



AGENDA

Joint Planning Board and Planning, Licenses & Development Committee

Monday, December 9, 2019

6:30 PM

Council Chambers

1. Roll Call
2. Approval of Meeting Minutes – November 12, 2019
3. Presentation on Downtown Zoning Update Draft Ordinance from the consulting firm, Camiros, and City Community Development Staff
4. Next Meeting – Monday, January 13, 2020
5. Adjourn

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CITY OF KEENE
NEW HAMPSHIRE

JOINT PUBLIC WORKSHOP
PLANNING BOARD/
PLANNING, LICENSES, AND DEVELOPMENT COMMITTEE
MEETING MINUTES

Tuesday, November 12, 2019, 2019

6:30 PM

Council Chambers

Planning Board Members Present

Douglas Barrett, Chairman
Gary Spykman
Councilor George Hansel
Martha Landry
Mayor Kendall Lane
Tammy Adams, Alternate

**Planning, Licenses and Development
Committee Members Present**

David Richards, Chairman
Councilor Philip Jones
Councilor Kate Bosely
Councilor Robert O'Connor
Councilor George Hansel

Planning Board Members Not Present

Chris Cusack, Vice-Chair
Michael Burke
Pamela Russell Slack
Andrew Weglinski

**Planning, Licenses and Development
Committee Members Not Present**

Staff Present

Rhett Lamb, Community Development Director
Tara Kessler, Senior Planner

1. Roll Call

Chair Richards called the meeting to order at 6:30 pm and a roll call was taken.

2. October 15, 2019 meeting minutes

A motion was made by Mayor Kendall Lane that the Joint Committee accept the October 15, 2019 meeting minutes as amended. The motion was seconded by Councilor Phil Jones and was unanimously approved.

3. Continued Public Workshop

Ordinances – O-2019-13 and O-2019-14 – Relating to Social Service and Congregate Living

Uses. Petitioner, City of Keene, proposes changes to Chapter 102 – Zoning, Chapter 46 – Licenses and Permits, Chapter 18 – Building Regulations, and Appendix B – Fee Schedule of the City Code of Ordinances. The amendments proposed include the introduction of land uses categorized broadly as Social Service and Congregate Living uses as well as a conditional use permit and City operating license for some of these uses.

Senior Planner, Tara Kessler stated she was going to start the presentation with some of the edits that were suggested at the last meeting as well as additional edits staff is proposing to the draft ordinances based on feedback received from the public and the Committee members.

Currently, there are a number of uses not included in the zoning ordinance and the reason for introducing these new uses is to provide opportunity for these uses to occur in the city. Ms. Kessler then went over the existing definition and proposed definition for Social Service Center. She noted there was a question about characterizing social service centers as a nonprofit or charitable institution and staff is proposing to strike out this designation.

Staff is still proposing to remove the requirement for abutter notice for the proposed annual operating license but abutter notice will still be required for the conditional use permit. Staff is also proposing to remove the annual operating license fee of \$200. Councilor Jones asked for clarification on the abutter notice and whether this was for the initial application for the conditional use permit or for all following. Ms. Kessler stated staff's proposal is just for the initial application for the conditional use permit.

Ms. Kessler noted that staff received feedback from some Committee members and the public that the initial conditional use permit criteria was too broad and subjective. Staff have proposed edits to remove the first standard, which stated "The proposed use will not have a significant adverse impact on the general welfare, safety, and health of the neighborhood or community, including that of the client population being served by such uses." There was concern that the term "health" could be interpreted too broadly and is not measurable. Staff proposed the following edits to the second bullet, which states "The proposed use is compatible with the character of the surrounding area in terms of operational characteristics including hours of operation, outdoor lighting, noise, and traffic generation."

The following are working edits to the conditional use permit criteria proposed by staff:

- The proposed use is compatible with the character of the surrounding area in terms of operational characteristics including the following.
 - Proposed hours of operations.
 - Outdoor lighting, which shall comply with the Planning Board's Lighting Standard.
 - Proposed noise levels
 - Anticipated traffic generation
- The proposed use is located in proximity to pedestrian facilities (e.g. multiuse trails and sidewalks) and public transportation.
- All development, redevelopment, additions, and renovations in a residential zoning district shall maintain the look and feel of a residential zone or area.
- No parking and/or paving, except driveways, is permitted in the front setback or the area from the front lot line to the building front, whichever is greater. A 4' high fence and/or landscape screen between all paving/driveways/parking and directly abutting residential property.
- When a use is located directly adjacent to a residential zoning district there shall be:
 - A continuous solid screen at least 6' high along property line(s) directly abutting residential zoning districts.
 - A building setback of 50' from property line(s) directly abutting residential zoning districts.

Staff is suggesting edits that focus on operational characteristics such as hours of operation, lighting, noise and traffic generation. Ms. Kessler noted that there should be balance between crafting standards that are so specific they cannot be applied to a variety of sites/projects, and standards that are so broad they require too much subjective interpretation. Ms. Kessler added it is difficult for instance to prescribe hours of operation because of the various zones a certain use

could be located (commerce versus residential neighborhood). For an item such as lighting, staff is recommending using the Planning Board standards.

With reference to “Proximity to Pedestrian Facilities,” Ms. Kessler noted that there had been testimony at a previous public workshop that instead of imposing criteria of what should not occur, there should be criteria for what should occur, such as centrally locating these proposed uses. Ms. Kessler asked for committee feedback on this.

For some of the uses, such as group home and residential care facility, which could be located in a residential area, there is a requirement that they maintain the look and feel of a residential structure if located in a residential neighborhood.

Staff have proposed criteria to reduce the impacts of parking lots on a residential area by requiring setbacks and screening. The current standard that exists in the Office District is that there needs to be a four-foot high fence or landscape along parking areas abutting residential properties. At the prior meeting there was comment received that not allowing some of these uses to be located directly adjacent to a residential zoning district is too restrictive. Hence, staff is suggesting a fence or a solid screen and/or a 50-foot setback from the property line around the perimeter when a use is located directly adjacent to a residential zoning district.

Ms. Kessler stated the City will be introducing new zoning subdistricts for the Downtown. These proposed uses will be associated with some of these proposed subdistricts. The conversation about where these uses would be allowed in the City will be included with the Downtown Zoning Update. Staff are recommending that the public workshop on this topic be continued to the January 13, 2020 meeting. There will be information sessions and community workshops in mid November and early December on the proposed Downtown Zoning Update, which the public is encouraged to attend. These dates are listed below and more info is available on www.keenebuildingbetter.com.

Building Together/Downtown Zoning Update Events:
Info Sessions on November 19&20
Joint Committee Presentation – December 9
Open Studio – December 10
Community Workshop – December 10

Mayor Lane stated in the conditional use permit under the general criteria there is nothing that indicates anything about specifics as it relates to things like hours of operation, parking etc. Ms. Kessler stated that bullet is meant to be replaced by the second slide which outlines the specific criteria. As far hours of operation, the Planning Board would look at whether the hours of operation are compatible with the hours of operation for a particular neighborhood. Mr. Lamb suggested adding the term neighborhood activity level to this criteria to accommodate residential setting. Mr. Lamb reminded the committee this is a zoning ordinance not Planning Board standards that are being applied and added some form of judgment is going to be required on part of the body handling the application.

Councilor Jones asked for clarification between the term “uses” and “licenses”. Ms. Kessler stated all but two uses will require an annual license issued by the Community Development Director and all but two uses will require a conditional use permit issued by the Planning Board. A conditional use permit will require abutter notification. The Councilor asked whether a license was revocable – Mr. Lamb answered in the affirmative.

Mr. Spykman asked for clarification whether any other zoning requires the buffer and or setback as is being proposed here. Mr. Lamb stated the best example he could provide would be with Key Collision on lower Winchester Street, which is in the industrial district and is an industrial use that directly abuts a residential district and an additional setback in addition to the requirement was required for this site. The normal industrial setback back is about 15 feet but because of the activity an additional setback was required.

Councilor Hansel asked whether the requirement was that a 6-foot fence and a 50 foot setback was required. Ms. Kessler stated staff is struggling with whether to apply either. Mr. Lamb felt it should be “or”.

Councilor Bosely stated she appreciates the extra effort that is being put into creating the criteria and felt taking some of the subjectiveness out of the conversation was important, which will help the Body approving these applications as well as the applicant making the request, especially because individuals on these Boards and Committees are going to change. She felt having specific criteria was important.

Chair Richards opened the session to public comment.

Mr. Steven Bragdon of 51 Railroad Street stated when he looks at these changes to the Conditional Use Permit criteria it appears as if this would allow for these uses to occur if an applicant meets these criteria. It removes any opportunity for the discretion of a Board. If someone was to screen, set it back and put some lighting on it, you can do what you want. He stated this is not what a zoning ordinance should be and there needs to be some discretion to prevent things that are not good for the community or for a neighborhood to be turned down, and noted he does not see that here.

Mr. Peter Mumma, President of Phoenix House addressed the committee and began by thanking the committee. He felt good fences make good neighbors and asked for a minimum of six feet for a fence to consider abutter needs.

Mr. Peter Espiefs of School Street was the next speaker and asked why the city would not create a dormitory type of arrangement in some part of the city. He indicated as he has stated in the past the city has all kinds of buildings in Ward 1 – Roxbury Street to Marlboro Street that could be used for these types of facilities instead of placing the proposed housing in various neighborhoods. Mr. Espiefs pointed out the services these individuals need also lie in the area he referred to.

A motion was made by Mayor Kendall Lane to continue the workshop to January 13, 2020. The motion was seconded by Phil Jones and was unanimously approved.

Ms. Kessler stated the draft ordinance will be released on Tuesday, November 19, 2019. On November 19 and 20 there will be two info sessions from 6:30 pm to 8 pm in Council Chambers. There will be a presentation from the consultant on December 9, 2019. On December 10 at the empty store front space on Main Street (former Brown Computer Solutions site) there would be the opportunity for people to stop in and ask questions from staff and the consultant. This culminates with a community workshop at 6:30 pm on the same day. All items are available on keenebuildingtogether.com. Ms. Kessler noted 5,000 flyers have been circulated advertising the upcoming sessions and workshops.

Mr. Spykman encouraged everyone to share these sessions on social media.

4. Next Meeting – Monday, December 9, 2019

5. Adjourn

The meeting adjourned at 7:05 pm.

Respectfully submitted,

Krishni Pahl,
Minute Taker

Reviewed and submitted by Tara Kessler, Senior Planner.

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X.X DT DOWNTOWN

A. Purpose

The DT Downtown Zoning District carries out the policies of the City of Keene Comprehensive Master Plan by providing development standards for downtown that maintain and strengthen the unique character of the area, while also encouraging creativity and innovation in the design of new structures. More specifically, the DT District is intended to:

1. Provide a series of standards allowing for the orderly growth and development of downtown Keene in a manner that respects and enhances the City's unique identity.
2. Allow for new development that is creative, innovative, and sustainable, and that reinforces the vibrancy, human scale, and pedestrian-orientation of downtown.
3. Ensure that development remains sensitive to surrounding community context, form, and use.

B. DT Subdistricts

1. Subdistricts Established

The DT District is intended to accommodate the unique development environment within downtown Keene. To facilitate development that reinforces and enhances existing varied character areas, and encourages creative, innovative development within downtown, the DT District is divided into five sub-districts that include tailored dimensional, design, and use standards related to their specific contexts. These sub-districts are:

a. DT-C: Downtown Core Subdistrict

The DT-C Subdistrict is the heart of downtown Keene, accommodating the highest intensity of development. The Subdistrict is intended to accommodate a rich mix of commercial, residential, civic, cultural, and open space uses in a highly

walkable, vertically and horizontally mixed-use environment.

b. DT-G: Downtown Growth Subdistrict

The DT-G Subdistrict accommodates the reuse of existing structures within downtown Keene, as well as new construction of significant size. It is intended to provide the flexibility needed to create a mixed-use environment suitable for commercial, residential, civic, cultural, and open space uses in areas of downtown where growth is desired, with standards for new construction and infill that complement the walkable, urban form of Keene's downtown.

c. DT-E: Downtown Edge Subdistrict

The DT-E Subdistrict provides for a heterogeneous mix of commercial and residential uses and varied development forms including areas of both walkable development as well as more auto-oriented development at the edges of downtown Keene. Uses permitted in the DT-E Subdistrict span multifamily and duplex residential, to office, to motor vehicle dealerships, reflecting the varied forms and uses present at the edges of downtown. The subdistrict accommodates this rich mixture, while providing for a transition into lower intensity commercial or residential development outside of the delineated downtown area.

d. DT-L: Downtown Limited Subdistrict

The DT-L Subdistrict is intended to accommodate the unique development pattern exhibited in downtown Keene to the north of Central Square. The subdistrict accommodates a mixture of commercial, residential, civic and cultural uses in structures of a lower height, located close to the street.

e. DT-T: Downtown Transition Subdistrict

The DT-T Subdistrict is intended to accommodate a variety of residential, open space, and low intensity commercial uses in a mixed-use environment of attached and detached structures. Development within the DT-T Subdistrict is intended to complement and transition into existing residential neighborhoods adjacent to downtown Keene.

interfaces with the mixed-use, walkable fabric of downtown Keene.

f. DT-I: Downtown Institutional Campus Subdistrict

The DT-I Subdistrict accommodates the unique form of Keene State College as it

2. DT Subdistricts Map

The boundaries of the DT Subdistricts are established on the DT Subdistricts Map, as adopted and amended from time to time by the provisions of this ordinance. The map is included as Figure X-1 below.

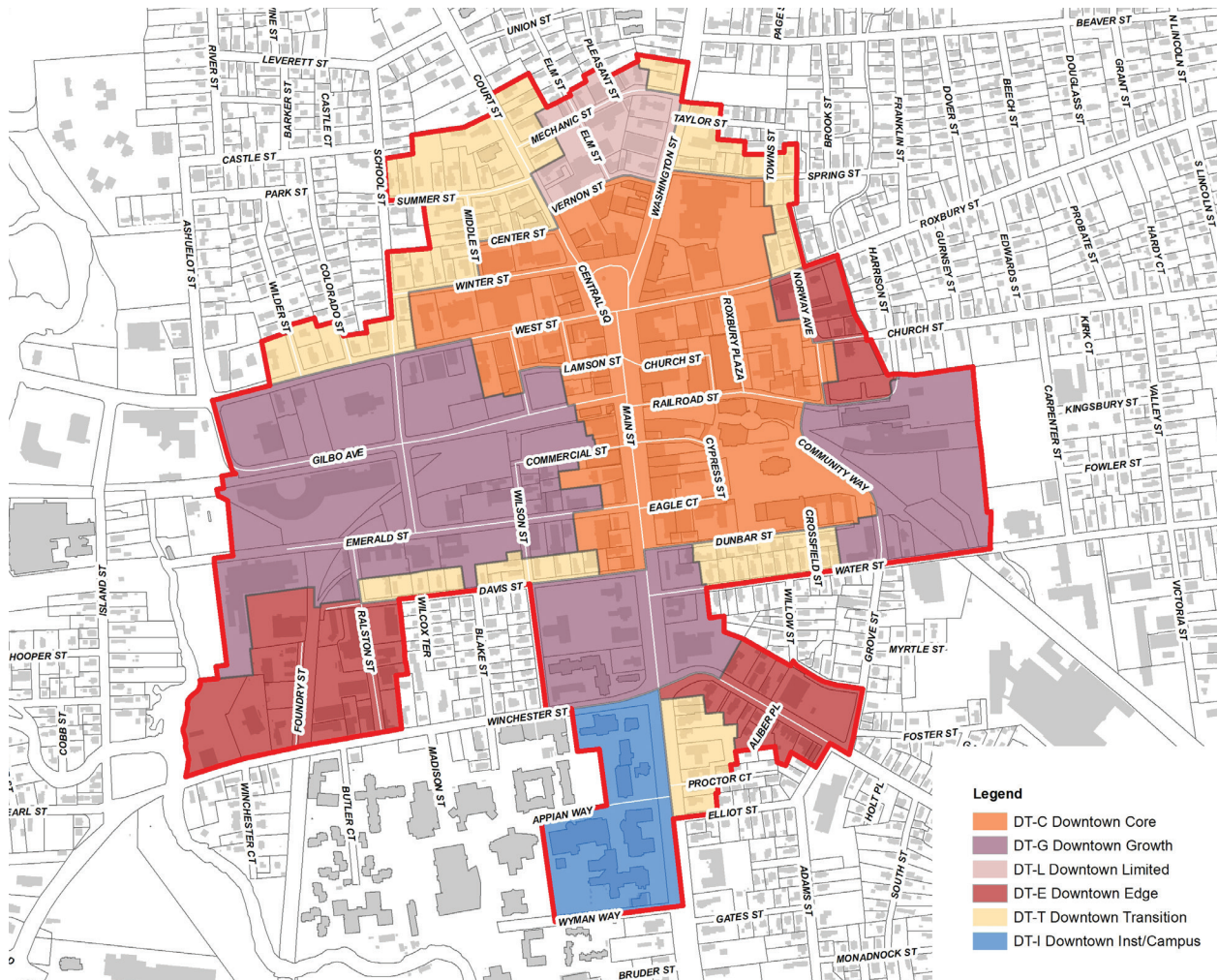


Figure X-1: DT Subdistricts Map

C. DT Street Types

In order to establish a rational hierarchy of design intensity and pedestrian orientation within downtown Keene, all existing and future streets and pedestrian rights-of-way located within the DT-C and DT-G Subdistricts as established by Figure X-1 are classified as Type A or Type B Streets.

1. Establishment of Street Types

- a. Type A Streets are those streets and/or pedestrian rights-of-way designated as suitable for the highest quality of design and controls on building placement to ensure a focus on pedestrian orientation. These streets are the spines of activity and vibrancy within downtown Keene.

- b. Type B Streets are all those streets and/or pedestrian rights-of-way within the DT-C and DT-G Subdistricts that are not classified as Type A Streets. Type B Streets allow for more flexibility in design and the placement of structures, as well as consideration of both walkability and the interface between building design and automobile transportation.

2. Street Types Map

An official Street Types Map, as adopted and amended from time to time by the provisions of this ordinance, is provided as Figure X-2 below.

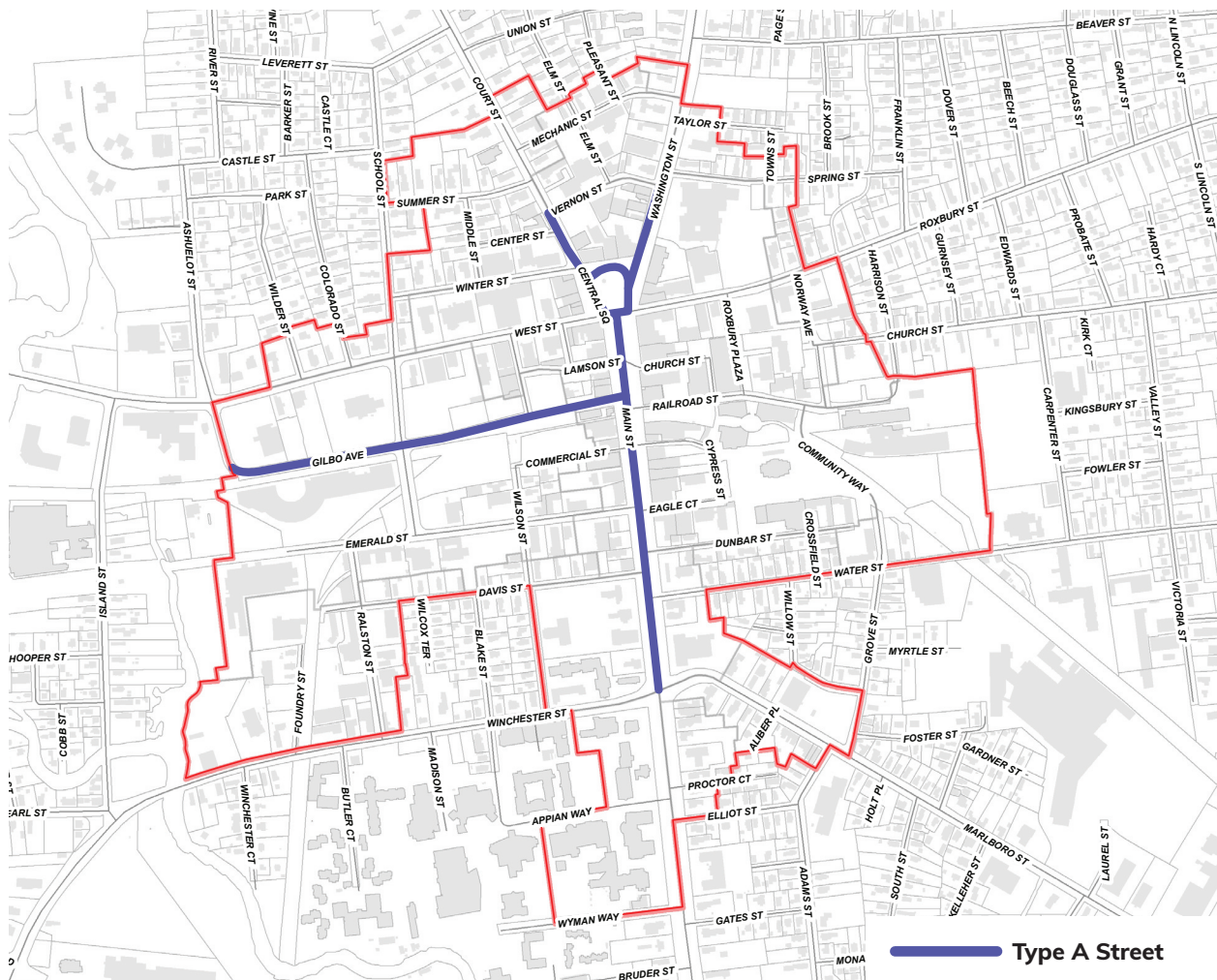


Figure X-2: DT Streets Map

D. Permitted Uses

1. Table X-1: DT Use Matrix identifies the principal and temporary uses allowed within the DT District.
2. A "P" within the table indicates that the use is permitted by-right in the subdistrict indicated.
3. An "SE" within the table indicates that the use is a special exception in the subdistrict indicated.
4. A "CUP" within the table indicates that the use requires a conditional use permit in the subdistrict indicated.
5. If a cell is blank, the use is not allowed in the subdistrict.

Table X-1: DT District Use Matrix

Residential Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Dwelling, Above the Ground Floor	P	P	P	P	P	
Dwelling, Accessory Dwelling Unit					P	
Dwelling, Multifamily	P	P	P	P	P	
Dwelling, Single Family (Detached)					P	
Dwelling, Two Family / Duplex			P	P	P	
Lodginghouse					CUP	
Manufactured Home						
Manufactured Home Community						
Commercial Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Entertainment/Recreation Facility - Indoor	P	P				P
Entertainment/Recreation Facility - Outdoor		P				P
Animal Care Facility		P	P	P		
Art Gallery	P	P	P	P	P	P
Art or Fitness Studio	P	P	P	P	P	P
Banking or Lending Institution	P	P	P	P		P
Bar	P	P				
Bed and Breakfast		P			P	
Broadcasting Facility - No Antennae	P	P	P	P	P	P

	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Broadcasting Facility - With Antennae						P
Car Wash			SE			
Clinic	P	P	P	P		
Contractor Office with Outdoor Storage						
Drive-Through Facility		SE	P			
Fueling Station						
Funeral Home		P	P	P	P	
Greenhouse/Nursery - Retail						
Health Center / Gym	P	P	P	P		
Heavy Rental and Service Establishment						
Heavy Retail Establishment						
Home Occupation	P	P	P	P	P	P
Hotel/Motel	P	P				P
Kennel						
Micro-Brewery/Micro-Distillery/Micro-Winery	P	P	P			
Mobile Food Vendor	P	P	P	P		P
Motor Vehicle Dealership			P			
Neighborhood Grocery Store	P	P	P	P		
Office	P	P	P	P	P	P
Personal Service Establishment (Better Def)	P	P	P	P	P	
Private Club/Lodge	P	P	P	P	SE	
Reception Facility (Event Venue)	P	P	P			
Research and Development (R&D)		P				P
Restaurant	P	P	P	P		P
Restaurant	P	P	P	P		P
Retail Goods Establishment	P	P	P	P		
Self Storage Facility - Indoor		SE	P			
Self Storage Facility - Outdoor						
Sexually Oriented Business						
Specialty Food Service	P	P	P	P		
Vehicle Rental Service			P			
Vehicle Repair Facility – Major						
Vehicle Repair Facility – Minor		P	P			

Institutional Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Cemetery						
Community Center	P	P	P	P		P
Cultural Facility	P	P	P	P	SE	P
Day Care Center	P	P	P	SE	SE	
Day Care Home	P	P	P	P	P	
Hospital						
Place of Worship	P	P	P	P	P	P
Private School	P	P	P			P
Congregate Living / Social Service Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Domestic Violence Shelter	P	P	P	P		
Drug Treatment Clinic		CUP				
Food Pantry	P	P	P	P		
Group Home					CUP	
Homeless Shelter		CUP				
Residential Care Facility	CUP	CUP	CUP	CUP		
Residential Drug/Alcohol Treatment Facility		CUP		CUP		
Social Service Center	CUP	CUP	CUP	CUP		CUP
Industrial Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Artisanal Production	P	P	P	SE		
Bulk storage & distribution of goods, including flammable materials						
Bulk storage & distribution, excluding flammable material						
Data Center		P	P	P		
Industrial, Heavy						
Industrial, Light		SE				
Outdoor Storage Yard						
Solar Farm (Better Term?)						
Vehicle Operation Facility						
Warehouse & Distribution						
Wholesale						
Wind Energy System						

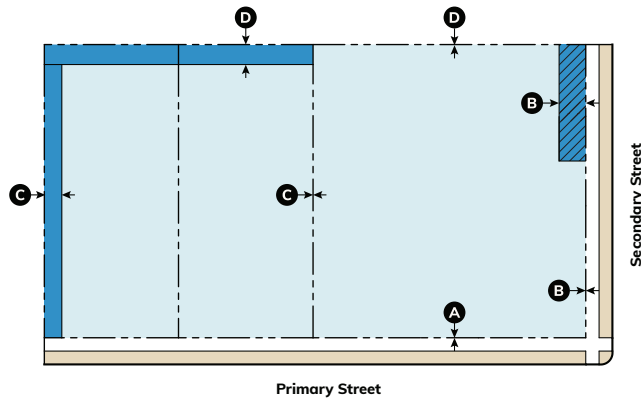
Transportation Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Parking Lot (Principal Use)		SE				P
Parking – Structured Facility (Principal Use)	P	P	P	P		P
Helipad						
Open Space Uses						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Community Garden	P	P	P	P	P	P
Conservation Area						
Country Club						
Golf Course/Driving Range						
Farming						
Gravel Pits						
Orchards and Vineyards						
Infrastructure						
	DT-C	DT-G	DT-E	DT-L	DT-T	DT-I
Utility (Includes Transmission & Distribution)						
Wireless Telecommunications						

E. Building Disposition and Form

The following standards address the physical characteristics of buildings, their disposition on the lot, their bulk and height, and the manner in which they interact with and contribute to the pedestrian environment. Standards are tailored to the character and context of each of the established DT Subdistricts.

1. DT-C Downtown Core Subdistrict

a. Dimensions and Siting

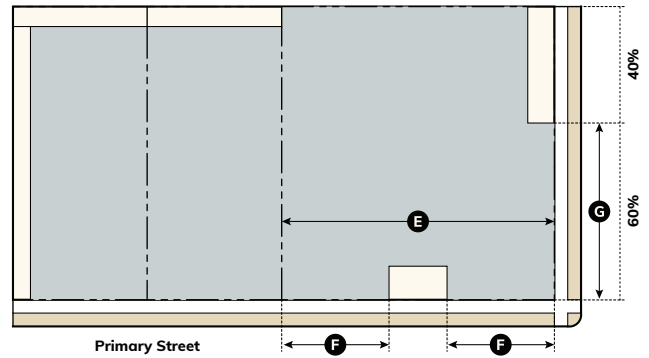


Dimensions and Siting

Minimum Lot Area	None
Minimum Lot Width	None
A Type A Street Setback ¹	0' Build-to Line
B Type B Street Setback ¹	0-10' Build-to Zone unless located on a corner lot with Type A Street frontage, then 0' Build-to Line
C Minimum Interior Side Setback	0', unless abutting residential district or DT-T subdistrict, then 15'
D Minimum Rear Setback	0', unless abutting residential district or DT-T subdistrict, then 15'

¹ When the front lot line intersects or overlaps with the right-of way line, the required build-to line or build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

b. Buildout

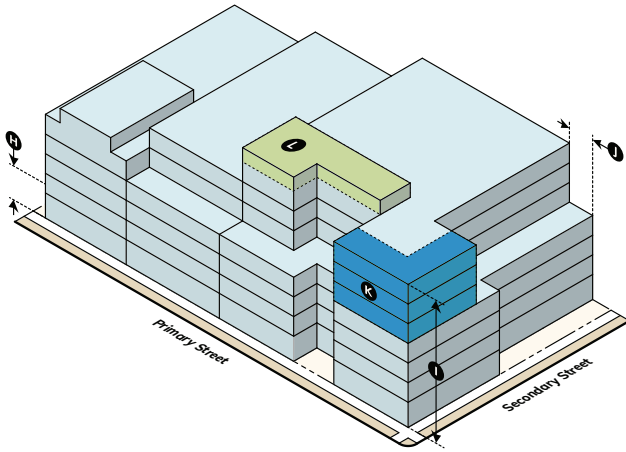


Buildout

E Maximum Building Length	250'
F Minimum Type A Street Build-to Percentage	80%
G Minimum Type B Street Build-to Percentage ¹	60%

¹ When a corner lot also has frontage on a Type A Street, minimum build-to percentage is calculated as the first 60% of total building length measured from the corner.

c. Height



Building Height

H	Minimum Building Height	18'
I	Maximum Building Height	85' and 7 Stories
J	Minimum Height Stepback	15'

Height stepback required for buildings taller than 65' in height. Stepback must occur above the ground story and no higher than the 5th story.

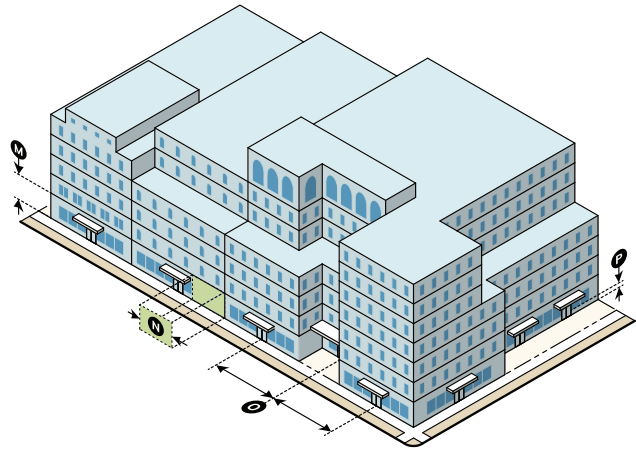
K Optional Corner Tower Element

Corner tower element is limited in width and depth to a maximum of 25% of the building frontage. May exceed height at which stepback is required, but may not exceed overall building height.

L Permitted Height Exception

Buildings may exceed maximum permitted height by 8' for a maximum of 25% of the square footage of the top floor. Such additional height may not be used to create an additional story.

d. Activation

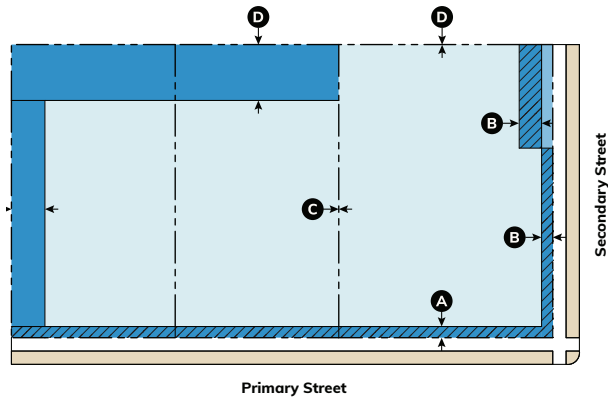


Building Activation

M	Minimum Ground Floor Height	14'
N	Maximum Blank Wall Area	20'
O	Maximum Building Entry Spacing	Type A Street: 50' Type B Street: None
P	Maximum Vertical Distance Between Building Entry and Sidewalk	3'
	Minimum Ground Floor Transparency	50%
	Minimum Upper Floor Transparency	15%

2. DT-G Downtown Growth Subdistrict

a. Dimensions and Siting

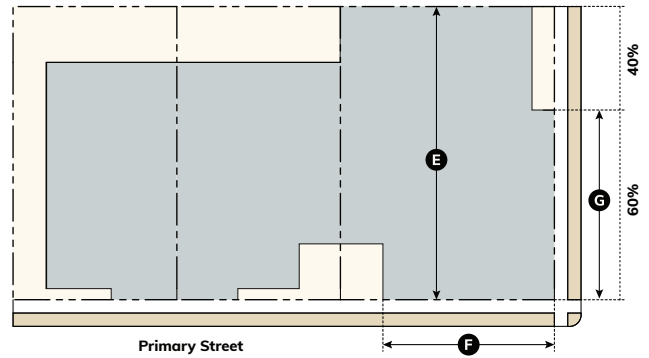


Dimensions and Siting

Minimum Lot Area	None
Minimum Lot Width	None
A Type A Street Setback ¹	0'-5' Build-to Zone
B Type B Street Setback ¹	5-15' Build-to Zone unless located on a corner lot with Type A Street frontage, then 0' -5' Build-to Zone
C Minimum Interior Side Setback	0', unless abutting residential district or DT-T subdistrict, then 15'
D Minimum Rear Setback	0', unless abutting residential district or DT-T subdistrict, then 25'

¹ When the front lot line intersects or overlaps with the right-of way line, the required build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

b. Buildout

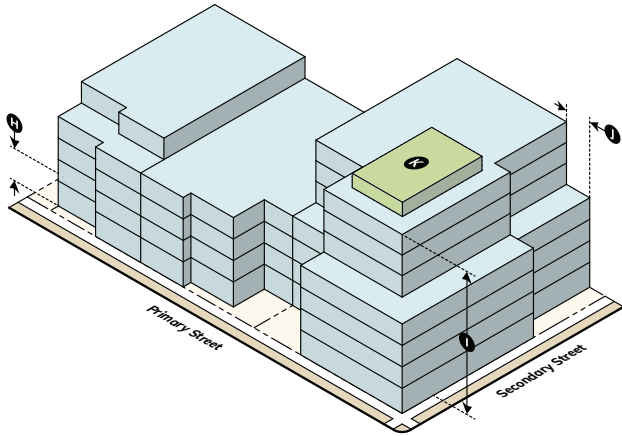


Buildout

E Maximum Building Length	350', Unless a pedestrian passage is provided, then 500'
F Minimum Type A Street Build-to Percentage	80%
G Minimum Type B Street Build-to Percentage ¹	60%

¹ When a corner lot also has frontage on a Type A Street, minimum build-to percentage is calculated as the first 60% of total building length measured from the corner.

c. Height



Building Height

H	Minimum Building Height	24'
I	Maximum Building Height	85' and 7 Stories
J	Minimum Height Stepback	15'

Height stepback required for buildings taller than 65' in height. Stepback must occur above the ground story and no higher than the 5th story.

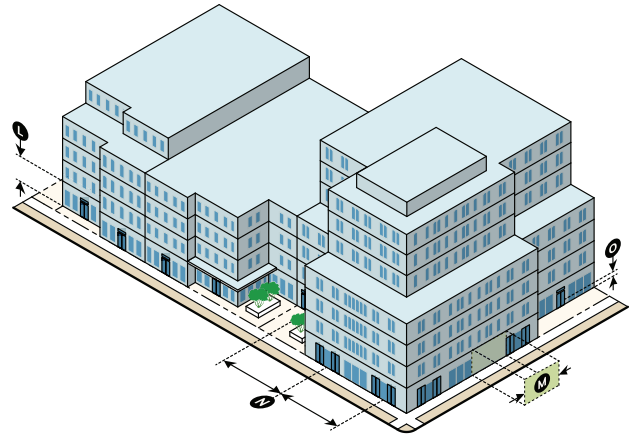
K Permitted Height Exception

Buildings may exceed maximum permitted height by 8' for a maximum of 25% of the square footage of the top floor. Such additional height may not be used to create an additional story.

Optional Corner Tower Element

Corner tower element limited in width and depth to a maximum of 25% of the building frontage. May exceed height at which stepback is required, but may not exceed overall building height.

d. Activation

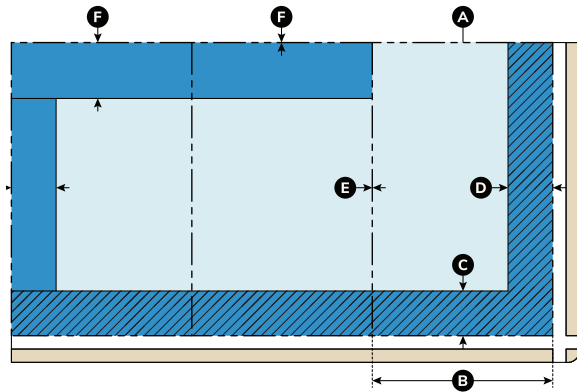


Building Activation

L	Minimum Ground Floor Height	14'
M	Maximum Blank Wall Area	30'
N	Maximum Building Entry Spacing	Type A Street: 75' Type B Street: None
O	Maximum Vertical Distance Between Building Entry and Sidewalk	3'
	Minimum Ground Floor Transparency	Type A Street: 50% Type B Street: 40%
	Minimum Upper Floor Transparency	15%

3. DT-E Downtown Edge Subdistrict

a. Dimensions and Siting

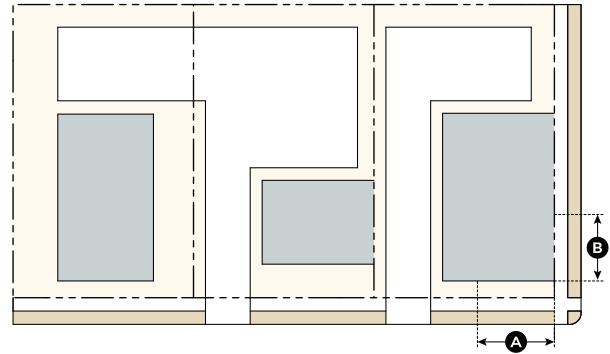


Dimensions and Siting

A	Minimum Lot Area	10,000sf
B	Minimum Lot Width	50'
C	Front Setback ¹	0'-20' Build-to Zone
D	Corner Side Setback ¹	0'-20' Build-to Zone
E	Minimum Interior Side Setback	0', unless abutting residential district or DT-T subdistrict, then 20'
F	Minimum Rear Setback	0', unless abutting residential district or DT-T subdistrict, then 25'

¹ When the front or corner side lot line intersects or overlaps with the right-of way line, the required build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

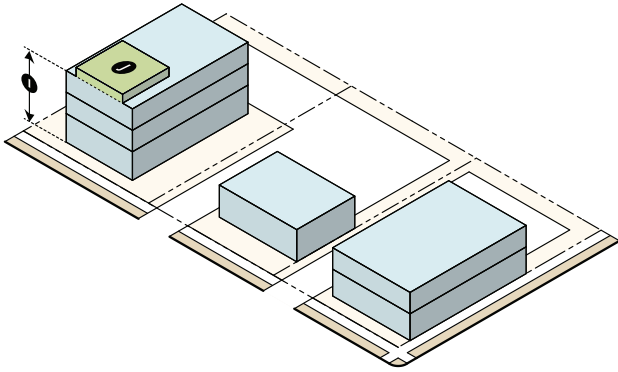
b. Buildout



Buildout

G	Minimum Front Build-to Percentage	60%
H	Minimum Corner Side Build-to Percentage	40%

c. Height

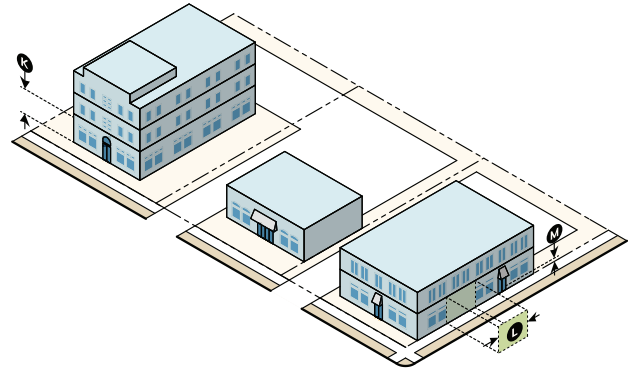


Building Height

	Minimum Building Height	None
I	Maximum Building Height	40' and 3 Stories
J	Permitted Height Exception	

Buildings may exceed maximum permitted height by 5' for a maximum of 25% of the square footage of the top floor. Such additional height may not be used to create an additional story.

d. Activation

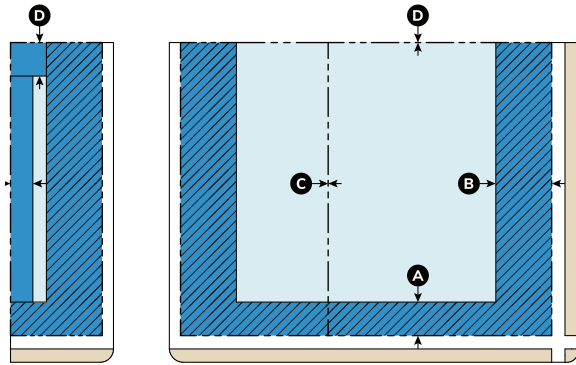


Building Activation

K	Minimum Ground Floor Height	12'
L	Maximum Blank Wall Area	30'
M	Maximum Vertical Distance Between Building Entry and Sidewalk	18"
	Minimum Ground Floor Transparency	30%
	Minimum Upper Floor Transparency	15%

4. DT-L Downtown Limited Subdistrict

a. Dimensions and Siting

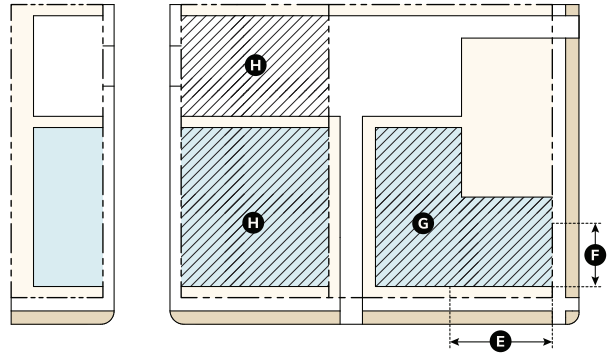


Dimensions and Siting

	Minimum Lot Area	None
	Minimum Lot Width	None
A	Front Setback ¹	0'-15' Build-to Zone
B	Corner Side Setback ¹	0'-25' Build-to Zone
C	Minimum Interior Side Setback	0', unless abutting residential district or DT-T subdistrict, then 10'
D	Minimum Rear Setback	0', unless abutting residential district or DT-T subdistrict, then 15'

¹ When the front or corner side lot line intersects or overlaps with the right-of way line, the required build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

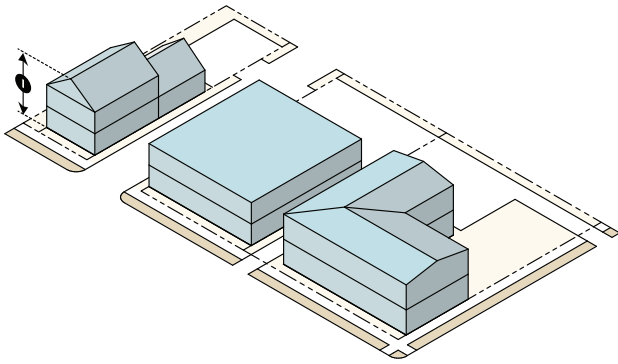
b. Buildout



Buildout

E	Minimum Front Build-to Percentage	60%
F	Minimum Corner Side Build-to Percentage	40%
G	Maximum Building Coverage	65%
H	Maximum Impervious Surface Coverage	80%

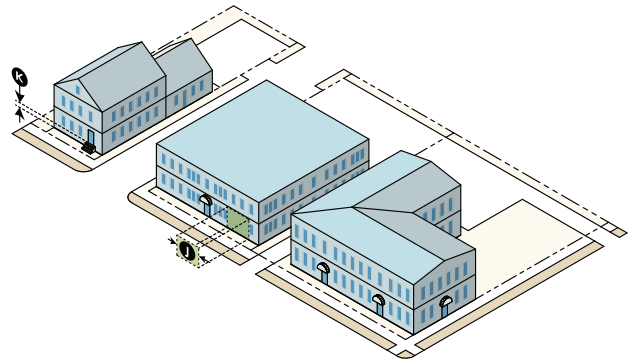
c. Height



Building Height

Minimum Building Height	None
I Maximum Building Height	35' and 2.5 Stories

d. Activation

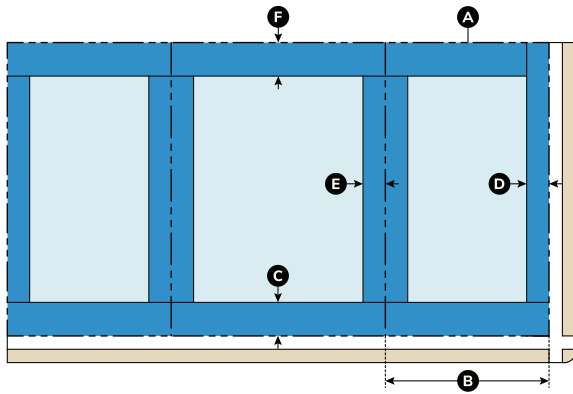


Building Activation

J Maximum Blank Wall Area	20'
K Maximum Vertical Distance Between Building Entry and Sidewalk	4'
Minimum Ground Floor Transparency	30%
Minimum Upper Floor Transparency	15%

5. DT-T Downtown Transition Subdistrict

a. Dimensions and Siting

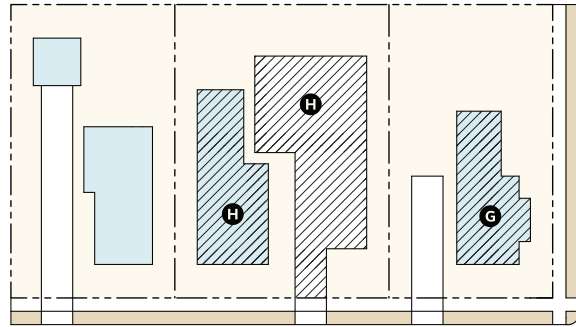


Dimensions and Siting

A	Minimum Lot Area	8,000sf
B	Minimum Lot Width	60'
C	Minimum Front Setback ¹	15'
D	Minimum Corner Side Setback ¹	10'
E	Minimum Interior Side Setback	10'
F	Minimum Rear Setback	15'

¹ When the front or corner side lot line intersects or overlaps with the right-of way line, the required build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

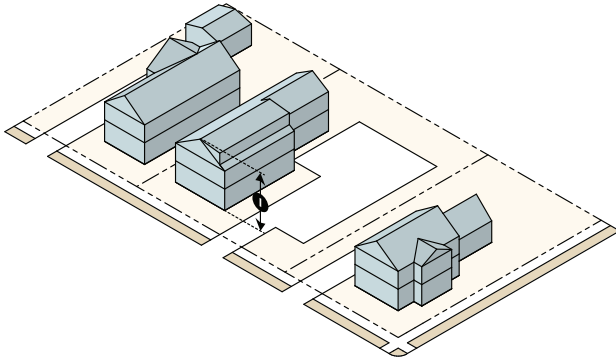
b. Buildout



Buildout

G	Maximum Building Coverage	40%
H	Maximum Impervious Surface Coverage	60%

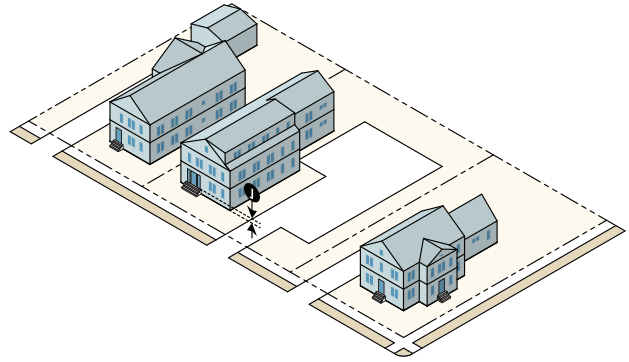
c. Height



Building Height

Minimum Building Height	None
1 Maximum Building Height	40' and 3 Stories

d. Activation

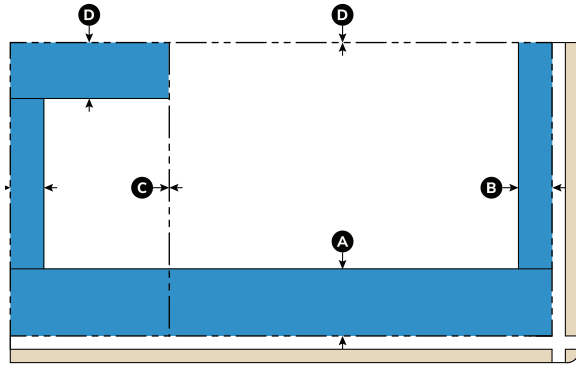


Building Activation

1 Maximum Vertical Distance Between Building Entry and Sidewalk	Multi-Family + Nonresidential Uses: 5'
Minimum Ground Floor Transparency	Multi-Family + Nonresidential Uses: 25%
Minimum Upper Floor Transparency	Multi-Family + Nonresidential Uses: 10%

6. DT-I Downtown Institutional Campus Subdistrict

a. Dimensions and Siting

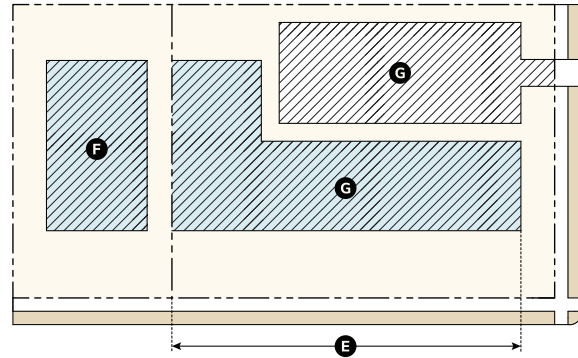


Dimensions and Siting

	Minimum Lot Area	None
	Minimum Lot Width	None
A	Minimum Front Setback ¹	30'
B	Minimum Corner Side Setback ¹	15'
C	Minimum Interior Side Setback	0', unless abutting residential district or DT-T subdistrict, then 15'
D	Minimum Rear Setback	0', unless abutting residential district or DT-T subdistrict, then 25'

¹ When the front or corner side lot line intersects or overlaps with the right-of way line, the required build-to zone is measured from a line representing the average location of front lot lines along the same block. In no case shall a building be placed forward of this line.

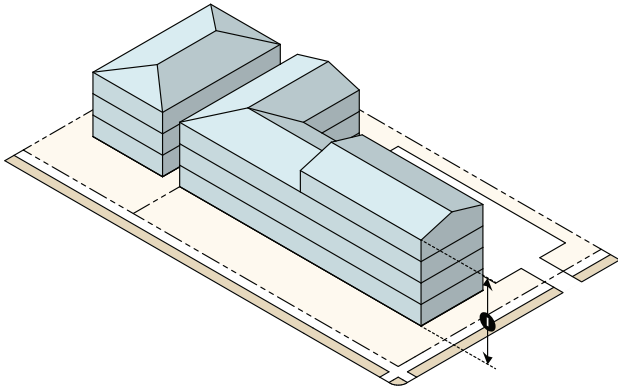
b. Buildout



Buildout

E	Maximum Building Length	350', unless a pedestrian passage is provided, then 500'
F	Maximum Building Coverage	50%
G	Maximum Impervious Surface Coverage	75%

c. Height



Building Height

Minimum Building Height	None
<p>1 Maximum Building Height</p>	<p>50' at required setbacks Structures may increase height over 50' by setting back an additional 2' for every 1' of additional height from all required setbacks.</p>

F. Parking and Access

1. Required Parking

(Preliminary/placeholder proposal: waiting for guidance from Nelson/Nygaard work)

- a. Buildings of 5 stories or fewer within the DT-C Subdistrict do not require parking.
- b. For structures over 5 stories within the DT-C Subdistrict, parking must be provided as follows (Calculated on the GFA per use of the total building):
 - i. Retail Uses: 3 Spaces/1000sf
 - ii. Office Uses: 2 Spaces/1000sf
 - iii. Residential Uses: 1 Space per dwelling unit
 - iv. Hotel: 1 Space/room
- c. In all other subdistricts, minimum parking requirements apply as follows:

- i. *Awaiting Nelson Nygaard guidance.*

2. Parking Location and Access

- a. In the DT District, the location of parking for nonresidential and multi-family uses is regulated by the provisions of Table X-2: Parking Location and Access, on the following page.
- b. Off-street parking must not be visible from the public right-of-way unless the standards of Section X.F.3 are met.

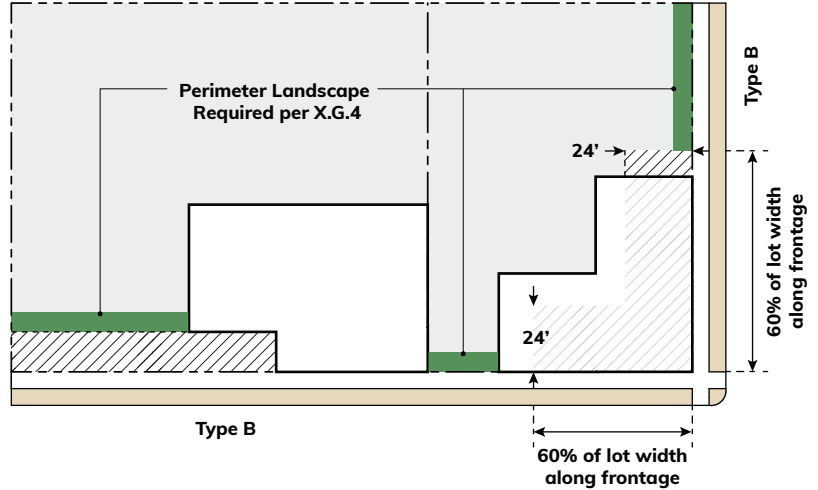
Table X-2: Parking Location and Access

Subdistrict and Street Type	Permitted Parking Location	Parking Access
<p>Type A - Interior Lot</p>	<p>Surface parking is prohibited within the first 24 feet, measured perpendicularly from the lot line abutting the Type A Street frontage.</p>	<p>Not permitted along a Type A Street frontage, unless no other means of access is available. Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.</p>
<p>Type A and Type B - Corner Lot Corner lots with frontage along both a Type A and Type B Street.</p>	<p>Type A Frontage: Surface parking is prohibited within the first 24 feet, measured perpendicularly from the lot line abutting the Type A Street frontage.</p> <p>Type B Frontage: Surface parking is prohibited within the first 24 feet, measured perpendicularly from the lot line abutting the Type B Street frontage for the first 60% of the lot width along such frontage, measured from the corner. Parking is prohibited between the front building façade line and the front lot line, and between the corner side building façade line and corner side lot line.</p>	<p>Access is not permitted from a Type A Street frontage.</p> <p>From a Type B frontage, no access is permitted within the first 60% of lot width, measured from the corner. Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.</p>
<p>Type A Interior Lot & Type A and Type B Corner Lot Parking Location Diagram Prohibited parking locations (as specified above) are depicted with a diagonal hatched pattern. Required perimeter landscape (X.F.3) is shown in solid dark green. Permitted parking locations are depicted in light gray, subject to all other standards of this ordinance.</p>	<p>The diagram illustrates parking restrictions for Type A and Type B lots. It shows a lot with a Type A street frontage on the left and a Type B street frontage on the right. A 24-foot hatched area is shown from the Type A street frontage. A 60% of lot width hatched area is shown from the corner. A 24-foot hatched area is shown from the building facade. Perimeter landscape is shown in green. The diagram is labeled 'Type A' at the bottom.</p>	
<p>Type B - Interior Lot</p>	<p>Surface parking is prohibited between the front lot line and the front building façade line.</p>	<p>Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.</p>
<p>Type B - Corner Lot Corner Lots with frontage along two Type B Streets.</p>	<p>Surface parking is prohibited within the first 24 feet, measured perpendicularly from the lot line abutting either Type B frontage for the first 60% of the lot width, measured from the corner. Surface parking is prohibited between the front building façade line and the front lot line, and between the corner side building façade line and corner side lot line.</p>	<p>No access is permitted within the first 60% of lot width, measured from the corner. Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.</p>

DT-C and DT-G Subdistricts

Type B Interior Lot & Type B Corner Lot Parking Location Diagram

Prohibited parking locations (as specified above) are depicted with a diagonal hatched pattern. Required perimeter landscape (X.F.3) is shown in solid dark green. Permitted parking locations are depicted in light gray, subject to all other standards of this ordinance.



All Other Subdistricts

Interior Lot

Surface parking is prohibited between the front building façade line and the front lot line, with the exception of the DT-I Subdistrict. ¹

Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.

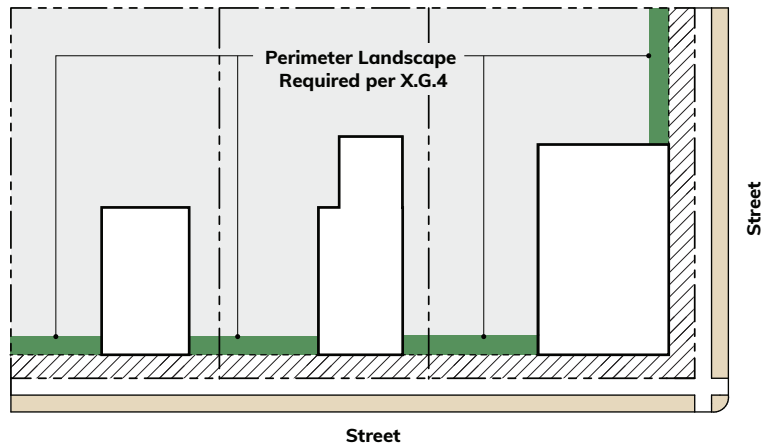
Corner Lot

Surface parking is prohibited between the front building façade line and the front lot line, and between the corner side building façade line and corner side lot line, with the exception of the DT-I Subdistrict. ²

No access is permitted within the first 40% of lot width, measured from the corner. Access lanes may be no wider than 12' for one-way traffic, or 24' for two-way traffic.

Interior and Corner Lot Parking Location Diagram

Prohibited parking locations (as specified above) are depicted with a diagonal hatched pattern. Required perimeter landscape (X.F.3) is shown in solid dark green. Permitted parking locations are depicted in light gray, subject to all other standards of this ordinance.

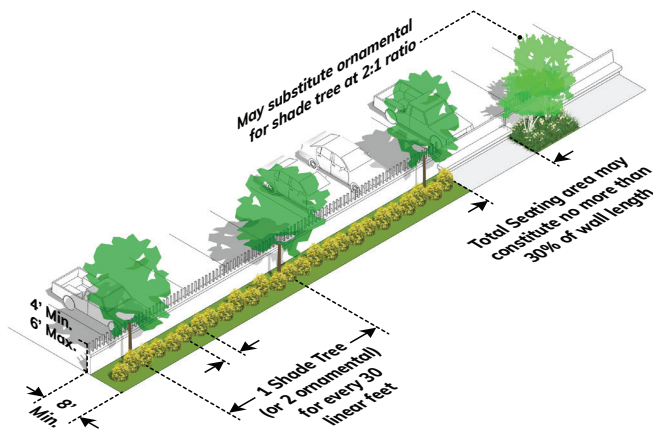


- 1 In the DT-I Subdistrict, surface parking may be located between the front building façade line and the front lot line, but may not be located within the first 15 feet, measured perpendicularly from the front lot line.
- 2 In the DT-I Subdistrict, surface parking may be located between the front building façade line and front lot line, and between the corner side building façade line and corner side lot line, but may not be located within the first 15 feet, measured perpendicularly from the lot line.

3. Parking Lot Screening

Off-street parking areas visible from the public right-of-way must provide a perimeter landscape treatment. Perimeter landscape must be established along the edge(s) of the parking lot to screen vehicles, and must run the full length of the perimeter, with the exception of areas designed for pedestrian or vehicular access. The landscaped area must be improved as follows:

a. DT-C and DT-G Subdistricts



- i. The perimeter landscape area must be at least 8 feet in depth, measured from the edge of the parking area.
- ii. The perimeter parking lot landscape area must include an opaque screening element, such as a solid wall or panel, a minimum of 4 feet in height, located at the furthest point of the landscape area from the public right-of-way. Such wall or panel may be no taller than 6 feet in height, and any portion above 4 feet in height must be semi-transparent or transparent.
- iii. A minimum of one shade tree must be provided for every 30 linear feet of perimeter landscape yard. Ornamental trees may be substituted for shade trees at a

2:1 ratio. Trees may be spaced linearly on-center, or grouped to complement an overall design concept.

- iv. The remainder of the perimeter landscape area must be landscaped and designed as one or more of the following installations.

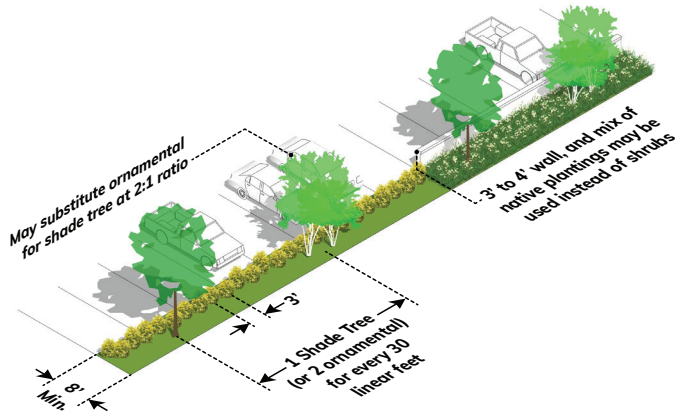
(A) One evergreen shrub must be planted for every 3 linear feet of perimeter area length. Shrubs may be varied in placement, rather than linearly spaced, but the total number of shrubs planted must equal one shrub per 3 linear feet. Shrubs must be at least 3 feet in height at maturity, and have a minimum spread of 2 feet.

(B) A mixture of shrubs, perennials, grasses, and other planting types that provide screening to a minimum of 3 feet in height at maturity.

(C) A mixture of shrubs, perennials, grasses, and other native planting types in combination with a seat wall. Up to 30% of the total length of the required wall or panel may be designed as a seating wall. If seating areas are included, the minimum height does not apply and plantings are not required in front of those portions of the wall used for seating

- iv. 60% of the perimeter landscape area outside of shrub and tree planting areas must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials are allowed for any remaining area.

b. DT-E, DT-L, DT-T Subdistricts



- i. The perimeter landscape area must be at least 8 feet in depth, measured from the edge of the parking area.
- ii. A minimum of one shade tree must be provided for every 30 linear feet of perimeter landscape yard. Ornamental trees may be substituted for shade trees at a 2:1 ratio. Trees may be spaced linearly on-center, or grouped to complement an overall design concept.
- iii. The perimeter parking lot landscape area must be landscaped and designed as one or more of the following installations.

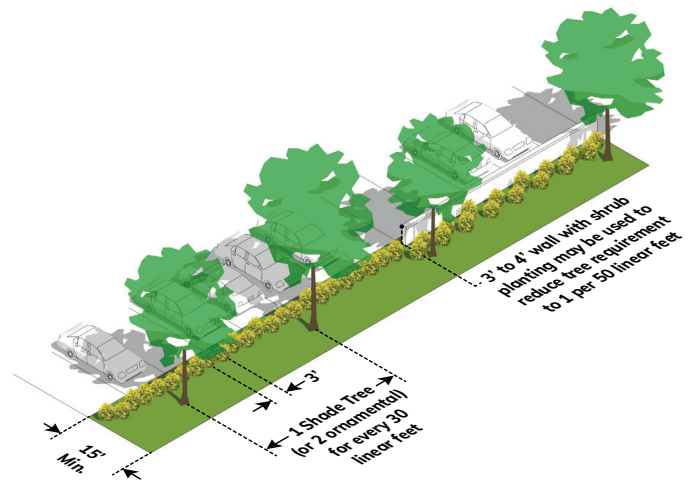
(A) One evergreen shrub must be planted for every 3 linear feet of perimeter area length. Shrubs may be varied in placement, rather than linearly spaced, but the total number of shrubs planted must equal one shrub per 3 linear feet. Shrubs must be at least 3 feet in height at maturity, and have a minimum spread of 2 feet. Shrubs are not required to be planted within 4 feet of a tree.

(B) A mixture of shrubs, perennials, grasses, and other planting types that provide screening to a minimum of 3 feet in height at maturity.

(C) A low pedestrian wall a minimum of 3 feet to a maximum of 4 feet in height. A mixture of shrubs, perennials, grasses, and other native planting types is required in the area in front of such wall for the entirety of its length. Up to 30% of the total length of such wall may be designed as a seating wall. If seating areas are included, the minimum wall height does not apply and plantings are not required in front of those portions of the wall used for seating

- iv. 60% of the perimeter landscape area outside of shrub and tree planting areas, including when a wall is used, must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials are allowed for any remaining area.

c. DT-I District



- i. The perimeter landscape area must be at least 15 feet in depth, measured from the edge of the parking area.
- ii. A minimum of one shade tree must be provided for every 30 linear feet of perimeter landscape yard. Ornamental trees may be substituted for shade trees at a 2:1 ratio. Trees may be spaced linearly on-center, or grouped to complement an overall design concept.
- iii. One shrub must be planted for every 3 feet of perimeter yard length, spaced linearly. Alternatively, a mix of shrubs, perennials, native grasses, and other planting types that provide screening of a minimum of 3 feet in height may be used.
- iv. Alternatively, a low pedestrian wall a minimum of 3 feet to a maximum of 4 feet in height may be used, with a reduced requirement for shade trees of one tree every 50 feet. Ornamental trees may be substituted for shade trees at a 2:1 ratio. Required shrubs must be installed between the sidewalk and the wall to provide a softening effect.
- v. 60% of the landscape area outside of shrub and tree masses must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials are required for any remaining area.
- vi. The use of stormwater management techniques, such as rain gardens and bioswales, is encouraged in the parking lot perimeter. Perimeter landscape

design is encouraged to be designed to accommodate stormwater detention and infiltration.

4. Design of Parking Structures

a. Tenactable Space

When adjacent to a front or corner-side lot line, parking structures in the DT District may be required to include residential or nonresidential tenactable space.

- i. Tenactable space must be designed to meet the activation requirements of the subdistrict. When designed for nonresidential use, tenactable space must be a minimum of 20 feet in width and 20 feet in depth, and must include utility stubs. Ground floor tenactable space for nonresidential use must also be outfitted with the ability to accommodate equipment for restaurant uses. When ground floor tenactable space is designed for residential use, it is not required to accommodate equipment for restaurant uses.

b. General Parking Structure Regulations

- i. On portions of the ground floor façade that are visible from the public right-of-way and are not wrapped by tenactable space or used as ingress/egress points, screening must be installed to a minimum height of 4 feet, and must consist of a solid wall, or a decorative/semi-opaque fence or screen in combination with landscaping.
- ii. On portions of the façade above the ground floor that are visible from the public right-of-way and

are not wrapped by tenantable space, vehicles must be screened from view by solid wall or panel a minimum of 4 feet in height. Any remaining openings must be vertically proportioned.

- iii. Parking structures with rooftop open-air parking visible from the public right-of-way must provide screening in the form of a parapet wall a minimum of 4 feet in height.
- iv. Façades that are visible from the public right-of-way and not wrapped by tenantable space must be designed to mask any interior ramping, maintaining a vertically and horizontally aligned appearance.
- v. A vehicular clear sight zone must be provided at all vehicular exit areas as follows:
 - (A) The façade of vehicular exit areas must be set back a minimum of ten feet for that portion of the façade that includes the vehicle exit area, and an additional ten feet on each side of the exit opening.
 - (B) A vehicular clear sight zone is defined by drawing a line from the edge of the vehicular exit area to the main building façade line.
 - (C) In the vehicular clear sight zone, landscape or a decorative wall must be used to separate the exit aisle and the pedestrian walkway. Such landscape and/or decorative wall may not exceed 30 inches in combined overall height, to ensure driver sightlines are maintained.

(D) Upper stories of the parking structure may overhang the vehicular clear sight zone.

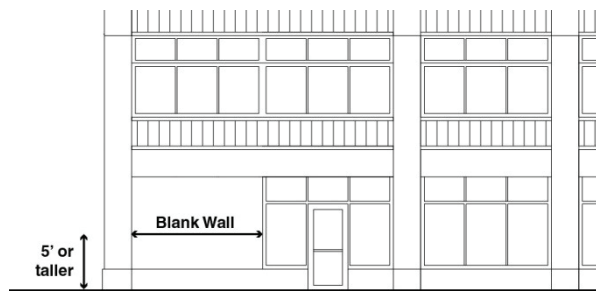
c. Parking Structure Design in the DT-C and DT-G Subdistricts

- i. Parking structures fronting on Type A Streets in the DT-C and DT-G Districts must provide tenantable space along a minimum of 80% of the total building length along the Type A Street, from the ground floor to the full height of the structure.
- ii. Parking structures fronting on Type B Streets in the DT-C and DT-G Subdistricts must provide tenantable space along a minimum of 60% of the total building length along the Type B Street, on the ground floor.

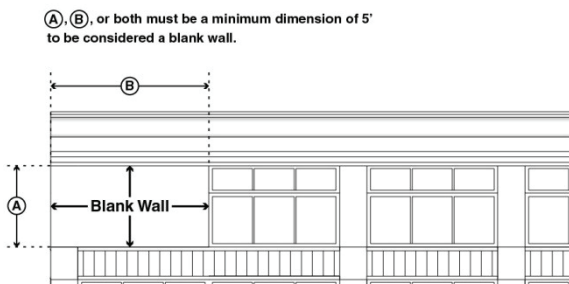
G. Supplementary Definitions

Definitions are included here for new terms used within this district. The intent is for these terms to be included in the UDO moving forward, and this Section to be eliminated.

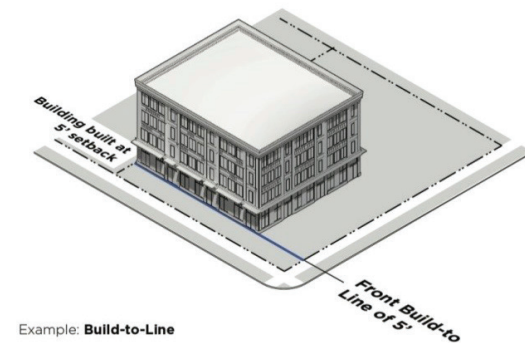
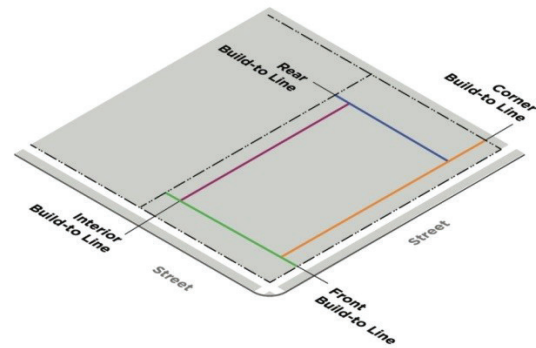
Blank Wall, Ground Floor. The horizontal linear dimension of contiguous building wall that does not contain fenestration, doors, or decorative elements such as banding, medallions, artwork such as murals and mosaics, change in wall plane of at least three inches, or other architectural or material embellishment. Any wall less than five feet in height is not considered to be a blank wall.



Blank Wall, Upper Floor. The horizontal or vertical linear dimension of contiguous building wall that does not contain fenestration, doors, or decorative elements such as banding, medallions, artwork such as murals and mosaics, change in wall plane of at least three inches, or other architectural or material embellishment. Any wall with a minimum dimension of less than five feet (height or width) is not considered to be a blank wall.

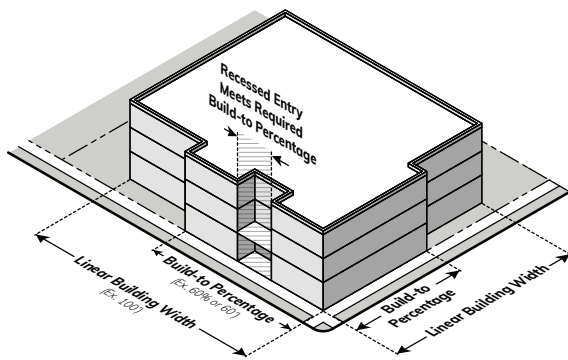


Build-To Line (BTL). A build-to line (BTL) is a set line on a lot, measured perpendicularly from the applicable lot line, where a structure must be located. The building façade line of a structure must be located on the build-to line. Façade articulation, such as window or wall recesses and projections are not counted as the building façade line, which begins at the applicable façade wall.

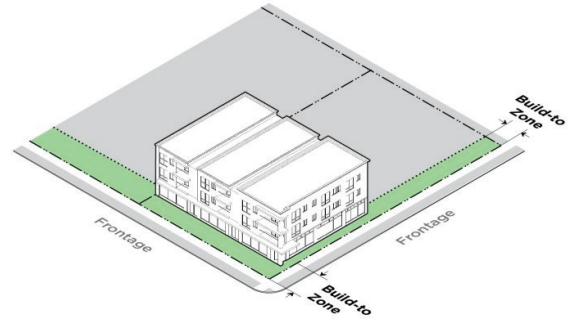
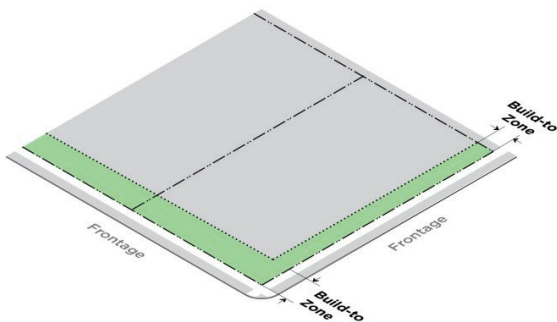


Example **Build-to-Line**

Build-To Percentage. A build-to percentage specifies the percentage of the building façade that must be located within the build-to zone or at the build-to line. Façade articulation, such as window or wall recesses and projections, do not count against the required build-to percentage. Plazas, outdoor dining, and other public open space features that are also bounded by a building façade parallel to the frontage are counted as meeting the build-to percentage. Build-to percentage is calculated by building façade, not lot width.



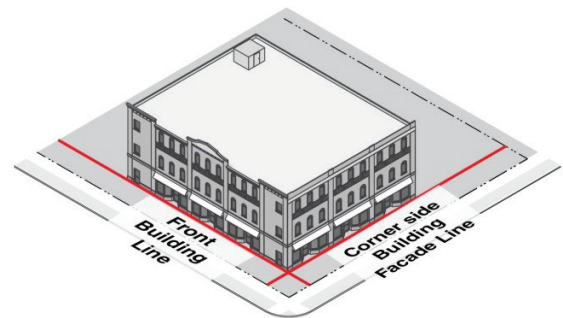
Build-To Zone (BTZ). A build-to zone (BTZ) is the area on a lot, measured perpendicularly from the lot line, within which a structure must locate. A build-to zone sets a minimum and maximum dimension within which the building façade line must be located (e.g. 0-5'). Façade articulation, such as window or wall recesses and projections are not counted as the building façade line, which begins at the applicable façade wall.



Building Apurtenance. A building apurtenance is a feature that is directly connected to and installed as part of a primary structure. Such features include chimneys, parapet walls, skylights, steeples, flag poles, smokestacks, cooling towers, elevator bulkheads, fire towers, water towers, stage towers or scenery lofts, and any necessary mechanical apurtenances or penthouses to house mechanical apurtenances. Building apurtenances are not included in the calculation of building height.

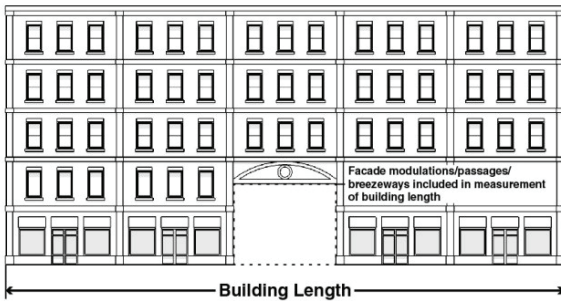
Building Entry. Any access point to a building or portion of a building or facility used for the purpose of entering

Building Façade Line. The vertical plane along a lot where the building's façade is located. Upper story building façade lines relate to that part of the façade that requires a setback.



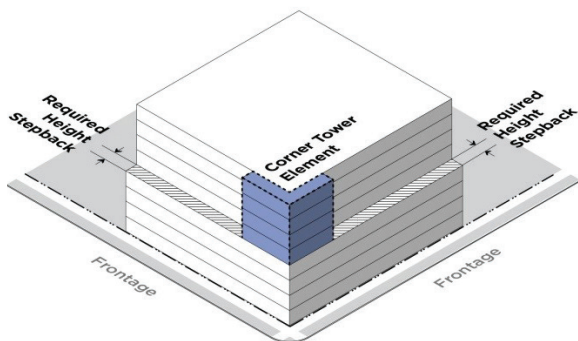
Building Length. Building length is measured as the length of the façade abutting a street.

Pedestrian passages, breezeways, and similar building connections are included in the calculation of total building length.



Height, Ground Floor. Ground floor height is the measurement of height for the first story of a structure, calculated as the height from the grade of the adjacent public sidewalk to the floor of the second story.

Optional Corner Tower Element. A corner tower element is an accentuated vertical element located on a building corner at a street intersection that can be located within a required setback. In no case may the corner tower element exceed the building's overall height.



Pedestrian Passage. A passageway through the ground floor façade of a building, accessed from a public right-of-way and including stories above the ground floor. Pedestrian passages must be a minimum of 15' in width and include exterior lighting treatments, landscaping, seating areas, and similar elements to ensure cohesive design and pedestrian safety and

comfort. For the purposes of calculating a build-to line, build-to zone, and/or build-to percentage, a building passage is considered part of the building façade that meets such requirements.

Stepback. A stepback is the required additional distance that upper stories of a structure must be recessed from the façade of the stories below. A required stepback must continue through all upper stories once established, though it may be increased from any required minimums on any stories.

Tenantable Space. Tenantable space is interior building space suitable for habitability or occupancy.

Transparency. Transparency is the required amount of window area as a percentage of the specified façade area. Doors are included in ground floor transparency when such doors are designed with glass or other transparent materials. To qualify as transparent for the calculation, the glazing must meet the following standards:

- a. Ground floor transparency must have a minimum 60% Visible Light Transmittance (VLT) and no more than 15% Visible Light Reflectance (VLR).
- b. For upper floor glazing, the glazing must have a minimum of 40% VLT and no more than 15% VLR.
- c. Colored tinting is prohibited.
- d. The following do not meet the ground floor or upper floor transparency requirements and do not count in meeting the standard:
 - i. Windows with interior shadowboxes
 - ii. Glass block
 - iii. Printed window film, regardless of whether it allows views into or out of the building.

USE DEFINITIONS

Animal Care Facility. An establishment that provides care for domestic animals, including veterinary offices for the treatment of animals where such animals may be boarded indoors during their convalescence and pet grooming facilities. Such facilities do not include kennels or animal training centers.

Art Gallery. An establishment that sells, loans, and/or displays paintings, sculpture, photographs, video art, or other works of art. Art gallery does not include a cultural facility, such as a library or museum, which may also display paintings, sculpture, photographs, video art, or other works.

Art or Fitness Studio. An establishment where an art or activity is taught, studied, or practiced in a classroom or studio setting such as dance, martial arts, photography, pottery, music, painting, gymnastics, pilates, or yoga.

Artisanal Production. The on-site production of hand-fabricated or hand-manufactured artisanal, custom or craft goods, such as small-scale metalworking, glassblowing, and furniture making. Showrooms and the ancillary sales of goods produced on-site are permitted. Artisanal production does not include micro-breweries, micro-distilleries, and micro-wineries.

Bank or Lending Institution. An establishment that is engaged in the business of a bank, savings and loan association, or credit union that is regulated by state or federal authority.

Bar. An establishment where the primary purpose is the sale of alcoholic beverages for consumption on the premises. Snack foods or other prepared food may be available for consumption on the premises.

Bed and Breakfast. A single-family detached dwelling where a resident/owner provides lodging for a daily fee in guest rooms with no in-room cooking facilities (excluding microwaves and mini-refrigerators), and prepares meals for guests.

Broadcasting Facility. Commercial and public communications facilities, including radio, internet, television broadcasting and receiving stations, and studios. Broadcasting facilities may be distinguished between those with antennas located outdoors and those without antennas.

Car Wash. An establishment for the washing and cleaning of motor vehicles or other light duty equipment, whether automatic, by hand, or self-service. The car wash facility may be within an enclosed structure, an open bay structure, or other configurations.

Clinic. A facility with more than five employees where medical, dental, mental health, alternative medical practitioners, or other licensed healthcare practitioners examine and treat persons on an outpatient basis.

Community Center. A facility used as a place of meeting, recreation, or social activity, that is open to the public and is not operated for profit, and offers a variety of educational and community service activities.

Community Garden. Land used for the cultivation of fruits, flowers, vegetables, or ornamental plants by one or more persons, households, or organizations. Community gardens do not include the raising of any livestock or poultry or the use of heavy machinery.

Cultural Facility. A facility open to the public that provides access to cultural exhibits and activities including, but not limited to, museums, cultural or historical centers, and libraries. A cultural facility may include additional uses as part of the principal use such as, but not limited to, retail sales of related items and restaurants.

Data Center. A facility composed of networked computers and equipment that businesses or other organizations use to organize, process, store and disseminate large amount of data.

Day Care Center. A facility where, for a portion of a 24-hour day, licensed care and supervision is provided in a protective setting outside of a residential dwelling for children or elderly and/or functionally-impaired adults that are not related to the owner or operator.

Day Care Home. A residential dwelling where, for a portion of a 24-hour day, licensed care and supervision is provided in a protective setting by a permanent occupant of the dwelling for children or elderly and/or functionally-impaired adults that are not related to the owner or operator of the facility.

Domestic Violence Shelter. A facility that provides temporary shelter, protection, and support for those escaping domestic violence and intimate partner violence, including victims of human trafficking. A domestic violence shelter also accommodates the minor children of such individuals. The facility may also offer a variety services to help individuals and their children including counseling and legal guidance. The facility shall be managed by a public or non-profit agency with in-house supervision provided on a 24-hour basis.

Drive-Through Facility. An establishment designed for the general public to make use, from their vehicles, of the sales or service provided on the premises.

Drug Treatment Clinic. A non-residential facility authorized by the state to provide treatment and licensed drugs to persons, including, but not limited to, methadone or suboxone, to manage and treat drug dependencies.

Dwelling - Accessory Dwelling Unit. An independent living unit ancillary to a single-family dwelling and under the same ownership as the primary residence. The unit may be within or attached to the primary residence or located in an accessory building on the property such as a garage.

Dwelling - Single Family Detached. A structure containing only one dwelling unit on a single lot. Any owner-occupied single family detached home may let guestrooms to not more than three persons who are unrelated to the owner by blood, legal adoption, marriage, or conservatorship.

Dwelling - Two-Family. A structure containing two dwelling units on a single lot. Each of the two dwelling units shall provide complete internal access to all rooms in the unit.

Dwelling - Multi-Family. A structure containing three or more dwelling units located on a single lot, with dwelling units either stacked or attached horizontally.

Dwelling - Unit. A single unit providing complete, independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

Event Venue. A facility that provides hosting and rental services of a banquet hall or similar facilities for private events including, but not limited to, wedding receptions, holiday parties, and fundraisers, with food and beverages that are prepared and served on-site or by a caterer to invited guests during intermittent dates and hours of operation. Live entertainment may occur as part of an event. A reception facility is not operated as a restaurant with regular hours of operation.

Food Pantry. A non-profit organization that provides food directly to those in need. Food pantries receive, buy, store, and distribute food. Food pantries may also prepare meals to be served at no cost to those who receive them. A food pantry may be part of a place of worship, social service center, homeless shelter, and domestic violence shelter.

Funeral Home. A facility where the deceased are prepared for burial display and for rituals before burial or cremation. Such facilities may include chapels, crematoriums, and showrooms for the display and sale of caskets, vaults, urns, and other items related to burial services.

Group Home. A facility in a residential dwelling, providing living accommodations and care for five or more unrelated persons who are in need of personal care services and/or are in need of supervision. Group home may include non-medical drug and alcohol rehabilitation.

Health Center / Gym. An establishment that provides indoor and/or outdoor activities for members related to health, physical fitness, and/or exercise. Activities include, but are not limited to, weight training, running, aerobics, swimming, court sports, and climbing. Health center / gym may include ancillary facilities such as locker rooms, showers, massage rooms, saunas, sales of related health equipment and clothing, juice bars, and other related uses.

Home occupation. A use conducted by the inhabitants of a dwelling unit that is clearly incidental and secondary to the use of the premises for dwelling purposes and does not change the residential character thereof.

Homeless Shelter. A facility that provides temporary shelter without a fee to persons who are homeless. The facility shall be managed by a public or non-profit agency with in-house supervision provided during operation.

Hospital. A medical facility where acute medical & surgical care is given to humans on an inpatient basis. Such facility may also have outpatient facilities and ancillary uses integral to its functions such as laboratories, cafeterias, gift shops, training space, classrooms, housing for families of admitted patients, and offices.

Hotel/Motel. A commercial facility that provides rooms for sleeping and customary lodging services for a fee. Related accessory services include, but are not limited to, meeting facilities, restaurants, bars, and recreational facilities for the use of guests.

Industrial - Heavy. Manufacturing from processed or unprocessed raw materials, including processing, fabrication, assembly, treatment, and packaging of such products, and incidental storage, sales, and distribution of such products. Heavy industrial typically produces noise, vibrations, illumination, or particulate that is perceptible to adjacent land users. These industrial uses typically have ancillary outdoor storage areas.

Industrial - Light. The manufacture, fabrication, processing, reduction, and/or destruction of any article, substance, or commodity, or any other treatment thereof in such a manner as to change the form, character, and/or appearance, where such activities are conducted wholly within an enclosed building. A light industrial use may also include a showroom, and/or ancillary sales of products related to the items manufactured or stored on-site.

Lodginghouse. A dwelling for more than four unrelated persons, which provides separate rooms for sleeping for a fee, without personal care services and without separate cooking facilities for individual occupants. For purposes of this article, the term lodging house shall not include a hotel or motel. Lodginghouse shall include fraternity and/or sorority house.

Micro-Brewery. A facility for the production and packaging of malt beverages of alcoholic content for wholesale distribution/retail sales and including a bar/tasting room and/or restaurant for consumption and tasting on-premises. It may also include retail to purchase beverages manufactured on-site and related items. A tasting room is an area within the premises of the brewery's production facilities where guests may sample the brewery's products. A micro-brewery may also offer sales of other alcoholic beverages for consumption off the premises. When the production facilities exceed the maximum square footage allowed by the prescribed conditions, and no special approval such as an administrative adjustment or variance is granted, the facility is not considered a micro-brewery, but rather an industrial use.

Micro-Distillery. A facility for the production and packaging of alcoholic spirits and including a bar/ tasting room and/or restaurant for consumption and tasting on-premises. It may also include retail to purchase beverages manufactured on-site and related items. A tasting room is an area within the premises of the distillery's production facilities where guests may sample the distillery's products. When the production facilities exceed the maximum square footage allowed by the prescribed conditions, and no special approval such as an administrative adjustment or variance is granted, the facility is not considered a micro-distillery, but rather an industrial use.

Micro-Winery. A facility for the production and packaging of any alcoholic beverages obtained by the fermentation of the natural contents of fruits or vegetables, containing sugar, including such beverages when fortified by the addition of alcohol or spirits, and including a bar/tasting room and/or restaurant for consumption and tasting on-premises. It may also include retail to purchase beverages manufactured on-site and related items. A tasting room is an area within the premises of the winery's production facilities where guests may sample the winery's products. When the production facilities exceed the maximum square footage allowed by the prescribed conditions, and no special approval such as an administrative adjustment or variance is granted, the facility is not considered a micro-winery, but rather an industrial use.

Mobile Food Vendors. A motor vehicle or food trailer towed by another vehicle, designed and equipped to sell food and/or beverages directly to consumers. It does not include wholesale food distributors.

Neighborhood grocery store. An establishments primarily engaged in the provision of frequently or recurrently needed food for household consumption, such as prepared food, beverages, limited household supplies and hardware in a space that is less than or equal to 3,500 square feet.

Office. An establishment that engages in the processing, manipulation, or application of business information or professional expertise. An office may or may not offer services to the public.

Parking Lot (Principal Use). A surface lot, which excludes any public or private street, used solely for the temporary parking or storage of operable motor vehicles, whether for compensation or at no charge.

Parking - Structured Facility (Principal Use). A structure or portion of a structure used for the parking or storage of operable vehicles, whether for compensation or at no charge. A roofed structure of one level of parking is also considered a Structured Parking Facility.

Personal Service Establishment. An establishment that *provides services of a personal nature* including, but not limited to, barbershops or hair salons, spas, tattoo or body piercing parlors, electronics repair shops, nail salons, laundromats, dry cleaners, and tailors.

Place of Worship. A facility where persons regularly assemble for religious purposes and related social events, and may include group housing for persons under religious vows or orders. Places of worship may include additional uses as part of the principal use such as day care facilities, meeting rooms, food preparation and dining areas, auditoriums, and/or classrooms for religious instruction.

Private Club Lodge/Meeting Hall. A facility operated by an organization or association for a common purpose, such as, but not limited to, a meeting hall for a fraternal or social organization or a union hall, but not including clubs organized primarily for-profit or to render a service which is customarily carried on as a business.

Private School. An establishment that offers training and instruction in knowledge or physical skills, which is operated for profit for that purpose only and on a full-time basis by anyone other than a governmental unit. A private school may include, but is not limited to, facilities that offer early childhood, primary, secondary, post-secondary, and vocational education and/or instruction.

Recreation/Entertainment Facility - Indoor. A facility for spectator and participatory uses conducted within an enclosed building including, but not limited to, movie theaters, live performance venues, night clubs, indoor sports arenas, bowling alleys, skating centers, escape room/physical adventure game facilities, and pool halls. Such facilities may include additional uses as part of the principal use such as, but not limited to, concession stands, restaurants, and retail sales.

Recreation/Entertainment Facility - Outdoor. A facility for spectator and participatory uses conducted outdoors or within partially enclosed structures, such as outdoor stadiums, fairgrounds, batting cages, and miniature golf courses. Such facilities may include additional uses as part of the principal use such as, but not limited to, concession stands, restaurants, and retail sales.

Research and Development. A facility where research and development is conducted in industries that include, but are not limited to, biotechnology, pharmaceuticals, medical instrumentation or supplies, communication, and information technology, electronics and instrumentation, and computer hardware and software.

Residential Care Facility. A licensed facility that provides 24-hour medical and/or non-medical care to persons in need of personal care services, supervision, or assistance essential for sustaining the activities of daily living, or for the protection of the individual. A residential care facility may include nursing care, assisted living, hospice care, and continuum of care facilities. Continuum of care facilities may also include independent living facilities as part of the continuum. Residential care facility does not include a residential drug/alcohol treatment facility.

Residential Drug/Alcohol Treatment Facility. A licensed facility that provides 24-hour in house supervision for medical and/or non-medical/therapeutic care of persons seeking rehabilitation from a drug and/or alcohol addiction. Such facilities may include medical detoxification.

Restaurant. An establishment where food and drinks are provided to the public for on-premises consumption by seated patrons or for carry-out service. Incidental entertainment, which is defined as live or pre-recorded background music, is permitted within a restaurant within the permanent enclosed area.

Retail Goods Establishment. An establishment that provides physical goods, products, or merchandise directly to the consumer, where such goods are typically available for immediate purchase and removal from the premises by the purchaser. A retail goods establishment does not include specialty food service.

Self-Storage Facility - Indoors. A facility for the storage of personal property where individual renters control and access individual storage spaces located within a fully enclosed building that is climate controlled.

Self-Storage Facility - Outdoors. A facility for the storage of personal property where individual renters control and access individual storage spaces and where each storage unit has individual access from the outdoors.

Social Service Center. A facility that provides meeting space and counseling, therapy or other social or human services to persons in need of such services. It does not include in-patient, overnight, or personal care services for recipients of the service or for the staff. Such service does not include medical examinations or procedures, or medical detoxification, dispensing of drugs or medications, or other treatments normally conducted in a medical office.

Solar Farm. An energy system operated by a public, private, or cooperative company for the generation, transmission, distribution, storage, or processing of solar energy for the purposes of heating and cooling, electricity generation, and/or water heating.

Specialty Food Service. Specialty food service includes preparation, processing, canning, or packaging of food products where all processing is completely enclosed and there are no outside impacts. Such business specializes in the sale of specific food products, such as a bakery, candy maker, meat market, catering business, cheese-monger,

coffee roaster, or fish-monger, and offers areas for retail sales or restaurants that serve the products processed on-site.

Motor Vehicle Dealership – An establishment that sells or leases new or used automobiles, vans, pick-ups, motorcycles, and/or recreational vehicles or other similar motorized transportation vehicles with outdoor storage and/or display of such vehicles on-site. Vehicle dealerships do not include truck, trailer, boat, or heavy equipment sales, which are considered heavy retail establishments.

Vehicle Rental Establishment. An establishment that rents automobiles and vans, including incidental parking and servicing of rental vehicles with outdoor storage and/or display of such vehicles on-site. Such establishment may maintain an inventory of the vehicles for sale or lease off-site.

Vehicle Repair Facility - Major. A business that provides services in major reconditioning of worn or damaged motor vehicles, motorcycles, all-terrain vehicles (ATV), recreational vehicles and trailers, towing and collision service, including body, frame, or fender straightening or repair, painting of motor vehicles, interior (upholstery, dashboard, etc.) reconstruction and/or repairs, and restoration services. A major vehicle repair business may also include minor vehicle repair services.

Vehicle Repair Facility - Minor. A business that provides services in minor repairs to motor vehicles and motorcycles, including repair or replacement of cooling, electrical, fuel and exhaust systems, brake adjustments, tire replacement, wheel servicing, alignment, and balancing, realignment, repair and replacement of shock absorbers, and replacement or adjustment of mufflers and tail pipes, hoses, belts, light bulbs, fuses, windshield wipers/wiper blades, grease retainers, and wheel bearings, and similar minor repairs.