed information at your earliest convenience.

Submitted by,

A handwritten signature in black ink, appearing to read "James P. Phippard", with a stylized flourish at the end.

James P. Phippard, agent

## DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

## SPECIFICATION FEATURES

### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

### electrical wiring compartment.

Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

### Warranty

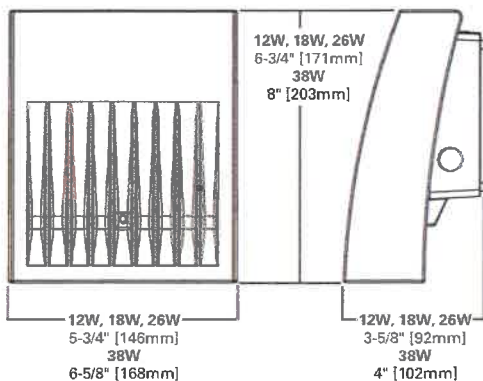
Five-year warranty.



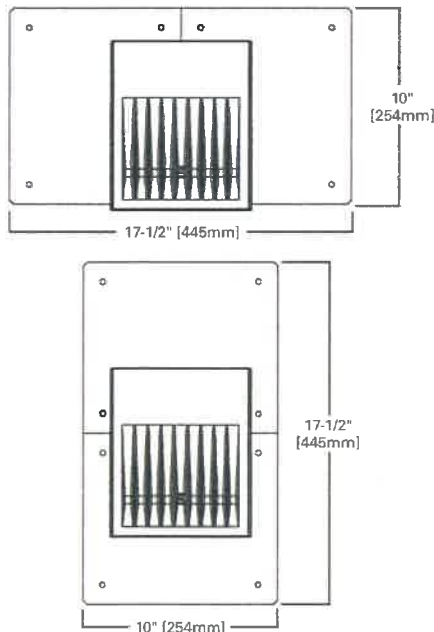
## XTOR CROSSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

## DIMENSIONS



## ESCUTCHEON PLATES



## CERTIFICATION DATA

UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingressed Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

## TECHNICAL DATA

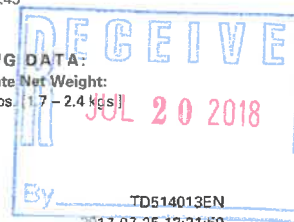
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

## EPA

Effective Projected Area (Sq. Ft.):  
XTOR1B, XTOR2B, XTOR3B=0.34  
XTOR4B=0.45

## SHIPPING DATA:

Approximate Net Weight:  
3.7 - 5.25 lbs (1.7 - 2.4 kg)



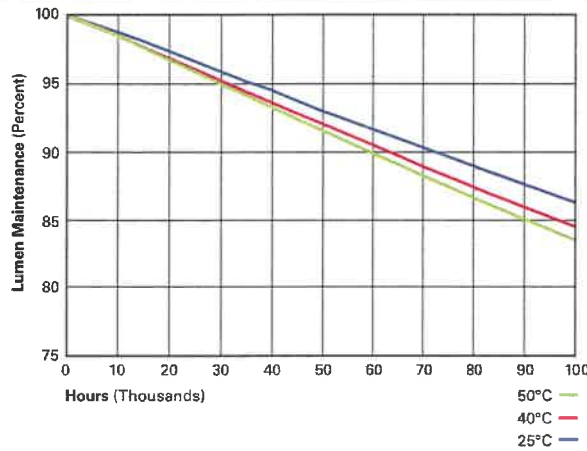
**POWER AND LUMENS BY FIXTURE MODEL**

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) <sup>1</sup>	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating <sup>2</sup>	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR1B Model</b>		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
<b>XTOR2B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR3B Model</b>		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
<b>XTOR4B Model</b>		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



**CURRENT DRAW**

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A



**ORDERING INFORMATION**

Sample Number: XTOR2B-W-WT-PC1

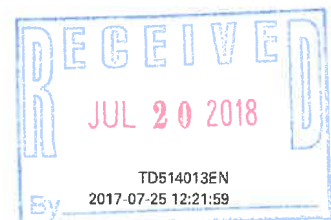
Series <sup>1</sup>	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1B=Small Door, 12W XTOR2B=Small Door, 18W XTOR3B=Small Door, 26W XTOR4B=Medium Door, 38W	[Blank]=Bright White (Standard), 5000K W=Neutral White, 4000K Y=Warm White, 3000K	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	PC1=Photocontrol 120V <sup>2</sup> PC2=Photocontrol 208-277V <sup>2,3</sup> 347V=347V <sup>4</sup> HA=50°C High Ambient <sup>4</sup>	WG/XTOR=Wire Guard <sup>5</sup> XTORFLD-KNC=Knuckle Floodlight Kit <sup>6</sup> XTORFLD-TRN=Trunnion Floodlight Kit <sup>6</sup> XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White <sup>6</sup> XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White <sup>6</sup> EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

**NOTES:**

- DesignLights Consortium<sup>4</sup> Qualified and classified for both DLC Standard and DLC Premium, refer to [www.designlights.org](http://www.designlights.org) for details.
- Photocontrols are factory installed.
- Order PC2 for 347V models.
- Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
- Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
- Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

**STOCK ORDERING INFORMATION**

12W Series	18W Series	26W Series	38W Series
XTOR1B=12W, 5000K, Carbon Bronze	XTOR2B=18W, 5000K, Carbon Bronze	XTOR3B=26W, 5000K, Carbon Bronze	XTOR4B=38W, 5000K, Carbon Bronze
XTOR1B-WT=12W, 5000K, Summit White	XTOR2B-W=18W, 4000K, Carbon Bronze	XTOR3B-W=26W, 4000K, Carbon Bronze	XTOR4B-W=38W, 4000K, Carbon Bronze
XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT=18W, 5000K, Summit White	XTOR3B-WT=26W, 5000K, Summit White	XTOR4B-WT=38W, 5000K, Summit White
XTOR1B-W=12W, 4000K, Carbon Bronze	XTOR2B-PC1=18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1=26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1=38W, 5000K, 120V PC, Carbon Bronze
XTOR1B-W-PC1=12W, 4000K, 120V PC, Carbon Bronze	XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze		XTOR4B-W-PC1=38W, 4000K, 120V PC, Carbon Bronze



## DESCRIPTION

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 62% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

## SPECIFICATION FEATURES

### Construction

Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

### Optics

Available in Type III and IV distributions with lumen packages ranging from 6,173 to 18,992 nominal lumens. Light engine configurations consist of 1 or 2 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/60,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

### Electrical

Available in 120-277V 50/60Hz. 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

### Controls

An integrated dimming and occupancy sensor is available in bi-level dimming (MSP/DIM) operation.

### Mounting

The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

### Pole

Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

### Finish

Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

### Warranty

Five-year warranty.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

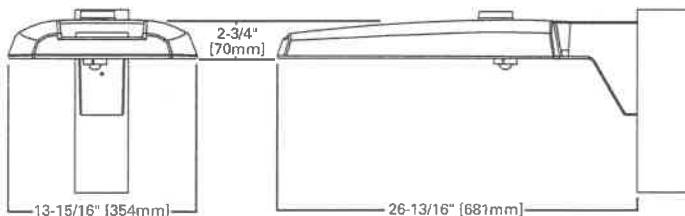


## PFPRV PREVAIL POLE AND FIXTURE COMBO

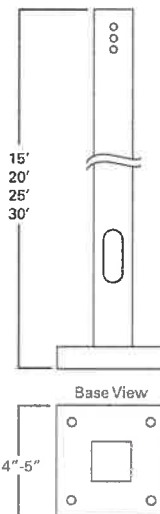
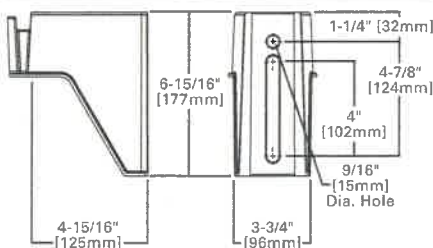
LED

POLE AND FIXTURE COMBO

## DIMENSIONS



## POLE MOUNT ARM



### CERTIFICATION DATA

UL and cUL Wet Location Listed  
IP66-Rated  
3G Vibration Rated  
ISO 9001  
DesignLights Consortium™ Qualified\*

### ENERGY DATA

**Electronic LED Driver**  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 and 60Hz,  
347V/60Hz, 480V/60Hz  
-40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

### EPA

Effective Projected Area (Sq. Ft.): 0.75  
(1 fixture)

### SHIPPING DATA

Approximate Net Weight:  
20lbs. [9.09 kgs.] (1 fixture)



**ORDERING INFORMATION**

Sample Number: PFPRV-1-A25-T3-15-N/AB

Series <sup>1,2,3</sup>	Number of Fixtures	Light Engine	Distribution	Pole Height	Maximum Wind Zone (MPH)	Options (Add as Suffix)	Accessories (Order Separately)
PFPRV=Prevail Pole and Fixture Combo	1=1 2=2 3=3 4=4	A15=(1 LED) 6,100 Nominal Lumens A25=(2 LED) 10,200 Nominal Lumens A40=(2 LED) 15,100 Nominal Lumens A60=(2 LED) 18,900 Nominal Lumens	T3=Type III T4=Type IV	15=15' 20=20' 25=25' 30=30'	Blank=80 9=90 0=100	N/AB=No Anchor Bolts (Used when ordered separately) HSS=House Side Shield MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height PER=NEMA 3P/IN Twistlock Photocontrol Receptacle <sup>4</sup> PER7=NEMA 7P/IN Twistlock Photocontrol Receptacle <sup>4</sup>	HS/VERD=House Side Shield

NOTES: 1 4000K CCT, standard bronze, 120-277V, 0-10V dimming. 2 Standard mount arm included with fixture. Supplied with straight steel shaft, anchor bolts, template, base cover and hardware. 3 DesignLights Consortium™ Qualified and classified for DLC standard, refer to www.designlights.org for details. 4 Not available with MSP options.

**POWER AND LUMENS**

Light Engine	A15	A25	A40	A60	
Nominal Power (Watts)	57W	87W	143W	163W	
Input Current @ 120V (A)	0.49	0.76	1.23	1.34	
Input Current @ 277V (A)	0.22	0.35	0.54	0.60	
Input Current @ 347V (A)	0.18	0.28	0.45	0.49	
Input Current @ 480V (A)	0.13	0.21	0.33	0.35	
Type II	Lumens	6,139	10,204	15,073	18,830
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
Type III	Lumens	6,192	10,292	15,203	18,992
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4
Type IV	Lumens	6,173	10,261	15,157	18,935
	BUG Rating	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5
Type V	Lumens	6,393	10,627	15,697	19,610
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4

NOTE: Lumen output for standard bronze fixture color. Different housing colors impact lumen output. IES files for the non-standard colors are available upon request.

**LUMEN MAINTENANCE**

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	Theoretical 100,000 Hours	Theoretical L70 (Hours)*
25°C	> 96%	> 93%	> 92%	> 87%	> 260,000
40°C	> 96%	> 93%	> 92%	> 87%	> 255,000
50°C	> 95%	> 92%	> 91%	> 86%	> 250,000

\* Per IESNA TM-21 data.

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



# Commercial/Industrial COLOR CHART

## SIGNATURE® 200 Standard Colors SILICONIZED POLYESTER

26 Gauge Material



HAWAIIAN BLUE★  
SR .31 SRI 31



CRIMSON RED★  
SR .32 SRI 33



FERN GREEN★  
SR .29 SRI 29



BURNISHED SLATE★  
SR .34 SRI 36



ASH GRAY★  
SR .45 SRI 50



SADDLE TAN★  
SR .47 SRI 53



DESERT SAND★  
SR .42 SRI 47



KOKO BROWN★  
SR .35 SRI 37



CHARCOAL GRAY★  
SR .38 SRI 41



POLAR WHITE★†  
SR .58 SRI 68



RUSTIC RED★  
SR .37 SRI 39



LIGHT STONE★  
SR .56 SRI 66



COBALT BLUE  
SR .26 SRI 24



SOLAR WHITE★★  
SR .71 SRI 86

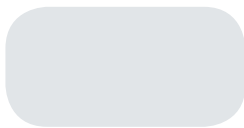
† Also available in 29 Gauge

## SIGNATURE® 300 Premium Colors 70% PVDF RESIN

Additional costs apply for Signature 300 finishes.



MEDIUM BRONZE★  
SR .33 SRI 34



SNOW WHITE★  
SR .65 SRI 78



SLATE GRAY★  
SR .37 SRI 39



ALMOND★  
SR .63 SRI 75



CLASSIC GREEN★  
SR .27 SRI 26



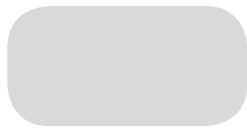
BROWNSTONE★  
SR .47 SRI 53



BRITE RED★  
SR .49 SRI 55



HARBOR BLUE★  
SR .28 SRI 27



BONE WHITE★★  
SR .70 SRI 85



- Final color selection should be made from actual color chips.
- See product selection chart for gauge and color availability.
- All products available in smooth or embossed finish.
- Trim available in all colors.
- All Signature® 300 are low gloss colors.
- A 25-year limited paint warranty available for all colors upon written request. (Outside the continental United States, please inquire.)
- Signature® is a registered trademark of NCI Building Systems.

★ ENERGY STAR® Qualified Color through our ENERGY STAR® partners, MBCI.

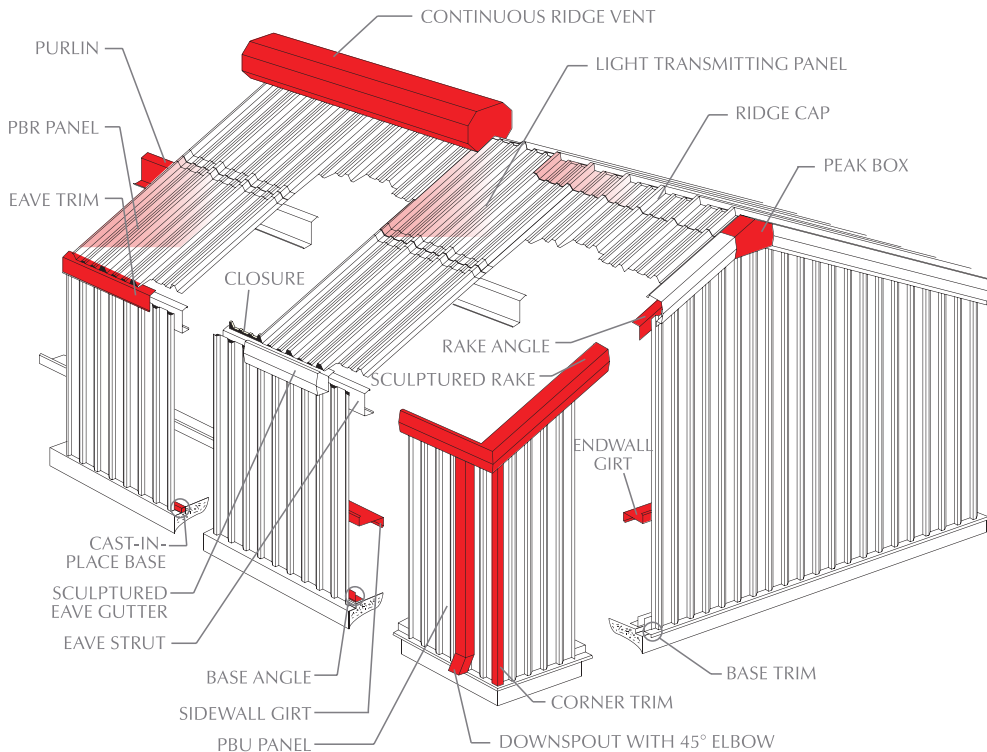
\* This color is California Title 24 compliant. Availability in certain areas may be restricted or require a surcharge.

† Polar White is a Straight Polyester.



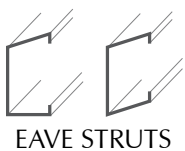
PRODUCT Selection Chart												
Profile	Panel	29 GAUGE		26 GAUGE			24 GAUGE			22 GAUGE		
		Galvalume Plus®	Sig 200 (Liner Only)	Galvalume Plus®	Sig 200	Sig 300	Galvalume Plus®	Sig 200	Sig 300	Galvalume Plus®	Sig 200	Sig 300
<p>"PBR" PANEL</p>	PBR	●	■	●	●	●	●	■	■	●	■	■
<p>"PBU" PANEL</p>	PBU	●	■	●	●	●	●	■	■	●	■	■
<p>"PBC" PANEL</p>	PBC	●	■	●	●	●	●	■	■	●	■	■
<p>"PBD" PANEL</p>	PBD	●	■	●	●	●	●	■	■	●	■	■
<p>"AVP" PANEL</p>	AVP	●	■	●	●	●	●	■	■	●	■	■

● Available in any quantity, no minimum required. ■ May require minimum quantity



## Available Accessories

- Hat and Channel Sections
- Light Transmitting Panels
- Vents
- Roof Jacks
- Fasteners
- Ridge Caps
- Closures
- Doors
- Windows
- Sealants
- Insulation
- Bracing
- Bolts
- Sliding Door Hardware
- Windows
- Sealants
- Insulation
- Bracing
- Bolts
- Sliding Door Hardware



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**S-05-18      2-Lot Subdivision – 8 Green Acres**

**Request:**

Wendy S. Pelletier, LLS, on behalf of owners Joshua and Leanna Hamlin proposes a 2-lot subdivision. This proposal would subdivide the existing 0.58 acre lot, parcel # 521// 002/000 000/000 into one 13,855 SF and another 11,326 SF lot. The site is located in the Low Density zoning district approximately 1 ½ miles north of downtown Keene just east of Court Street and the Cheshire Medical Center.

**Background:**

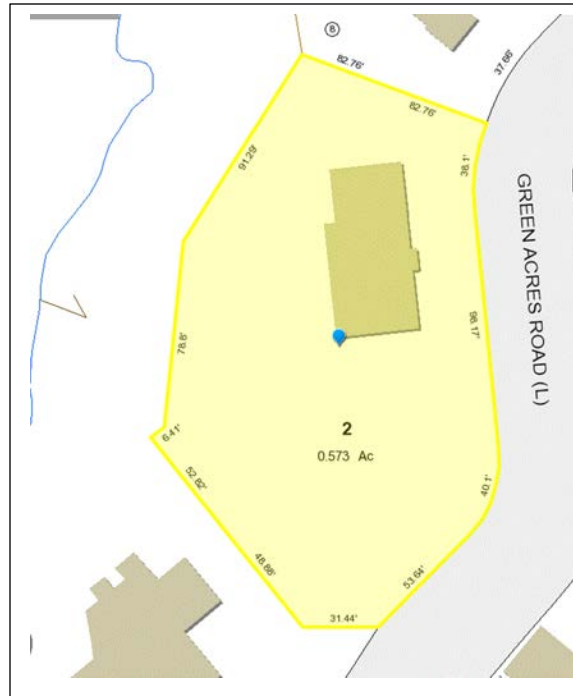
The neighborhood is composed of modest homes and is served by City water and sewer. The parcel is forested and adjacent to the Ashuelot River but is not within the 100-year floodplain. The rear and western portion of the parcel has a sloping bank down toward the river; this area contains both precautionary and prohibitive slopes. There is, however, sufficient square footage for an adequate subdivision into two, developable parcels. The proposed new parcel's narrowest side is on Elm Street. Being a corner lot, this will be the location of any future driveway.

**Completeness:**

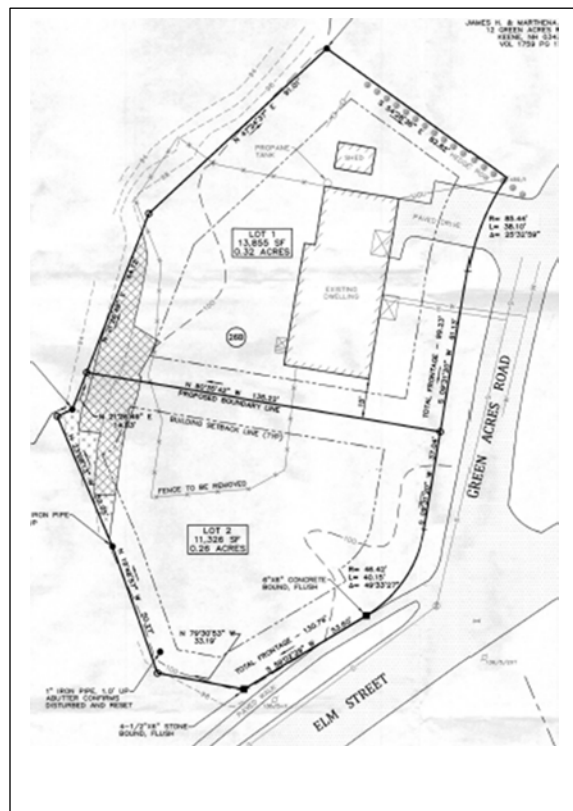
The Applicant has supplied two drawings:

1. Sheet 1 of 2 “ Subdivision Plan”, Lot 521-002-000, 8 Green Acres Road, Scale 1” = 20’, dated July 20 2018, received July 20, 2018
2. Sheet 2 of 2 “Topographic Subdivision Plan”, Lot 521-002-000, 8 Green Acres Road, Scale 1” = 20’, dated July 20 2018, received July 20, 2018

In addition, the Applicant has requested site-specific exemptions from the Existing and Proposed Conditions Plan requirements due to



**Figure 1: 8 Green Acres - Existing Parcel in Yellow**



**Figure 2: 8 Green Acres - Subdivided Parcel w/ Slopes**

there being no development proposed at this time. After reviewing the requested exemptions, staff recommends that the Board grant the request and open the public hearing for **S-05-18**.

**Departmental Comments:** There were no comments or concerns from the Engineering, Police or Fire Department

**Application Analysis - Development Standards:** The following is a review of the Board's relevant standards which are relevant to the proposed application:

**Hillside Protection:** While no hillsides are proposed to be disturbed as part of this subdivision, both of the proposed lots have precautionary and prohibitive slopes. Per *Article 12. 102-1402 Hillside Protection* of Keene's Municipal Code, approximately 800 SF of precautionary and prohibitive slopes were calculated by staff from the supplied site plan for the new parcel. This leaves approximately 10,526 SF which meets the minimum (10,000 SF) lot area for the Low Density zoning district. Applicant has met this standard.

**NOTE - Driveways:** The existing driveway will remain with the existing home. A new driveway would need to meet the City's Code Section 70-135, which establishes construction standards and requirements.

**RECOMMENDATION FOR APPLICATION:**

*If the Board is inclined to approve the Application, the following motion is recommended:*

*Approve S-05-18, as shown on the plans identified as "Subdivision Plan and Topographic Subdivision Plan", sheets 1 and 2 for Lot 521-002-000, 8 Green Acres Road, prepared by Wendy S. Pelletier. LLS, Scale 1" = 20', dated July 20 2018, received July 20, 2018 with the following conditions:*

- 1. Owner's signature on plan prior to approval.*

# CITY OF KEENE | PLANNING BOARD

## SUBDIVISION APPLICATION



*This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.*

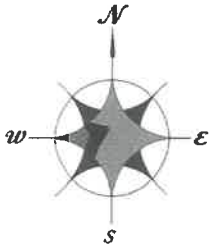
<b>A</b> Project Name: Subdivision 8 Green Acres Road	Date Received/Date of Submission:	
	Date of pre-application meeting: Date Application is Complete: Planning Department File #: <i>S-05-18</i>	
Tax Map Parcel number(s) 521-002-000	RECEIVED JUL 20 2018 By:	
Project Address: 8 Green Acres Road	Owner	Name: Joshua & Leanna Hamlin
Address: 8 Green Acres Road		Address: 8 Green Acres Road
Acreeage/S.F. of Parcel: 0.58 / 25,181	Applicant	Telephone/E-mail: jhamlin@hamlinagency.com
Zoning District: Low Density		Signature: <i>[Signature]</i> <i>Leanna Hamlin</i>
		Name: Cardinal Surveying & Land Planning, Wendy Pelletier
		Address: 127 Washington Street, Keene
		Telephone/E-mail: 499-6151, wendy@cardinalsurveying.net
		Signature: <i>[Signature]</i> <i>Wendy Pelletier</i> 7-20-18

### B Descriptive Narrative Including

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development               | <input checked="" type="checkbox"/> Sedimentation Control                            | <input checked="" type="checkbox"/> Scope/scale of development                   |
| <input checked="" type="checkbox"/> Proposed uses                     | <input checked="" type="checkbox"/> Vegetation                                       | <input checked="" type="checkbox"/> Parcel size                                  |
| <input checked="" type="checkbox"/> Location of access points         | <input checked="" type="checkbox"/> Debris management                                | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris |  |

### C A complete application must include the following

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Two (2) copies of completed application forms signed & dated | <input checked="" type="checkbox"/> Plans stamped/signed by reg. professional   |
| <input checked="" type="checkbox"/> Two (2) copies of descriptive narrative                      | <input checked="" type="checkbox"/> Two (2) copies on 11" x 17"   |
| <input checked="" type="checkbox"/> Notarized list of all owners of property within 200'         | <input checked="" type="checkbox"/> Three (3) copies of all technical reports   |
| <input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter                  | <input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing, mailing notices out to abutters |
| <input checked="" type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36")      |   |



## CARDINAL SURVEYING AND LAND PLANNING, LLC

127 Washington Street  
Keene, NH 03431  
(603) 209-1989  
[www.cardinalsurveying.net](http://www.cardinalsurveying.net)  
*"Know Your Boundaries"*

July 19, 2018

8 Green Acres Road  
TM 521-002-000  
2 Lot Subdivision

### Project Narrative

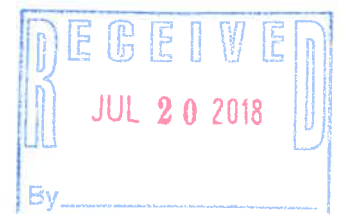
Map 520-002-000 is a 0.58 acre lot on the west side of Green Acres Road at the intersection of Elm Street. The lot contains one residential dwelling.

The lot is in the low-density district. The neighborhood is comprised of modest single family homes.

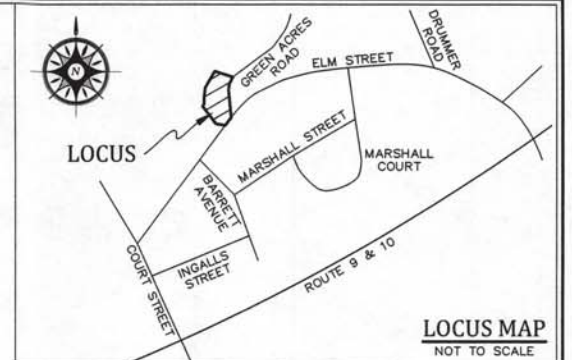
This is a proposed residential 2 lot subdivision. The existing dwelling will be on an 13,855 s.f. lot with frontage on Green Acres Road. The second lot will be lot of 11,326 s.f. with frontage on Green Acres Road and Elm Street. There are not wetlands or surface water on the lot. There is a banking that runs across the rear of the lot with a small area of prohibitive and precautionary slopes. Proposed lot 1 has 13,528 s.f. of usable area and lot 2 has 10,683 s.f. of usable area

The existing dwelling is connected to City sewer and water. A new dwelling will be connected to City utilities as well. The elevation of the house is such that it should not need a sewer pump.

There is no building proposed at this time. The requirements for a driveway, drainage, erosion control, stump and debris management are noted in the general notes and will be addressed at the time building permits are applied for.



S-05-18



521-001-000  
 ROBERT S. & JUDITH F. PERRY  
 REVOCABLE FAMILY TRUST  
 515 ELM STREET  
 KEENE, NH 03431  
 VOL 2884 PG 874

515-007-000  
 JAMES H. & MARTHERNA F. KEEFE  
 12 GREEN ACRES ROAD  
 KEENE, NH 03431  
 VOL 1759 PG 17

521-003-000  
 MATTHEW G. & LYNN M. CLARK  
 11 GREEN ACRES ROAD  
 KEENE, NH 03431  
 VOL 2918 PG 308

521-033-000  
 ABBIE M. OLSON  
 502 ELM STREET  
 KEENE, NH 03431  
 VOL 2721 PG 671

521-034-000  
 RICHARD L. & KAREN G. BRUSON  
 48 LONG HILL ROAD  
 HOLLIS, NH 03049  
 VOL 1686 PG 705

**REFERENCE PLANS**

- 1) "PROPERTY OF LLOYD F. & M. JANICE HAYN, KEENE, NEW HAMPSHIRE", PREPARED BY R.K. PIPER; DATED AUGUST 1975 AND APRIL 1979; SCALE 1"=20'; ON FILE AT THE CITY OF KEENE DEPARTMENT OF PUBLIC WORKS.
- 2) "GREEN ACRES, KEENE, N.H."; PREPARED BY D.R. CHAPLIN; DATED APRIL 1950; SCALE 1"=50'; ON FILE AT THE CITY OF KEENE DEPARTMENT OF PUBLIC WORKS.

**PLAN SET**

SHEET 1/2 SUBDIVISION PLAN  
 TO BE RECORDED AT CHESHIRE COUNTY REGISTRY OF DEEDS.  
 SHEET 2/2 TOPOGRAPHIC SUBDIVISION PLAN  
 TO REMAIN ON FILE AT THE TOWN OFFICE.

APPROVED AS A SUBDIVISION  
 IN ACCORDANCE WITH THE PROVISIONS OF RSA 674.  
 THE CITY OF KEENE PLANNING BOARD  
 BY \_\_\_\_\_, CHAIRMAN

**SURVEYOR'S CERTIFICATION**

THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN URBAN SURVEY AS SPECIFIED IN NH LAN 500.1.  
 I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

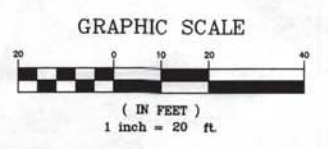


**OWNERS CERTIFICATION**

WE, JOSHUA A. AND LEANNA B. HAMLIN, CERTIFY THAT WE ARE THE OWNERS OF LOT 521-002-000, AND APPROVE OF THIS SUBDIVISION.

JOSHUA A. HAMLIN  
 LEANNA B. HAMLIN

- LEGEND**
- PIN FOUND
  - MONUMENT FOUND
  - REBAR SET
  - UTILITY POLE
  - GUY ANCHOR
  - WATER VALVE
  - SEWER MANHOLE
  - WOOD FENCE
  - WIRE FENCE
  - APPROXIMATE ABUTTER LINE
  - BUILDING SETBACK LINE
  - APPROX. UNDERGROUND UTILITIES
  - APPROX. WATER LINE
  - APPROX. SEWER LINE

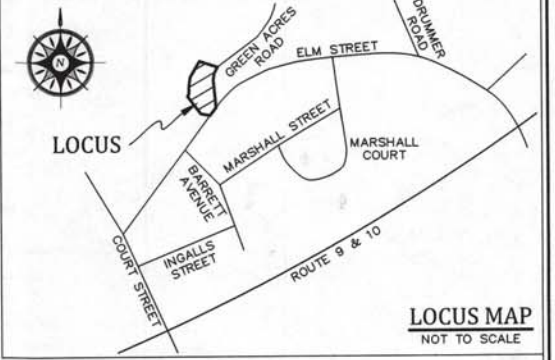


**NOTES**

- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 521-002-000 INTO TWO RESIDENTIAL LOTS.
- 2) OWNERS OF RECORD: JOSHUA A. & LEANNA B. HAMLIN, 8 GREEN ACRES ROAD, KEENE, NH 03431, VOLUME 2716 PAGE 803
- 3) EXISTING AREA OF LOT 521-002-000: 25,181 SF OR 0.58 ACRES  
 PROPOSED AREA OF LOT 1: 13,855 SF OR 0.32 ACRES  
 PROPOSED AREA OF LOT 2: 11,326 SF OR 0.26 ACRES
- 4) MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
- 5) CURRENT ZONING: LOW DENSITY DISTRICT  
 MIN. LOT AREA - 10,000 SF  
 MIN. FRONTAGE - 60 FEET  
 MIN. WIDTH AT BUILDING LINE - 70 FEET  
 SETBACKS:  
 THE NARROWER SIDE OF A CORNER LOT IS CONSIDERED THE FRONT. STREET SIDE SETBACK IS THE SIDE SETBACK PLUS 10'.  
 FRONT - 15 FEET  
 SIDE - 10 FEET  
 REAR - 20 FEET
- 6) THE RIGHT OF WAY OF ELM STREET WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 3 RODS WIDE (49.5') BASED ON THE WIDENING OF OCTOBER 31, 1888 RECORDED IN VOLUME 1 PAGE 320 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
- 7) THE RIGHT OF WAY OF GREEN ACRES ROAD WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND THE CENTERLINE OF EXISTING TRAVELED WAY AND IS SHOWN TO BE 44 FEET WIDE BASED ON VOLUME 562 PAGE 395, RECORDED AT CORD.
- 8) LOT 521-002-000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
- 9) WORK PERFORMED WITHIN THE PRECAUTIONARY AND PROHIBITIVE SLOPE AREAS SHALL CONFORM TO THE CITY OF KEENE HILLSIDE PROTECTION ORDINANCE.
- 10) THE PROPOSED DRIVEWAY WILL BE CONSTRUCTED IN ACCORDANCE WITH CITY DRIVEWAY STANDARDS. A PERMIT SHALL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY EXCAVATION WITHIN THE CITY RIGHT OF WAY. THE CITY ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS MINIMUM IN ADVANCE TO INSPECT THE DRIVEWAY.
- 11) ALL NECESSARY PERMITS WILL BE OBTAINED FROM CITY OF KEENE PUBLIC WORKS DEPARTMENT FOR SEWER AND WATER CONNECTIONS. PRIVATE ON-SITE SEWER EJECTOR PUMPS MAY BE NEEDED TO ACCESS CITY SEWER LINES.
- 12) ON-SITE BURIAL OF STUMPS FROM LAND CLEARING SHALL BE IN ACCORDANCE WITH RSA 14-M:1. STUMP BURIAL SHALL NOT BE WITHIN 75' OF ANY PUBLIC OR PRIVATE WATER SYSTEM. THE BUREAU OF SOLID WASTE SHALL BE NOTIFIED OF ANY INTENT TO BURY STUMPS.
- 13) GRADING OF THE PROPOSED HOUSE SITES SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KEENE DEVELOPMENT STANDARDS.
- 14) THE PARCEL MAY BE SUBJECT TO OTHER EASEMENTS AS THEY EXIST OF RECORD OR IN FACT. CARDINAL SURVEYING AND LAND PLANNING DOES NOT INTEND OR REPRESENT THAT ALL RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN. A SPECIFIC TITLE EXAMINATION IS SUGGESTED TO DETERMINE THE NATURE AND EXTENT OF RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY.
- 15) THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING & LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.

NO.	DATE	REVISION	BY

**SUBDIVISION PLAN**  
 LOT 521-002-000  
 8 GREEN ACRES ROAD  
 KEENE, NH 03431  
 DATE: JULY 20, 2018 SCALE: 1"=20'  
 PREPARED FOR:  
 JOSHUA A. & LEANNA B. HAMLIN  
 8 GREEN ACRES ROAD  
 KEENE, NH 03431  
 CARDINAL SURVEYING & LAND PLANNING  
 Keene, New Hampshire 03431  
 Tel. (603) 499-6151 SHT 1/2



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REAR - 20 FEET
- 6) THE RIGHT OF WAY OF ELM STREET WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 3 RODS WIDE (49.5') BASED ON THE WIDENING OF OCTOBER 31, 1888 RECORDED IN VOLUME 1 PAGE 320 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
- 7) THE RIGHT OF WAY OF GREEN ACRES ROAD WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND THE CENTERLINE OF EXISTING TRAVELED WAY AND IS SHOWN TO BE 44 FEET WIDE BASED ON VOLUME 562 PAGE 395, RECORDED AT CCRD.
- 8) ELEVATIONS ARE BASED ON AN ASSUMED DATUM. CONTOUR INTERVAL IS 2 FEET.
- 9) NO JURISDICTIONAL WETLANDS WERE OBSERVED.
- 10) LOT 521-002-000 IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
- 11) SOIL INFORMATION IS BASED ON THE SOIL SURVEY OF CHESHIRE COUNTY, NEW HAMPSHIRE PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE. WORK PERFORMED WITHIN THE PRECAUTIONARY AND PROHIBITIVE SLOPE AREAS SHALL CONFORM TO THE CITY OF KEENE HILLSIDE PROTECTION ORDINANCE.
- 12) WORK PERFORMED WITHIN THE PRECAUTIONARY AND PROHIBITIVE SLOPE AREAS SHALL CONFORM TO THE CITY OF KEENE HILLSIDE PROTECTION ORDINANCE.
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- 18) THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING & LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.

**PLAN SET**

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SHEET 2/2 TOPOGRAPHIC SUBDIVISION PLAN TO REMAIN ON FILE AT THE TOWN OFFICE.

APPROVED AS A SUBDIVISION IN ACCORDANCE WITH THE PROVISIONS OF RSA 674. THE CITY OF KEENE PLANNING BOARD  
BY \_\_\_\_\_ CHAIRMAN

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I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

**OWNERS CERTIFICATION**

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JOSHUA A. HAMLIN  
LEANNA B. HAMLIN



NO.	DATE	REVISION	BY

**TOPOGRAPHIC SUBDIVISION PLAN**

LOT 521-002-000  
8 GREEN ACRES ROAD  
KEENE, NH 03431  
DATE: JULY 20, 2018 SCALE: 1"=20'  
PREPARED FOR:  
JOSHUA A. & LEANNA B. HAMLIN  
8 GREEN ACRES ROAD  
KEENE, NH 03431  
CARDINAL SURVEYING & LAND PLANNING  
Keene, New Hampshire 03431  
Tel. (603) 499-6151 SHT 2/2

**LOT AREA CALCULATIONS**

LOT 1	EXISTING:	13,855 S.F. OR 0.32 ACRES
	50% OF PRECAUTIONARY SLOPES:	- 305 S.F.
	PROHIBITIVE SLOPES:	- 22 S.F.
	USABLE AREA:	13,528 S.F. OR ACRES
LOT 2	EXISTING:	11,326 S.F. OR 0.26 ACRES
	50% OF PRECAUTIONARY SLOPES:	- 293 S.F.
	PROHIBITIVE SLOPES:	- 350 S.F.
	USABLE AREA:	10,683 S.F. OR ACRES

**SOILS LEGEND**

26B - WINDSOR LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES

**LEGEND**

- - PIN FOUND
- - MONUMENT FOUND
- - REBAR SET
- - UTILITY POLE
- - GUY ANCHOR
- - WATER VALVE
- - SEWER MANHOLE
- - WOOD FENCE
- - WIRE FENCE
- - - - - EXISTING CONTOUR LINE
- - - - - APPROXIMATE ABUTTER LINE
- - - - - BUILDING SETBACK LINE
- - - - - APPROX. UNDERGROUND UTILITIES
- - - - - APPROX. WATER LINE
- - - - - APPROX. SEWER LINE
- ▨ - PROHIBITIVE SLOPES
- ▨ - PRECAUTIONARY SLOPES

