



Planning Board – Monday, October 26, 2020, 6:30PM

AGENDA – AMENDED

NOTE: This meeting will be conducted using the online meeting platform, Zoom.* The public may view the meeting online by visiting www.zoom.us/join and enter the Meeting ID: 857 8338 6440. If you are unable to attend the meeting online, you may call the toll-free # (888) 475-4499 and enter the Meeting ID to listen to the meeting. More info on how to access this meeting is available at ci.keene.nh.us/planning-board. If you encounter any issues accessing this meeting, please call 603-209-4697 during the scheduled meeting time.

I. **Call to Order** – Roll Call

II. **Minutes of Previous Meeting** – September 28, 2020

III. **Advice & Comment:**

Smiths Medical Addition & Site Changes – Applicant Mike Farhm, on behalf of Smiths Medical, is requesting that the Planning Board determine that the application for a site plan review for a proposed 3,400-sf addition on the property located at 10 Bowman Drive (TMP# 221-031-000) be approved administratively.

IV. **Public Hearings:**

S-06-20, Boundary Line Adjustment – 649 & 655 Main Street – Applicant Cardinal Surveying and Land Planning, on behalf of owners Jill Batty and Daryl Stutes, proposes a boundary line adjustment between the property located at 649 Main St (TMP #120-059-000) and 655 Main St (TMP# 120-058-000). This adjustment would result in a transfer of 0.22-ac from the 0.49-ac lot located at 655 Main St to the 0.56-ac lot located at 649 Main St. Both properties are located in the Low Density District.

SPR-18-14, Modification #1, Site Plan – 166 West Street – Applicant and owner Flyboy Realty LLC proposes to renovate the former Friendly's Restaurant building and construct a two-story, 12,300-sf mixed-use building on the parcel located at 166 West Street (TMP# 576-002-000). The site is 1.03 acres and is located in the Central Business Limited District.

V. **Community Development Director Report**

VI. **New Business**

VII. **Upcoming Dates of Interest – November 2020**

- Joint PB/PLD Committee – November 9 & November 16, 6:30 PM
- Planning Board Steering Committee – November 10, 11:00 AM
- Planning Board Site Visits – November 18, 8:00 AM – To Be Confirmed
- Planning Board Meeting – November 23, 6:30 PM

**In Emergency Order #12, issued by the Governor pursuant to Executive Order #2020-04, which declared a COVID-19 State of Emergency, the requirement that a quorum of a public body be physically present at the meeting location under RSA 91-A:2, III(b), and the requirement that each part of a meeting of a public body be audible or otherwise discernible to the public at the meeting location under RSA 91-A:2, III(c), have been waived. Public participation may be provided through telephonic and other electronic means.*

1 **CITY OF KEENE**
2 **NEW HAMPSHIRE**

3
4 **PLANNING BOARD**
5 **MEETING MINUTES**

6 Monday September 28, 2020

6:30 PM

Council Chambers

7 Members Present

Douglas Barrett, Chairman
Christopher Cusack, Vice-Chair
Mayor George Hansel
Councilor Michael Remy
Michael Burke
David Orgaz
Pamela Russell Slack
Andrew Weglinski
Tammy Adams, Alternate

Staff:

Rhett Lamb, Asst. City
Manager/Community Development
Director
Tara Kessler, Senior Planner
Mari Brunner, Planner

Members Not Present:

Emily Lavigne Bernier, Alternate
Gail Sommers

8 **Statement of Authority to Hold Remote Meeting**

9 Chair Barrett began the meeting by reading the following statement with respect to
10 holding remote meetings: *“In Emergency Order #12, issued by the Governor of the State*
11 *of New Hampshire pursuant to Executive Order #2020-04, certain provisions of RSA 91-*
12 *A regulating the operation of public body meetings have been waived during the declared*
13 *COVID-19 State of Emergency.*

14 *Specifically:*

- 15 • *The requirement that a quorum of a public body be physically present except in an 18*
16 *emergency requiring immediate action under RSA 91-A:2, III(b);*
17 • *The requirement that each part of a meeting of a public body be audible or otherwise 20*
18 *discernible to the public at the location specified in the meeting notice as the location of*
19 *the 21 meeting under RSA 91-A:2, III(c).*
20 • *Provided, however that the public body must:*
21 • *Provide access to the meeting by telephone, with additional access*
22 *possibilities by 24 video or other electronic means;*
23 • *Provide public notice of the necessary information for accessing the meeting;*
24 • *Provide a mechanism for the public to alert the public body during the*
25 *meeting if 27 there are problems with access; and*
26 • *Adjourn the meeting if the public is unable to access the meeting.*
27 • *All votes are to be taken by roll call.*
28

29 • All board participants shall identify the location from where they are participating and
30 who is present in the room with them.”

31

32 Chair Barrett said the public may access the meeting online by visiting the Zoom website,
33 www.zoom.us/join, and entering the Meeting ID, which he stated. The Meeting ID also
34 appeared on the Agenda for the meeting. The public can, listen, but not view, the meeting
35 by calling the toll-free phone number (888) 475-4499 and entering the Meeting ID. He
36 noted that if someone is unable to access the meeting, they should call 603-757-0622.

37

I. Call to order – Roll Call

39 Chair Barrett called the meeting to order at 6:30 PM and roll call was taken.

40

II. Minutes of previous meeting – August 24, 2020 Meeting

42 David Orgaz offered the following correction:

43 Page 1, Line 12 – delete “1” from the word “public”

44 Page 4, Lines 82 and 83 – should read as ...”Wheelock Park access started in the late
45 60’s or early 70’s”

46 Page 11 – Lines 418 and 421 – correct spelling of “leech” to read as “leach”

47

48 Chair Barrett offered the following correction: Page 9 Chair Barrett’s comment should
49 state “...southern drive should be a restaurant...”

50

51 A motion was made by Mayor George Hansel to accept the August 24, 2020 meeting
52 minutes as amended. The motion was seconded by Councilor Michael Remy and was
53 unanimously approved.

54

III. Waiver Request: Boundary Line Adjustment – Waiver Request – Old Walpole

56 Road – Applicant David Bergeron, on behalf of owners Warren & Arlie MacKenzie and
57 Robert Casna, requests a waiver from Section III.C.5.b of the Planning Board Site Plan
58 and Subdivision Regulations with respect to the requirement that an updated survey
59 showing all metes and bounds shall be prepared as part of a boundary line adjustment.
60 The properties are located at 0 Old Walpole Rd (TMP# 207-004-000) and 429 Old
61 Walpole Rd (TMP# 210-023-000) in the Rural District.

62

A. Public Hearing

64 Mr. David Bergeron addressed the Board and stated it is the requirement of the Planning
65 Board that a boundary line adjustment have a metes and bounds survey completed. He
66 noted the item before the Board is to request a waiver from metes and bounds survey for
67 the 429 Old Walpole Road lot; 0 Old Walpole Road does have a survey which includes a
68 metes and bounds. He explained the reason for the waiver is because of the configuration
69 of the boundary line adjustment as well as the size of the lot (429 Old Walpole Road).

70 Both lots are on the Keene/Surry town line. 0 Old Walpole Road does not have any
71 frontage in Keene, and the 429 Old Walpole Road lot does have frontage in Keene at a
72 few different locations and is a lot that has a home located on it.

73

74 Mr. Bergeron explained the driveway for 429 Old Walpole Road crosses 0 Old Walpole
75 Road and then accesses Old Walpole Road. The proposed boundary line adjustment will
76 take land from 0 Old Walpole Road and add it to 429 Old Walpole Road so that this
77 driveway would be on its own lot. Both property owners are in favor of this adjustment.
78

79 Mr. Bergeron then went over the waiver criteria as follows:

80 a) *That granting the waiver will not be contrary to the spirit and intent of these*
81 *Regulations;*

82 Mr. Bergeron stated after a boundary line adjustment, the intent would be to make sure
83 each lot would meet the requirements for zoning. 429 Old Walpole Road is currently 43
84 acres in size and land is being added to it and it would hence meet the requirements for
85 zoning. A metes and bounds survey was done on 0 Old Walpole Road, and that lot will
86 also meet the requirements for zoning. Mr. Bergeron noted neither lot will become non-
87 conforming and hence felt the spirit and intent of the regulations have been met.
88

89 b) *That granting the waiver will not increase the potential for creating adverse impacts*
90 *to abutters, the community or the environment; and*

91 Mr. Bergeron felt this criteria is being met because this is what both abutters are wanting
92 to do. The closest abutter has been notified and he is in favor of this boundary line
93 adjustment. As a result, Mr. Bergeron did not feel there is any adverse impacts to
94 abutters.
95

96 c) *That granting the waiver has not been shown to diminish the property values of*
97 *abutting properties.*

98 Mr. Bergeron stated they do not see any property values being diminished, and thinks that
99 it is more likely that Mr. Casna's property values will improve following the adjustment
100 as his driveway would then be entirely on his property; whereas, his driveway is currently
101 on the adjacent property.
102

103 d) *Consideration will also be given to whether strict conformity with the regulations or*
104 *Development Standards would pose an unnecessary hardship to the applicant.*

105 Mr. Bergeron felt that not granting this waiver will cause a hardship because of the size
106 of Mr. Casna's lot, and the cost survey it would be very expensive and in this case,
107 unnecessary. The property owners feel it is a positive change for their properties.
108

109 The Chairman asked for staff comment. Ms. Brunner stated she does not have any
110 additional comments but was open to questions from the Board.
111

112 The Chairman asked for public comment, with no comments from the public the
113 Chairman closed the public hearing.
114

115 C. Board Discussion and Action

116 A motion was made by Mayor George Hansel that the Planning Board approve the
117 request for a waiver from Section III.C.5.b of the Planning Board Site Plan and
118 Subdivision Regulations with respect to the requirement that an updated survey showing
119 all metes and bounds be submitted as part of a boundary line adjustment application for

120 the properties located at 0 Old Walpole Rd (TMP# 207-004-000) and 429 Old Walpole
121 Rd (TMP# 210-023-000). The motion was seconded by Councilor Remy and was
122 unanimously approved by roll call vote. Andrew Weglinski did not vote on this item due
123 to technical issues.
124

IV. Extension Request: SPR-05-19 – Colonial Theatre – 89 Main St – Site Plan –

126 Applicant Weller & Michal Architects, on behalf of owner Colonial Theatre Group Inc.,
127 requests a second extension of the 180-day conditional site plan approval timeframe. This
128 conditional approval is for modifications to the main entrance and the construction of a
129 2,800 sf addition to the existing building. The site is 0.36-acres and is located in the
130 Central Business District (TMP# 575-008-000).

131
132 Mr. Tad Schrantz representing the Colonial Theater stated they are requesting one more
133 extension for this application. He stated they are working very closely with the city to get
134 some of the outstanding issues resolved. Due to what has been going on in the recent
135 past, things have slowed down but work has begun again.

136
137 The Chairman asked for comments from staff on this item. Ms. Brunner referred to
138 language in the Planning Board’s regulations regarding granting of second extensions.

139
140 Chair Barrett stated he will vote in favor of this application

141
142 A motion was made by Mayor George Hansel that the Planning Board approve the
143 request for a second 6-month extension to the timeframe to meet the conditions of
144 approval for SPR-05-19, Colonial Theatre addition. The motion was seconded by
145 Councilor Remy and was unanimously approved by roll call vote.

146
147 **V. Public Hearings:**

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149 **1. S-04-20, Subdivision** – 366 Park Avenue – Applicant Cardinal Surveying & Land
150 Planning, on behalf of owner Thomas Perreault, proposes to subdivide the 0.46-acre
151 parcel located at 366 Park Ave (TMP# 539-049-000) into two 0.23-acre lots. The site
152 is in the Low Density District.

153
154 **A. Board Determination of Completeness.**

155 Planner Mari Brunner stated the applicant requests exemptions from providing a separate
156 existing conditions plan, a grading plan, a lighting plan, and a landscaping plan as no
157 development is proposed at this time. Staff have determined that the requested
158 exemptions would have no bearing on the merits of the application, and recommend that
159 the Board accept the application as complete.

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161 A motion was made by Mayor George Hansel that the Board accept this application as
162 complete. The motion was seconded by Councilor Michael Remy and was unanimously
163 approved by roll call vote.

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B. Public Hearing

Ms. Wendy Pelletier of Cardinal Survey & Land Planning addressed the Board and stated this is a 20,115 square foot lot on the corner of Park Avenue and Pinehurst Avenue. She noted the applicant, Thomas Perreault, also owns the abutting lot on Pinehurst Avenue. The property is in the Low Density zoning district, serviced by city water and sewer. The request is to subdivide the lot into two residential lots. The proposed lot has 86.46 feet of building frontage on Park Avenue and 199.9 feet of building frontage on Pinehurst Avenue, the remainder lot will have 108.6 feet of frontage.

Ms. Pelletier went on to say that no driveway has been identified yet, this would happen when someone purchases the property and is ready to build. This concluded Ms. Pelletier's comments.

Staff comments were next. Ms. Brunner stated this lot is a 10 minute walking distance from Keene High School and 12 minutes from Symonds School. It is located in the Low Density zoning district. There is a single-family home on the northern portion of the lot. This application is to subdivide the lot into 2 lots.

Ms. Brunner noted engineering staff did comment on this application. The City Engineer did indicate that a future driveway for Lot 2 may be required to be located off of Pinehurst Avenue in order to avoid conflicts with existing curb cuts on Park Avenue

Ms. Brunner then went over the Planning Board standards that are relevant to this application. There are no steep slopes present on this site and this property is not located in the 100-year floodplain.

As noted by the applicant, this site does have access to City sewer and water. Engineering staff did review the proposed subdivision plan, and did not identify any concerns with the capacity of the existing sewer and water lines in this location.

With reference to traffic, the increase in traffic volume from the addition of one single family home would not have a significant impact on the capacity or safety of existing city streets, bridges, and/or intersections.

With respect to Comprehensive Access Management, this site is located in an area where there are many options to get around. It is located across the street from a sidewalk on Park Avenue and along a City Express Bus Route. In addition, upgrades to the existing pedestrian infrastructure and the construction of new bicycle facilities are planned as part of a larger project to enhance bicycle and pedestrian safety along Park Avenue.

Engineering staff reviewed this application and noted that a future driveway for Lot 2 may be required to be located off of Pinehurst Avenue.

212 There are no wetlands or surface waters present on this site. This concluded staff
213 comments.

214

215 The Chairman asked for public comment. With no public comment, the Chair closed the
216 public hearing.

217

218 C. Board Discussion and Action

219 A motion was made by Mayor George Hansel that the Planning Board approve S-04-20
220 for a 2-lot subdivision of the parcel located at 366 Park Avenue, as shown on the plan
221 identified as “2 Lot Subdivision, Lot 539-049-00, 366 Park Avenue, Keene, NH 03431”
222 prepared by Cardinal Surveying & Land Planning at a scale of 1 inch = 20 feet, dated
223 August 20, 2020 and last revised on September 12, 2020 with the following conditions
224 prior to signature by Planning Board Chair: 1. Owner’s signature appears on plan.

225

226 The motion was seconded by Pamela Russell Slack and was unanimously approved by
227 roll call vote.

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229 **2. S-05-20, Subdivision – 173 Wyman Road** – Applicant David Borden, on behalf of
230 owner, Bruce L. & Phyllis R. Borden Revocable Trust, proposes to subdivide the 26.5-
231 acre parcel located at 173 Wyman Road (TMP #210- 048-000) into a 3-acre lot and a
232 23.5-acre lot. A waiver is requested from Section III.C.6.b of the Planning Board Site
233 Plan and Subdivision Regulations regarding Hillside Protection. The site is located in the
234 Rural District.

235

236 A. Board Determination of Completeness.

237 Planner Mari Brunner stated the applicant requests exemptions from providing a grading
238 plan, landscaping plan, lighting plan, visual and architectural details, and technical
239 reports as no development is proposed at this time. Staff has determined that the
240 requested exemptions would have no bearing on the merits of this application and
241 recommend accepting this application as complete.

242

243 A motion was made by Mayor George Hansel that the Board accept this application as
244 complete. The motion was seconded by Councilor Michael Remy and was unanimously
245 approved by roll call vote, with Andrew Weglinski not participating in the vote.

246

247 B. Public Hearing

248 Mr. Thomas Borden of People’s Linen addressed the Board. Mr. Borden with reference
249 to a plan noted to Abbot Road and Wyman Road. He also referred to an existing
250 conditions plan and proposed conditions plan. The proposal is to leave the existing house
251 on the north end by Abbot Road on a $\frac{3}{4}$ acre lot and leave the remainder of the lot as a
252 building lot. Mr. Borden referred to a topographical map. He noted a map prepared by the
253 City Engineer and noted the area shown in green which the engineer identified as a
254 probable location for a house after considering steep slopes, wetlands, and setbacks.

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Mr. Borden then reviewed the waiver criteria as follows – he noted the waiver exemption they are looking for is from the requirement in Section III.C.6.b of the Planning Board Regulations that prohibitive slopes and 50% of precautionary slopes be excluded from the calculation of minimum lot size.

a) That granting the waiver will not be contrary to the spirit and intent of these Regulations;

Mr. Borden stated the spirit and intent of the Hillside Protection Ordinance is to protect the ecological and scenic resources from adverse impacts of development. Developing a single family home on a 23.5 acre lot would have very little impact. He added because most of this lot is forested, wetland and unbuildable the future owners would likely hold it in current use to lower their taxes and for it to be a supportive corridor for wildlife. He also added that constructing a home in the upland area would not impact the scenic view of Wyman Road

b) That granting the waiver will not increase the potential for creating adverse impacts to abutters, the community or the environment;

The construction of the home will not create adverse impact because the size of the driveway will be relatively short and any runoff would travel southward into the wetland and not to any abutter lots. Silt fencing will be located to prevent any sediment from entering the wetland during construction.

c) That granting the waiver has not been shown to diminish the property values of abutting properties.

The reason property values will not be diminished is because this will allow for a building lot with many attractive features which could increase abutting property values.

d) Consideration will also be given to whether strict conformity with the regulations or Development Standards would pose an unnecessary hardship to the applicant.

Without this waiver this large lot will become unbuildable. The six plus acres would be able to hold one home with very little impact. The runoff caused from a driveway would not impact any of the abutters. Mr. Borden referred to the septic design created by Carl Hagstrom which notes that the site visit and soil survey confirms this lot is a building lot per NH Department of Environmental Services Regulations.

Mr. Borden then went on to refer to a 100-year flood map which shows if there is any impact it would be in the hayfield area. He noted to another slide and noted to two flat areas (upper portion and lower right) but noted whoever develops the site will have to apply for a driveway permit and satisfy conditions that it would not impact abutters. This concluded Mr. Borden’s presentation.

Staff presentation was next. Ms. Brunner addressed the Board and stated this is a property historically known as the Borden Farm property, 26.5-acres in size and is bordered by

304 Hillside Village to the south, Wyman Road to the west, Abbott Road to the north, and
305 residential properties to the east. There is a separate, 5.2-acre parcel of land associated
306 with this property, referred to as the “Meadow Lot”. The Meadow Lot was historically
307 considered part of the Borden Farm property; however, when this land was surveyed in
308 2019 it was discovered that the Meadow Lot is separate. Starting in 2021, the 5.2-acre
309 meadow lot will have a separate tax map parcel number. This 5.2-acre lot would not be
310 impacted by this proposed subdivision.

311
312 Ms. Brunner went on to say the proposed lot has an existing single family home on the
313 north section property, has driveway access on both Wyman Road and Abbott Road. The
314 applicant is proposing to subdivide this lot into a 3 acre lot and a 23.5 acre lot. This
315 property is in the Rural District where a minimum lot size of five acres is required. The
316 applicant received a variance from the Zoning Board of Adjustment to permit a three acre
317 lot with 2.85 acres of upland and 0.15 acres of delineated wetlands, where five acres are
318 required per Section 102-791 of the Zoning Ordinance.

319
320 The applicant is requesting a waiver from Section III.C.6.b of the Planning Board Site
321 Plan and Subdivision Regulations which states “Except for Conservation Residential
322 Development Subdivisions, for all proposed subdivisions of parcels greater than fifteen
323 (15) acres in size, land areas meeting the definition of a prohibitive slope (25% or
324 greater) shall be excluded in the calculation of minimum lot size for each new lot.” It
325 further states 50% percent of land areas meeting the definition of a precautionary slope
326 (between 15% and 25%) shall be excluded in the calculation of minimum lot size.”

327
328 The applicant submitted a written waiver request, which is attached to the staff report.
329 The City Engineer did perform a slope analysis which was referred to previously, and the
330 Engineer has indicated it would be possible to construct a home and driveway while
331 complying with the city’s driveway standards and the spirit of the hillside protection
332 ordinance. He did indicate the 23.5 acre lot would require its own driveway permit and
333 this application shall include a detailed grading plan based on a topographic survey done
334 by a licensed surveyor or civil engineer and will also include proper management of
335 storm water, including but not limited to drainage swales, cross culvert, stone check
336 dams.

337
338 Ms. Brunner went on to say that this property is not located in the 100-year floodplain.

339
340 There are no existing city water or sewer services available for this site. However, no
341 development is proposed at this time; but future development on the 23.5-acre lot may
342 require the installation of a septic system and/or well.

343
344 With respect to traffic, the increase in traffic from the addition of one single family home
345 would not have a significant impact on the capacity or safety of existing city streets,
346 bridges, and/or intersections.

347
348 This parcel is located in a rural area of the City. There are no changes being proposed to
349 the location of the existing driveway on the proposed 3-acre lot, and the applicant does

350 not propose to install a driveway on the proposed 23.5-acre lot at this time. There is a
351 note included in the plan that the 23.5 acre lot would require its own driveway permit in
352 the future.

353

354 With respect to wetlands, there are wetlands present on both the proposed 3-acre lot with
355 the existing house which has 0.15- acres of wetland and the proposed 23.5-acre lot has
356 less than 17.4 acres of wetland. The applicant had a wetlands scientist delineate some of
357 the wetlands to show that there was at least five acres of uplands. There is at least 6.1
358 acres of land outside the wetland area. The proposed subdivision plan shows that future
359 work within the 75-foot wetland buffer would need to comply with the city's surface
360 water protection ordinance.

361

362 The Chairman asked for public comment next.

363

364 Mr. Walter Mess of 95 Wyman Road (Hillside Village) addressed the Board first. Mr.
365 Mess noted residents of Hillside Village look out their windows at this property
366 and have enjoyed the view. He referred to the Meadow Lot which he indicated borders
367 their lot. He referred to the Descriptive Narrative which talks about 173 Wyman Road
368 including 31.7 acres, of which 5.2 acres is a haying field. Mr. Mess asked whether the
369 sale would also include the 5.2 acre haying field which is not contiguous. He noted this
370 field is of great value to Hillside Village because of the wildlife it attracts.

371

372 Mr. Borden responded by saying the sale includes the Meadow Lot and felt because the
373 5.2 is a wetland area, it is not something that could be built upon. He suggested perhaps
374 Hillside Village might want to purchase this field and stated the applicant would entertain
375 such a proposal. He added until recently when a survey was done this field was
376 considered to be part of the property. The Chairman clarified with staff what was just
377 stated. Ms. Brunner agreed and added the assessing maps are updated every April 1 and
378 this is when this change will be made regarding the hay field being a separate property.
379 Chair Barrett noted the Board's decision regarding the subdivision does not affect the hay
380 field. Ms. Brunner stated this is a separate parcel and has been assigned its own tax map
381 number.

382

383 Mr. Mess clarified the 5.2 acre parcel is not part of today's discussion and will not be part
384 of the subdivision. The Chairman agreed and added it seems like the 5.2 acre parcel may
385 be sold as a separate parcel but it is not part of this application. With no further
386 comments, the Chairman closed the public hearing. The Chairman felt the applicant went
387 over the waiver criteria well. The Mayor agreed and added it helps when the applicant
388 reviews the criteria one at a time.

389

390 C. Board Discussion and Action

391 A motion was made by Mayor George Hansel that the Board approve S-05-20, including
392 granting a waiver from Section III.C.6.b of the Planning Board Site Plan and Subdivision
393 Regulations, for a 2-lot subdivision of the property located at 173 Wyman Road (TMP#
394 210-048-000) as shown on the plan identified as "Subdivision Proposal Plan of the Bruce
395 L. Borden and Phyllis R. Borden Revocable Trust" prepared by Edward C. Goodrich, Jr.

396 at a scale of 1 inch = 100 feet, dated November 18, 2019 and last revised on September
397 10, 2020, with the following conditions prior to signature by Planning Board chair:

- 398 1. Addition of a note to the subdivision plan which states “Any future work shall
399 comply with the City’s Hillside Protection Ordinance and may require a
400 conditional use permit from the Planning Board.”
401 2. Addition of a note to the subdivision plan which states “A driveway permit will
402 need to be obtained from the City of Keene Department of Public Works for the
403 23.5 acre lot. Application for such a driveway shall include a detailed grading
404 plan based on a topographic survey performed by a licensed surveyor or civil
405 engineer, and shall include appropriate measures for the management of storm
406 water.”
407 3. Owner’s signature appears on plan.

408
409 The motion was seconded by Pamela Russell Slack and was unanimously approved by
410 roll call vote.

411
412 The motion was seconded by Councilor Michael Remy and was unanimously approved
413 by roll call vote.

414
415 **VI. Community Development Director Report**

416 Ms. Kessler stated the draft development code will be submitted to City Council on
417 October 15 to begin the adoption process. She noted that staff have been working to
418 organize some form of in person listening session during the public workshop phase and
419 that they anticipate these sessions would be held on December 14 and February 8th.
420 The first public workshop on the land development code ordinance will be scheduled for
421 November 9, with the second taking place on November 16. There would be public
422 workshops on January 11, January 19, and March 8 meetings.

423
424 She went on to say the need to accelerate this schedule as was requested earlier by
425 Hundred Nights is no longer required as they have been able to obtain a variance to locate
426 a shelter on property on Water Street.

427
428 Ms. Brunner addressed the Board next. In January 2019 the Council adopted renewable
429 goals for the city. The first goal is to obtain 100% of the city’s electricity from renewable
430 energy by 2030. The second goal is to source all of the energy used for transportation,
431 heating and cooling by 2050 – this is not just for municipal operation. Staff has been
432 working with the City’s climate committee and an energy plan for the past year and a
433 half. The draft plan is going to be unveiled by October 20 and a community forum being
434 planned to be conducted via zoom from 6 pm to 8 pm.

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436 **VII. New Business**

437 None

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442 **VII. Upcoming Dates of Interest** –
443 • Planning Board Steering Committee – October 13, 11:00 AM
444 • Planning Board Site Visits – October 21, 8:00 AM – To Be Confirmed
445 • Planning Board Meeting – October 26, 6:30 PM
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447 The meeting adjourned at 7:50 pm
448
449 Respectfully submitted,
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451 Krishni Pahl
452 Minute Taker
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454 Reviewed and edited by: Tara Kessler, Senior Planner
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Advice & Comment Request - Smiths Medical

From: Michael E. Farhm <mfarhm@dewconstruction.com>

Sent: Tuesday, October 20, 2020 9:22 AM

To: Rhett Lamb <rlamb@ci.keene.nh.us>

Subject: Smiths Medical Renovation and Addition request for Planning Board Advice and Comment

Hi Rhett – DEW Construction is working with Smiths Medical on a renovation and very small addition to their existing facility. They produce medical devices that are instrumental in Covid-19 testing and have a new assembly/manufacturing equipment package arriving May 2021 which will be going into the renovated space. DEW is requesting the City Planning Board review this project administratively in interest of time and what we believe is the simplicity of the addition. Some feedback on the addition follows:

1. 2,000 sf is for a mechanical room.
2. 1,400 sf is for access from the area to be renovated to the existing warehouse. They refer to this area as a material transfer space.
3. The existing facility is approximately 140,000 sf so the addition of 3,400 sf is approximately 2.4% of the entire footprint.
4. The addition will be approximately 15 feet high.
5. We plan to use insulated metal panels for the exterior walls, matching the existing panels.

Thank you for the consideration –Mike



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Michael E. Farhm

Vice President, Business Development

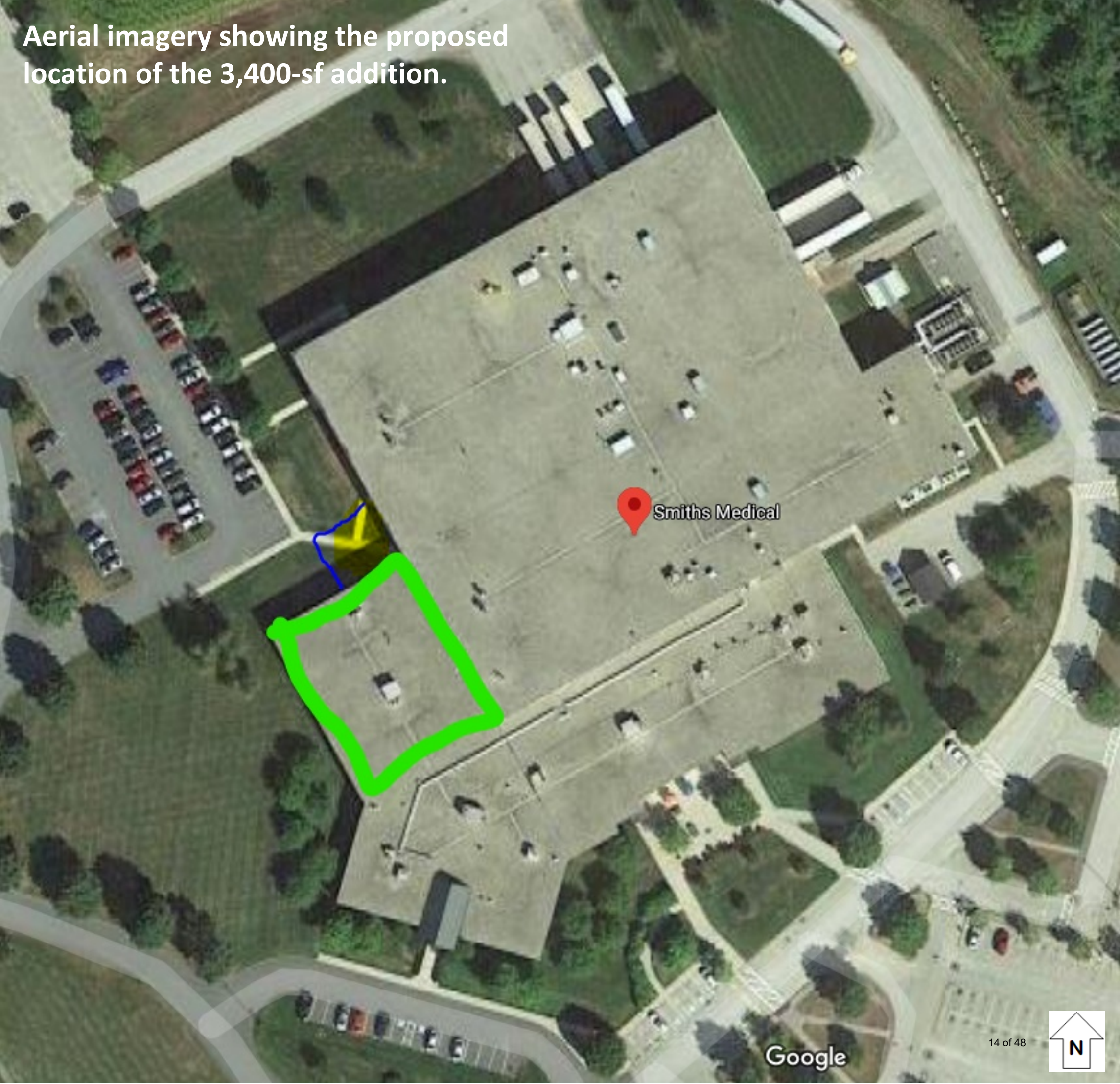
main 603.352.3070

direct 603.283.9491

cell 603.400.0604

email mfarhm@dewconstruction.com

Aerial imagery showing the proposed location of the 3,400-sf addition.



Smiths Medical



S-06-20 – BOUNDARY LINE ADJUSTMENT – 649 & 655 MAIN ST

Request:

Applicant Cardinal Surveying and Land Planning, on behalf of owners Jill Batty and Daryl Stutes, proposes a boundary line adjustment between the property located at 649 Main St (TMP #120-059-000) and 655 Main St (TMP# 120-058-000). This adjustment would result in a transfer of 0.22-ac from the 0.49-ac lot located at 655 Main St to the 0.56-ac lot located at 649 Main St. Both properties are located in the Low Density District.

Background:

These two properties are located on the corner of Main Street and Edgewood Avenue in the Low Density District, about 0.1 miles southeast of the St. Joseph Cemetery. This section of Main Street is a residential area, and both of these lots have been developed as single family homes.

The request is to transfer the area to the rear of the 655 Main Street property to the 649 Main Street property. In the project narrative, the Applicant notes that the purpose of this transfer of land is to install a solar energy system for the 649 Main Street property. This would result in a transfer of 0.22 acres (9,852 sf) from the property located at 655 Main Street to the property located at 649 Main Street. The table below provides the area of each lot prior to and after the adjustment. The minimum lot area in the Low Density District is 10,000 sf.

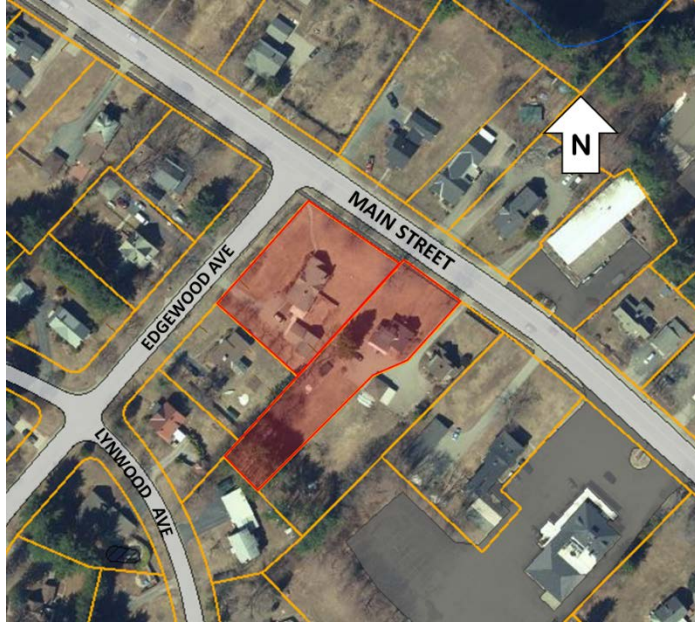


Figure 1. Aerial view of the properties located at 649 & 655 Main Street, highlighted in red.

Table 1. Area of Land Affected by Proposed Boundary Line Adjustment		
	649 Main Street (TMP# 120-059-000)	655 Main Street (TMP# 120-058-000)
Prior to Adjustment	24,178 sf / 0.56 ac	21,552 sf / 0.49 ac
After Adjustment	34,030 sf / 0.78 ac	11,700 sf / 0.27 ac

Completeness:

The Applicant has requested exemptions from providing a separate proposed conditions plan, grading plan, landscaping plan, lighting plan, drainage report, and traffic report. After reviewing this request, Staff has determined that exempting the Applicant from submitting this information would have no bearing on the merits of the application, and recommend that the Board accept the application as “complete.”

Departmental Comments:

There were no departmental comments on this application.

Application Analysis:

This boundary line adjustment does not compromise the minimum development capacity of either parcel. As no new development is proposed as part of this application, the analysis provided below is focused on the Planning Board's development standards most relevant to this application.

3. Hillsides: No steep slopes are present on either parcel. This standard does not apply.
5. Flooding: Neither parcel is located in the 100-year floodplain. This standard does not apply.
13. Comprehensive Access Management: No changes are proposed to the existing driveways for either parcel. There is an existing sidewalk on Main Street that provides pedestrian access to both sites. This standard appears to be met.
16. Wetlands: No wetlands are present on either site. This standard does not apply.
17. Surface Water: No surface waters are present on either site. This standard does not apply.

RECOMMENDATION FOR APPLICATION:

If the Board is inclined to approve the Application, the following motion is recommended:

Approve S-06-20, as shown on the plan identified as "Boundary Line Adjustment Plan, Lots 120-058-000 & 120-059-000, 649 & 655 Main Street, Keene, NH 03431" prepared by Cardinal Surveying and Land Planning at a scale of 1" = 20' on September 17, 2020 with no conditions.

CITY OF KEENE | PLANNING BOARD

SUBDIVISION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.

A Project Name Boundary Line Adjustment	Date Received/Date of Submission:
	Community Development Dept File # By: <i>S-06-20</i>
Tax Map Parcel number(s) 120 - 059 - 000 120 - 058 - 000	RECEIVED SEP 18 2020

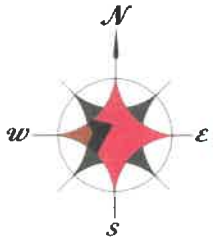
Project Address: 649 & 655 Main Street	Owner	Name/Company: PLEASE PRINT: Daryl Stutes
		Address: 649 Main Street, Keene, NH
Acreage/S.F. of Parcel: 120-058: 2,552 sq/.49 AC 120-059: 24,178 S.F./.56 AC	Applicant	Telephone: E-mail: dstutes1@yahoo.com
		Signature: <i>Daryl Stutes</i> Printed Name: Daryl Stutes
Zoning District: LOW DENSITY	Applicant	Contact Name/Company: PLEASE PRINT: Wendy Pelletier/Cardinal Surveying & Land Planning
		Address: 185 Winchester Street, Keene, NH Telephone: 603 499-6151 E-mail: wendy@cardinalsurveying.net
		Signature: <i>Wendy Pelletier</i> Printed Name: Wendy Pelletier

B Descriptive Narrative Including

<input checked="" type="checkbox"/> Type of development	<input checked="" type="checkbox"/> Sedimentation Control	<input checked="" type="checkbox"/> Scope/scale of development
<input checked="" type="checkbox"/> Proposed uses	<input checked="" type="checkbox"/> Vegetation	<input checked="" type="checkbox"/> Parcel size
<input checked="" type="checkbox"/> Location of access points	<input checked="" type="checkbox"/> Debris management	<input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan
<input checked="" type="checkbox"/> Any other descriptive information	<input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris	

C A complete application must include the following:

<input checked="" type="checkbox"/> Two (2) copies of completed application forms signed and dated	<input checked="" type="checkbox"/> Three (3) copies of "D" size architectural elevations (24" x 36")
<input checked="" type="checkbox"/> Two (2) copies of descriptive narrative	<input type="checkbox"/> Plans stamped/signed by reg. professional
<input checked="" type="checkbox"/> Notarized list of all owners of property within 200' - include owner and applicant	<input type="checkbox"/> Two (2) copies on
<input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter	<input checked="" type="checkbox"/> Three (3) copies of all technical reports
<input type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36")	<input checked="" type="checkbox"/> Two (2) color architectural elevations on 11" x 17"
	<input type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing and mailing notices out to abutters



CARDINAL SURVEYING AND LAND PLANNING, LLC

185 Winchester Street
Keene, NH 03431
(603) 499-6151
www.cardinalsurveying.net
"Know Your Boundaries"

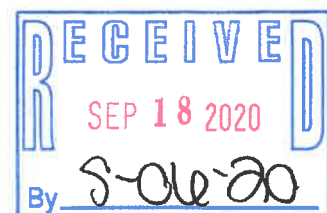
September 17, 2020

649 & 655 Main Street
Boundary Line Adjustment
TM 120-059-00 & TM 120-058-000

Project Narrative

Daryl Stutes and Jill Batty own 2 adjoining residential properties at 649 & 655 Main Street, at the corner of Edgewood Ave.
The lots are 24,178 s.f./.56 Acres & 21,552 s.f./.49 Acres and are in the low-density zone.
They are proposing a boundary line adjustment to combine the rear portion of lot 58 with lot 59 for the purpose of installing solar panels for lot 59.

There is no building or improvements planned on either lot at this time, therefore we request waivers from a Proposed Conditions plan, Grading Plan, Landscaping Plan and Lighting Plan, also Development Standards 1-19.



120-098-000

KIMBERLY J. CLARK & PETER CLARK
641 MAIN STREET
KEENE, NH 03431
VOL. 1919 PG. 598

120-002-000

JAMES W. LAURENT & DONNA L. LAURENT
650 MAIN STREET
KEENE, NH 03431
VOL. 1468 PG. 448

120-097-000

SETH R. LIZOTTE & LINDSEY L. CUSHING
7 EDGEWOOD AVENUE
KEENE, NH 03431
VOL. 2906 PG. 139

120-003-000

JOANN BAILEY REVOCABLE TRUST
654 MAIN STREET
KEENE, NH 03431
VOL. 2212 PG. 731

120-004-000

JOANN BAILEY REVOCABLE TRUST
654 MAIN STREET
KEENE, NH 03431
VOL. 2212 PG. 731

120-060-000

ROBERT J. & MARY JANE LUPIEN
IRREVOCABLE TRUST
10 EDGEWOOD AVENUE
KEENE, NH 03431
VOL. 2910 PG. 307

120-061-000

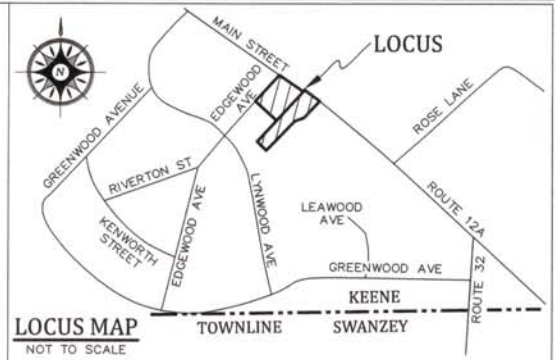
LAURA C. BORDEN
14 EDGEWOOD AVENUE
KEENE, NH 03431
VOL. 2636 PG. 441

120-062-000

JONATHAN R. MASON
24 LYNWOOD AVENUE
KEENE, NH 03431
VOL. 1433 PG. 515

120-057-000

KATHLEEN F. LILLY & THOMAS C. LILLY
1974 WINDROSE WAY
MYRTLE BEACH, SC 29577
VOL. 2982 PG. 546



NOTES

- 1) THE PURPOSE OF THIS PLAN IS TO ADJUST THE BOUNDARY LINE BETWEEN LOT 120-058-000 AND LOT 120-059-000.
2) OWNERS OF RECORD: DARYL L. STUTES & JILL I. BATTY
3) AREAS: LOT 120-058-000 EXISTING: 21,552 SF OR 0.49 ACRES
4) MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE TAX MAPS.
5) CURRENT ZONING: LOW DENSITY DISTRICT
6) THE RIGHT OF WAY OF MAIN STREET, NH ROUTE 12, WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND IS SHOWN TO BE 3 ROADS WIDE BASED ON THE WIDENING AND STRAIGHTENING OF OCTOBER 14, 1865 FROM BRANCH BRIDGE TO THE LINE OF SWANZEY RECORDED IN VOLUME 1 PAGE 268 ON FILE AT THE CITY OF KEENE CLERK'S OFFICE.
7) THE RIGHT OF WAY OF EDGEWOOD AVENUE WAS DETERMINED BY THE LOCATION OF MONUMENTATION AND THE CENTERLINE OF THE EXISTING TRAVELED WAY AND IS SHOWN TO BE 70 FEET WIDE BASED ON REFERENCE PLAN 2.
8) LOTS 120-058-000 AND LOT 120-059-000 ARE NOT WITHIN THE 100 YEAR FLOOD PLAIN.
9) THE PARCEL MAY BE SUBJECT TO EASEMENTS AS THEY EXIST OF RECORD OR IN FACT. CARDINAL SURVEYING AND LAND PLANNING DOES NOT INTEND OR REPRESENT THAT ALL RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN. A SPECIFIC TITLE EXAMINATION IS SUGGESTED TO DETERMINE THE NATURE AND EXTENT OF RIGHTS AND EASEMENTS AFFECTING THE SUBJECT PROPERTY.
10) THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CARDINAL SURVEYING AND LAND PLANNING MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE.

REFERENCE PLAN

- 1) "BOUNDARY LINE ADJUSTMENT PREPARED FOR ROGER T. PACKARD & STEVEN A. SALZA OF PROPERTY LOCATED AT 655 & 659 MAIN STREET, CITY OF KEENE, COUNTY OF CHESHIRE, STATE OF NEW HAMPSHIRE"; PREPARED BY SVE ASSOCIATES; DATED 4-26-2002; SCALE 1"=20'; RECORDED IN CABINET 12 DRAWER 8 NUMBER 1 AT THE CCDR.
2) "PLAN OF EDGEWOOD A SUBURB OF KEENE, N.H."; SURVEYED BY SAMUEL WADSWORTH, APRIL-1913; PREPARED BY NORMAN H. SMITH; DATED 8/6/45; SCALE 1"=80'; RECORDED IN PLAN BOOK 7 PAGE 0 AT THE CCDR.

APPROVED AS A BOUNDARY LINE ADJUSTMENT IN ACCORDANCE WITH THE PROVISIONS OF RSA 674. THE CITY OF KEENE PLANNING BOARD BY [Signature] CHAIRMAN

SURVEYOR'S CERTIFICATION

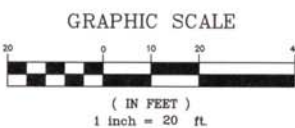
THIS SURVEY IS THE RESULT OF A RANDOM TRAVERSE USING AN ELECTRONIC TOTAL STATION AND MEETS THE MINIMUM REQUIREMENTS OF AN URBAN SURVEY AS SPECIFIED IN NH LAN TABLE 500.1. I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO ALL APPLICABLE LOCAL ZONING ORDINANCES AND RULES.

OWNER CERTIFICATIONS

WE, DARYL L. STUTES AND JILL I. BATTY, CERTIFY THAT WE ARE THE OWNERS OF LOT 120-058-000 AND LOT 120-059-000, AND APPROVE OF THIS BOUNDARY LINE ADJUSTMENT. DARYL L. STUTES DATE 9/17/20 JILL I. BATTY DATE 9/17/20

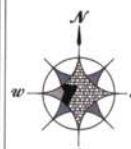
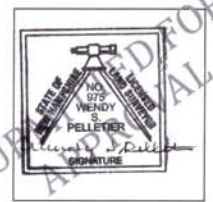
LEGEND

- PIN FOUND
- MONUMENT FOUND
- REBAR SET
- UTILITY POLE
- HYDRANT
- WATER VALVE
- CATCH BASIN
- SEWER MANHOLE
- CURB LINE
- WOOD FENCE
- EXISTING CONTOUR LINE
- APPROXIMATE ABUTTER LINE
- BUILDING SETBACK LINE



BOUNDARY LINE ADJUSTMENT PLAN

LOTS 120-058-000 & 120-059-000
649 & 655 MAIN STREET
KEENE, NH 03431
DATE: SEPTEMBER 17, 2020 SCALE: 1"=20'
PREPARED FOR: DARYL L. STUTES AND JILL I. BATTY
CARDINAL SURVEYING & LAND PLANNING
Keene, New Hampshire 03431
Tel. (603) 499-6151



JOB NO. 605 SURVEY DATE: 9-15-20 FB: 9/20

SPR-18-14, Modification #1 – SITE PLAN REVIEW – 166 West Street

Request:

Applicant and owner Flyboy Realty LLC proposes to renovate the former 4,000-sf Friendly’s Restaurant building and construct a two-story, 12,300-sf mixed-use building on the parcel located at 166 West Street (TMP# 576-002-000). The site is 1.03 acres and is located in the Central Business Limited District, the Gilbo Avenue Design Overlay District and the Downtown Historic Overlay District.

Background:

This property, which is the site of the former Friendly’s Restaurant, is bordered by West Street to the north, commercial properties to the east and west, and Gilbo Avenue to the south. It is located in the Central Business Limited District as well as two overlay zones: the Downtown Historic Overlay District and the Gilbo Avenue Design Overlay District. There are existing curb cuts on both West Street and Gilbo Avenue, and the West Street sidewalk provides pedestrian access to the site. There are no sidewalks on this section of Gilbo Avenue.



Figure 1. Aerial image of the 166 West Street property, highlighted in yellow.

The Applicant proposes to renovate the former Friendly’s building for use as an office building, and to construct a two-story, 12,300 sf building with office space on the first floor and eight apartments on the second floor. In addition, the Applicant proposes to modify both of the existing curb cuts, and modify the site’s parking configuration, lighting, and landscaping.

Sec. 102-1473(4) of the Zoning Ordinance (Gilbo Avenue Design Overlay District) states that “Lots with a property boundary(ies) that abut Gilbo Avenue shall orient new buildings such that principal façades are oriented toward Gilbo Avenue.” The Applicant received a variance from the Zoning Board of Adjustment at their meeting on October 5, 2020 to permit a new building on a lot that abuts Gilbo Avenue with a principal building façade that does not face Gilbo Avenue. The ZBA Notice of Decision is attached to this staff report.

Completeness:

Staff recommend accepting the application as “complete.”

Departmental Comments:

- **Fire:** No comments
- **Code Enforcement:**
 1. The Applicant must provide detectible warning strips at the crosswalk for the new building.
- **Police:** No comments
- **Engineering:**
 1. Please show the location of the temporary construction entrance into the site.
 2. Please provide separate service connections for domestic and fire lines (Sheet #C-1).

3. Please provide high point spot grades as needed to clarify the intent of the grading at the proposed crossing (Sheet #C-3).
4. The drainage report shows that the proposed subsurface infiltration trench top elevation is 474.63' and additional 26" of back fill materials to be placed on top of it per detail drawing, which brings the finish grade elevation to 476.79'. On the contrary, the proposed Catch Basin (CB) rim elevation is 476.03'. Please revise the site plan to reflect what is shown in the drainage report, or vice versa.
5. Please provide sewer discharge calculations for the new building.

Application Analysis: The following is a review of the Planning Board Development Standards relevant to this application.

1. **Drainage:** This standard states that the development of a site shall not result in increased runoff or velocity of surface runoff onto adjacent properties. The Applicant proposes to construct a mixed use building and install new paved parking spaces in an area that is partially grass, resulting in a decrease in pervious area from 0.330 acres to 0.172 acres, and an increase in impervious area from 0.661 acres to 0.819 acres. In order to offset this increase in impervious surface, the Applicant proposes to install a 10" perforated pipe in a bed of stone between catch basins in order to promote infiltration. In addition, stone "drip strips" are proposed along the east and west edges of the proposed new building. According to the drainage summary submitted for this project dated September 18, 2020, these measures would result in no increase in volume or velocity of runoff into the West Street storm water system, and an increase of 0.06 cubic feet per second into the Gilbo Avenue storm water system (for a 24-year storm event). In the opinion of Engineering staff, this increase is within the margin of error for stormwater modeling software and is considered *de-minimis*. This standard appears to be met.
2. **Sedimentation and Erosion Control:** The Applicant proposes to install silt fencing around the perimeter of the area to be disturbed, as shown on Sheets C-2 and C-3 of the plan set. In addition, the Applicant proposes to install a stabilized construction entrance to prevent tracking of sediment onto West Street during construction, as shown on Sheet C-2. This standard appears to be met.
3. **Hillside Protection:** No steep slopes are present on this site. This standard does not apply.
4. **Snow Storage and Removal:** The Applicant proposes on-site snow storage on the southeast corner of the site in the landscaping area adjacent to Gilbo Avenue, and notes in the project narrative that excess snow will be removed from the site. There are no excess parking spaces available for snow storage, as the proposed parking will provide the exact number of spaces required by zoning. This standard appears to be met.
5. **Flooding:** This site is not located in the 100-year floodplain. This standard does not apply.
6. **Landscaping:** The Applicant proposes to remove two mature maple trees on the south side of the site which fall within the footprint of the proposed new building and install four red maple trees, one flowering crab tree, and a mix of 21 shrubs, as shown on Sheet LA-1 of the plan set. Two of the red maples are proposed in parking lot islands, one red maple is proposed in the planting area adjacent to West Street, and one red maple is proposed for the planting area adjacent to Gilbo Ave. In addition, there are four existing mature trees along the eastern edge of the parking lot which are to remain, resulting in a total of nine trees for a parking lot with 60 parking spaces. These existing mature trees will be protected during construction with construction fencing placed outside the dripline of the trees.

This standard requires a ratio of one tree per ten parking spaces for parking lots of 10 or more spaces. The proposal to install 5 trees, in addition to preserving four existing mature trees, meets this

requirement. In addition, sub-section (g) of this standard requires that, for parking lots of 50 spaces or more, additional requirements be met for landscape coverage, visual relief, width of planting areas, and landscape buffers. The Applicant proposes to install two parking lot landscape islands, each with a red maple tree, which meets the requirement to include landscaping that covers not less than 10 percent of the total area of parking spaces. In addition, the landscape islands serve to break up the visual expansiveness of the lot and meet the requirement that planting areas shall be at least 8 feet wide with curbs to prevent damage from vehicles. Finally, the Applicant proposes to provide landscaping along 75% of the length of the right of way for Gilbo Avenue and 76% of the right of way for West Street in order to provide a landscape buffer between the parking lot and adjacent sidewalks and public roads. This standard appears to be met.

8. Screening: The Applicant notes that the existing dumpsters are located inside a walled enclosure. No new dumpsters are proposed. In addition, the Applicant proposes to install 10 ground-mounted HVAC units, which are each 24 inches tall, on the west side of the proposed new building. Per Sec. 102-1473(11) of City Code, Ground-level HVAC units are not permitted in the Gilbo Avenue Design Overlay District, unless completely screened from view. In written correspondence with staff, the Applicant stated that these HVAC units will either be screened with a fence or an arbor vitae hedge, depending on the preference of the Historic District Commission. This standard appears to be met.
10. Lighting: The Applicant proposes to install six, 20-foot tall pole mounted lights in the parking area and wall-mounted lights above egress doors on the north and south facades of the new building. All light fixtures are proposed to be full cut-off LED lights. The pole-mounted lights will be placed on timers and reduced to 50% illumination levels after 10:00 pm; however, the wall-mounted lights will remain on throughout the night to provide security lighting.

The Applicant has submitted light fixture cut sheets, which are attached to this staff report, as well as a lighting plan to show illumination levels for the parking lot area. According to this plan (Sheet LT-1), the average illumination will be 1.93 foot-candles (fc), which is between the acceptable values for a medium activity level parking lot (2.4 fc average) and a low activity level parking lot (0.8 fc average), and the minimum illumination levels will be 0.6 fc, which is consistent with the acceptable levels for a medium activity level parking lot. The uniformity ratio is 3.22, which is less than the required 4:1 ratio. The proposed use for this lot, which includes an office building and a mixed-use building with office space on the ground floor and apartments on the second floor, suggests that the activity level for the parking lot would be classified as “medium.”

In addition, the Applicant submitted a reduced lighting plan (Sheet LT-2) to show illumination levels on the site after 10:00 pm when light levels are reduced by 50%. This plan indicates that the average illumination levels for the reduced lighting would be 0.97-fc. Per sub-section C.6.a. of this standard, the average illumination levels between 10:00 pm and 6:00 am shall not exceed 0.5-fc. The Applicant is aware of this issue, and indicated to staff that a revised plan will be submitted which complies with this standard. Staff recommend that the submission of a revised reduced lighting plan to show average illumination levels that do not exceed 0.5-fc be included as a condition of approval.

11. Sewer and Water: The Applicant proposes a new sewer line to connect the proposed new building to the sewer line in West Street. The Applicant submitted a sewer plan and sewer details (Sheets C-4 and C-5) to show the location and size of the proposed sewer line, which will be a two inch force main connected to a sewer pump. Engineering staff have reviewed the sewer discharge calculations and do not have any concerns about the capacity of the existing sewer line on West Street.

The Applicant proposes separate domestic and fire protection water lines for the new building, which will connect to the water line in Gilbo Avenue. Engineering staff have reviewed this proposal and

have no concerns regarding the capacity of the water line in Gilbo Avenue. This standard appears to be met.

12. Traffic: In the project narrative, the Applicant states that the existing traffic generated on the site includes 500 vehicle trip ends (vte) per day, 51 vte during the am peak hour, and 44 vte during the pm peak hour. With the proposed use of this site, the Applicant states there will be 180 vehicle trips per day associated with the office uses on the site, and 80 vehicle trips per day associated with the apartment uses for a total of 260 vehicle trips per day. The peak hour traffic generation for the proposed uses is estimated to be 51 vte for the am peak hour and 51 vte for the pm peak hour. Based on these traffic generation estimates, the proposed uses will not result in an increase in traffic generation to the site.

This standard states that all development shall comply with the parking requirements of the Zoning ordinance. The Zoning Administrator has determined that 60 spaces are required by zoning, which is the number of parking spaces proposed on the site plan. In addition, the Applicant proposes to install a bicycle rack on the north end of the new building in order to meet the requirement to provide on-site bicycle parking for commercial and multi-family residential developments. This standard appears to be met.

13. Comprehensive Access Management: There are two existing curb cuts which provide vehicle access to the site from both West Street and Gilbo Avenue. The Applicant proposes to modify both of these curb cuts by narrowing the curb cut on West Street from 35 feet to 24 feet and narrowing the curb cut on Gilbo Avenue from 25 feet to 22 feet. This proposal would bring the existing driveways into compliance with Sec. 70-135(e)(9), which states” *Industrial, commercial, agricultural, multifamily residential or temporary driveways shall not be more than 25 feet wide at the property line and 50 feet wide at the curblane, unless additional width or lanes are required as the result of a traffic study and/or geometric analysis prepared by an engineer licensed in the State of New Hampshire.*”

With respect to accessibility, the Applicant proposes to install a pedestrian crosswalk to provide an accessible path of travel from the ADA parking spaces on the east side of the site to the main entrance of the proposed new building and the entrance to the existing building. There is an existing walkway that connects the former Friendly’s Restaurant building to the sidewalk on West Street. A bicycle rack is provided on site for the proposed new building. This standard appears to be met.

15. Filling and Excavation: The Applicant states in the project narrative that the truck route for hauling excess material from the site will be from Gilbo Avenue to West Street to Route 12. No excavation or fill is proposed in areas which involve the floodplain, wetlands, or steep slopes. This standard appears to be met.

- 16 & 17. Wetlands and Surface Waters: There are no wetlands or other surface waters present on this site. These standards do not apply.

19. Architecture and Visual Appearance: This property is located in the Downtown Historic District and the proposed activity will require the issuance of a Certificate of Appropriateness from the Historic District Commission (HDC). A public hearing is scheduled for the October 21, 2020 HDC meeting. Per Section III.B.4 of the Planning Board Site Plan and Subdivision Regulations, development on property located within the Downtown Historic District shall not be subject to the requirements of Planning Board Development Standard 19 – Architecture and Visual Appearance, if such development is an activity requiring the issuance of a Certificate of Appropriateness.

Driveway Criteria Analysis: The following is a review of the relevant driveway criteria listed in Section 70-135 subsection (e) of City Code:

- (1) *If the installation of a driveway requires disrupting an existing sidewalk, the sidewalk must be restored or replaced in compliance with section 70-127.*

The Applicant proposes to narrow the curb opening on West Street from 35 feet to 24 feet. There is an existing asphalt sidewalk on West Street in this location, as shown in Figures 2 and 3. The Board may wish to ask the applicant for clarification as to how the disturbed portion of the sidewalk will be restored or replaced in compliance with section 70-127 of City Code.



Figure 2. A street view image of the sidewalk on West Street, looking west from the existing West Street curb cut.



Figure 3. A street view image of the sidewalk on West Street, looking east from the existing West Street curb cut.

- (2) *Driveways must be placed so as to ensure that vehicles entering and exiting the driveway have an all season safe sight distance in all directions not only of the road, but also of bicycle and pedestrian traffic on the sidewalk. For purposes of this section, an all-season safe sight distance shall be at least 200 feet in all directions within which there are no visual obstructions.*

The proposal is to narrow two existing curb cuts; no new curb cuts are proposed at this time. This standard does not apply.

- (6) *Driveways must not block the flow of drainage in gutters or drainage ditches or pipes.*

Engineering staff have reviewed this application and did not note any concerns related to drainage for the existing curb cuts.

- (7) *Driveways must not direct stormwater across sidewalks or onto city streets, except that the portion of a driveway within the public right of way may drain towards the street.*

This site is relatively flat and gradually slopes to the south. Stormwater runoff that sheet flows toward the Gilbo Avenue curb cut on the south end of the site will be directed into a drainage grate before it can reach the public right of way. This standard appears to be met.

- (9) *Industrial, commercial, agricultural, multifamily residential or temporary driveways shall not be more than 25 feet wide at the property line and 50 feet wide at the curblines, unless additional width or lanes are required as the result of a traffic study and/or geometric analysis prepared by an engineer licensed in the State of New Hampshire.*

As noted above under Development Standard #13 – Comprehensive Access Management, the Applicant proposes to narrow both existing curb cuts, thereby bringing them into compliance with this criteria. This standard appears to be met.

- (11) *Driveways on opposite sides of the street shall be aligned or offset sufficiently, so as to avoid turning conflicts.*

The proposal is to narrow two existing curb cuts; no new curb cuts are proposed at this time. This standard does not apply.

- (13) *All driveways shall be constructed to standards approved by the city engineer. Portions of a driveways lying outside of the public right-of-way shall additionally comply with the design standards described in section 102-794.*

Section 102-794, “Parking lot and parking space requirements,” discusses the acceptable standards for parking lots, including acceptable materials (concrete, gravel, or paving). The Applicant does not propose any changes to surface materials, which are currently paved asphalt. This standard appears to be met.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

Approve SPR-18-14, Modification #1 for renovations to the existing building and the construction of a two story, 12,272-sf mixed-use building on the property located at 166 West Street (TMP# 576-002-000), as presented on the site plan identified as “166 West Street Redevelopment, Keene, NH” prepared by SVE Associates at varying scales on September 18, 2020 and last revised on October 16, 2020, with the following conditions prior to signature by Planning Board Chair:

- 1. Submittal of a revised “Reduced Lighting Plan” which demonstrates that average illumination levels on the site will not exceed 0.5-fc between the hours 10:00 pm and 6:00 am.**
- 2. Owner’s signature appears on plan.**

CITY OF KEENE | PLANNING BOARD

SITE PLAN REVIEW / MODIFICATION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.

A Project Name 166 Tax Map Parcel number(s) 5 7 6 - 0 0 2 - 0 0 0 - _____ _____ _____	Date Received/Date of Submission: _____ Community Development Dept. File #: _____	
	Project Address: 166 WEST STREET Zoning District: CBL Acreage/S.F. of Parcel: 1.03 +/- / 45,060 SF	Owner
Modifications: Is this a modification to a previously-approved site plan? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes: SPR#: _____ Date: 12/10/75 For those sections of the application that are not affected by the proposed modification to the previously approved site plan, you are encouraged to request exemptions in lieu of submitting required documents.	Applicant	

B Descriptive Narrative including

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development | <input checked="" type="checkbox"/> Sedimentation Control | <input checked="" type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input checked="" type="checkbox"/> Vegetation | <input checked="" type="checkbox"/> Parcel size |
| <input checked="" type="checkbox"/> Location of access points | <i>N/A</i> <input type="checkbox"/> Debris management | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <i>N/A</i> <input type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

C A complete application must include the following

- | | |
|--|--|
| <input type="checkbox"/> Two (2) copies of completed application forms signed and dated
<input type="checkbox"/> Two (2) copies of descriptive narrative
<input type="checkbox"/> Notarized list of all owners of property within 200'
- include owner and applicant
<input checked="" type="checkbox"/> Two (2) sets of mailing labels, per abutter
<input type="checkbox"/> Seven (7) copies on "D" size paper of plans (24" x 36") | <input type="checkbox"/> Three (3) copies of "D" size architectural elevations (24" x 36")
<input type="checkbox"/> Plans stamped/signed by reg. professional
<input type="checkbox"/> Two (2) copies on _____
<input type="checkbox"/> Three (3) copies of all technical reports
<input type="checkbox"/> Two (2) color architectural elevations on 11" x 17"
<input checked="" type="checkbox"/> A check to cover the costs of legal notice to advertise the public hearing and mailing notices out to abutters |
|--|--|

**City of Keene
SITE PLAN REVIEW**

**Proposed Offices and Apartments
166 West Street
Keene, NH**

Property Owner:
Flyboy Realty, LLC
PO Box 1060
Keene, NH 03431

September 18, 2020

Narrative

This application is for a proposed mixed use development with offices and apartments at the former Friendly's Restaurant property at 166 West Street. This is a 1.03 acre lot in the CBL District and the Gilbo Avenue Design Overlay District. The property is also located within the Historic District.

The former restaurant is a 4000 sf building which will be renovated and converted to a single office use for Eyeworks. The existing building is a brick building painted white. The white paint will be removed, and the red brick color will be restored. Exterior changes to the building will include a new entry on the east side, removal of the cupola, removal of the false dormers, removal of the red awnings, and new larger windows facing West Street.

A new building will be added at the rear of the site adjacent to Gilbo Avenue. The new building will be two stories with 6136 sf per floor. The ground floor will be administrative offices for Chesco and the second floor will be eight one bedroom apartments.

On-site parking for 60 spaces is provided. Access to the site is via two existing driveways, one on West Street and one on Gilbo Avenue. Both driveways will remain.

DEVELOPMENT STANDARDS:

1. Drainage.

The existing onsite drainage system of catch basins will be maintained. A test pit at the site revealed clean sandy soils with no groundwater to a depth of six feet. Based on that finding, we are introducing stormwater infiltration under a portion of the parking lot. A portion of the existing drainage system will be excavated and changed to perforated pipe with a stone infiltration bed. The new building will also have infiltration strips on the east and west sides of the building. Excess runoff will continue to pass through the existing drain lines which tie into the city drain at West Street and Gilbo Ave. The infiltration system is sized to accommodate up to a 25 year design storm with no increase in runoff leaving the site. Please see the attached plans and drainage report for additional information.

- 2. Sedimentation/Erosion Control.**

Sediment and erosion control measures as shown on the attached plans are designed to meet the State of New Hampshire RSA 485-A:17 for control of runoff and sedimentation. Please see attached plans for more details.
- 3. Hillside Protection.**

Not applicable.
- 4. Snow Storage and Removal.**

Snow will be stored on site where shown on the site plan. Excess snow will be removed from the site.
- 5. Flooding.**

This property is not identified as being within the floodplain for the City of Keene.
- 6. Landscaping.**

New landscaping on the site is proposed. Four red maple trees and one flowering crab tree will be added along with 21 shrubs. Two parking lot islands will be added to provide shade within the existing paved area. See attached landscape plan.
- 7. Noise.**

The proposed uses as apartments and offices will not generate excessive noise.
- 8. Screening.**

No new screening is proposed. The existing dumpsters are in a walled enclosure and are not visible from the public way.
- 9. Air Quality**

This project will not affect air quality.
- 10. Lighting.**

On site lighting will be accomplished using high efficiency LED fixtures by Galleon LED. Six pole mounted lights on 20' poles will provide an average 1.93 footcandles throughout the parking area. Parking lot light fixtures will be placed on timers and photocells with lights reduced to 50% levels (0.97 fc) after 10:00 PM. Uniformity levels will be 3.22. Wall mounted fixtures will be added over the two passage doors using full cutoff LED fixtures mounted at 9' height. Wall fixtures will remain on after hours for security lighting around the building. Please see attached plans and specifications for more detail. Fixture cut sheets have also been provided.
- 11. Sewer and Water.**

The proposed new building will be served by city water and city sewer. The existing city utilities are adequate to support the proposed use.

12. Traffic.

The previous use on the site was a 109 seat Friendly's restaurant which served breakfast, lunch, and dinner seven days per week. The ITE Trip Generation manual estimates that approximately 500 vehicle trip ends (vte) per day would be generated with 51 vte per AM peak hour and 44 vte per PM peak hour. The proposed uses will be two professional offices and eight one-bedroom apartments. The professional offices require appointments for the primary services which are scheduled from 8 AM to 5 PM Monday – Friday. The total number of employees in the offices is 30. Between the two offices they see an average of 45 clients and customers per day, mostly by appointment. This equates to approximately 180 vehicle trips per day. The apartments will generate an average of 10 vpd per apartment or 80 vpd. This brings the total traffic generated to approximately 260 vpd nearly half of the previous use at the site. AM and PM peak hours will be very similar to the previous use at 51 vte per AM peak hour and 51 vte per PM peak hour. The traffic from the proposed uses will not significantly affect the safety or capacity of West Street or Gilbo Ave.

13. Driveways.

The existing property has a driveway on West Street and a driveway on Gilbo Avenue. The driveway on West Street will be narrowed from 35 feet to 24 feet. The driveway on Gilbo Avenue will be narrowed from 25 feet to 22 feet.

14. Hazardous and Toxic Materials.

The owner has no knowledge of hazardous or toxic materials on the site.

15. Filling/Excavation.

Excess material will be hauled from the site using Gilbo Avenue to West Street to Rt. 12. Approximately 600 CY of sand are expected to be removed to create the basement area for the new building. The only materials to be hauled onto the site will be processed gravels for the proposed building pad and revisions to the parking area.

16. Wetlands.

No wetlands exist on the site.

17. Surface Waters.

No surface waters exist on or near the site.

18. Stump Dumps.

No stump dumps will be constructed on site.

19. Architectural and Visual Appearance.

The former restaurant building will be cleaned to remove the white paint on the exterior and restore the red brick. A new covered entry will be constructed on the east side of the building. The cupola and two false dormers will be removed along with the existing red awnings. A new metal roof will be installed and larger windows will be installed on the north (facing West Street) and east facades.

The proposed new building (52' x 118') will be a two story structure with office space on the ground floor and eight apartments on the second floor. The ground floor will have red brick veneer while the second floor will have vinyl siding. A covered entry to an elevator lobby and stairs leading to the apartments will be constructed on the north façade, facing the parking lot. A second covered entry will be on the east façade to provide public access to the office space. An egress door on the south façade, facing Gilbo Ave., will also be covered to protect the landing and steps leading back to the parking area. The covered entries provide visual interest and a pedestrian scale at the site.

Because the new building is required to be a maximum of five feet from the Gilbo Ave. right of way, we chose to have the public entries on the facades internal to the lot. There are no sidewalks on this portion of Gilbo Ave. and no public parking on the street. We felt this results in an unsafe situation where occupants and customers could exit the building and walk directly into the street. An application for variance has been filed to allow the public entries to be placed on building facades internal to the lot rather than on the façade facing Gilbo Ave.



City of Keene

New Hampshire

NOTICE OF DECISION

ZONING BOARD OF ADJUSTMENT

CASE NUMBER: ZBA 20-17
Property Address: 166 West St.
Zone: Central Business Limited District
Owner: Flyboy Realty, LLC
Petitioner: Jim Phippard, Brickstone Land Use Consultants
Date of Decision: October 5, 2020

Notification of Decision:

Petitioner, Flyboy Realty, LLC, of Keene, NH, represented by Jim Phippard, Brickstone Land Use Consultants of 185 Winchester St., Keene, request a Variance for property located at 166 West St., Keene, Tax Maps #576-002-000, which is in the Central Business Limited District. The Petitioner, which requested a Variance for a new building on a lot that abuts Gilbo Avenue with a principal building façade which does not face Gilbo Avenue. Two principal building facades were proposed which will face the public parking areas on the east and north sides of the proposed new building per Section 102-1473.4 of the Zoning Ordinance where the principal building façade orients toward Gilbo Avenue, was approved 5-0.

Condition:


Corinne Marcou, Clerk

Any person directly affected has a right to appeal this Decision. The necessary first step, before any appeal may be taken to the courts, is to apply to the Board of Adjustment for a rehearing. The Motion for Rehearing must be filed not later than 30 days after the first date following the referenced Date of Decision. The Motion must fully set forth every ground upon which it is claimed that the decision is unlawful or unreasonable. See New Hampshire RSA Chapter 677, et seq.

cc: Planning Dept.
Assessing Dept.
City Attorney
File Copy

166 WEST STREET REDEVELOPMENT

KEENE NEW HAMPSHIRE

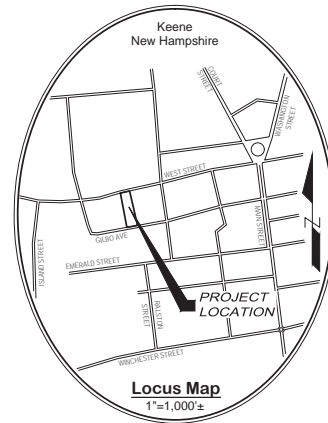
PROPERTY OWNER & APPLICANT:
FLYBOY REALTY LLC

P.O. BOX 1060
 KEENE, NH 03431



Liza Sargent 10/16/20
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

APPROVED BY THE OWNER OR APPLICANT _____ DATE _____
APPROVED BY THE KEENE PLANNING BOARD ON _____ CERTIFIED BY CHAIRMAN _____



INDEX OF PLANS

- N-1 NOTES & LEGEND
- EXISTING CONDITIONS PLAN
- D-1 DEMOLITION PLAN
- C-1 SITE PLAN
- C-2 GRADING & DRAINAGE PLAN (1"=10')
- C-3 GRADING & DRAINAGE PLAN (1"=10')
- C-4 SEWER PLAN
- C-5 SEWER DETAILS
- C-6 CONSTRUCTION DETAILS
- C-7 CONSTRUCTION DETAILS
- LA-1 LANDSCAPING PLAN
- LT-1 LIGHTING PLAN
- LT -2 REDUCED LIGHT PLAN

SVE PROJECT #: K2699
 PREPARED BY

Architect:
DB Architects, LLC
 185 Winchester Street
 Keene, NH 03431
 dan@bartlett.net
 PHONE (603) 352-0612

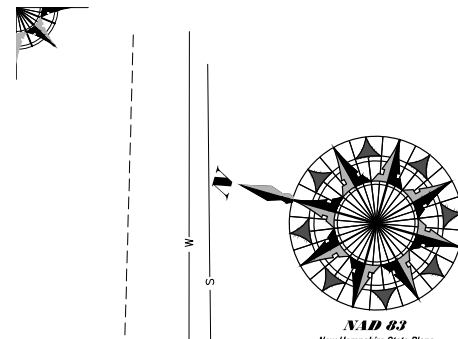
Civil Engineer:
SVE Associates
 439 West River Road
 P.O. Box 1818
 Brattleboro, VT 05302
 PHONE (802) 257-0561

Land Planner:
Brickstone
 Land Use Consultants, LLC
Site Planning, Permitting and Development Consulting
 185 Winchester Street, Keene, NH 03431
 Phone: (603) 357-0116

Land Surveyor:
Huntley Survey & Design, PLLC
 659 West Road
 Temple, NH 03084
 www.huntleysurvey.com
 PHONE (603) 924-1669

September 18, 2020
 Revised thru October 16, 2020

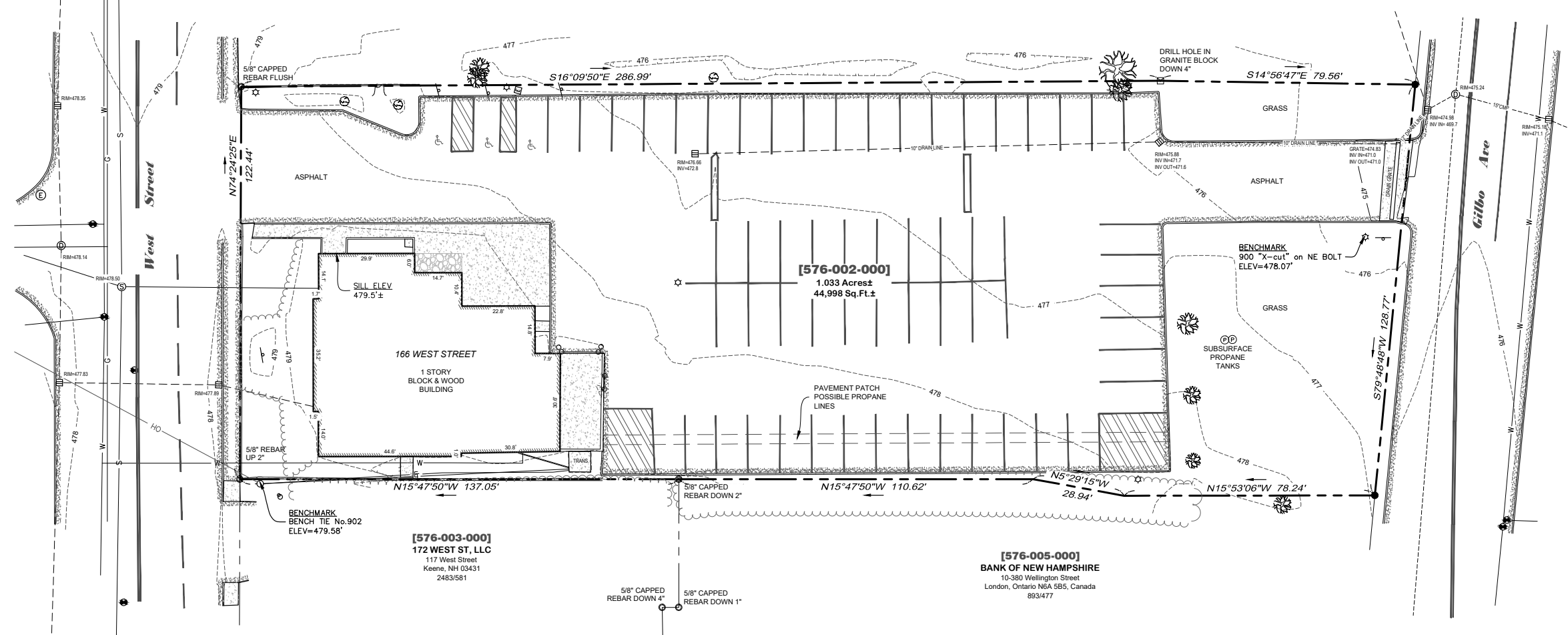
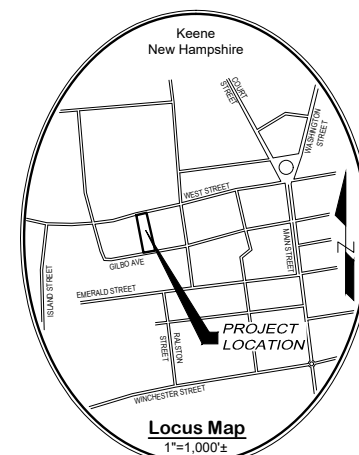
NOT YET APPROVED FOR CONSTRUCTION



[576-001-000]
PEOPLES UNITED BANK N.A.
 850 Main Street
 Bridgeport, CT 06604
 2896/321

Plan References

- REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS
- SITE PLAN, FRIENDLY ICE CREAM CORPORATION, 166 WEST STREET, KEENE, DATED NOVEMBER 13, 1975. (Obtained from www.axisgis.com/keeneh)
 - PLOT PLAN, THE MAIN OFFICE FOR KEENE SAVINGS BANK, KEENE, NH, DATED 1977 BY KENNETH PARRY & ASSOCIATES (Obtained from www.axisgis.com/keeneh)
 - EXISTING CONDITIONS, KEENE 2008 INFRASTRUCTURE PREPARED FOR UNDERWOOD ENGINEERS, DATED OCTOBER 12, 2077; BY RUSSELL J. HUNTLEY, SVE ASSOCIATES. (On file at SVE)
 - BOUNDARY LINE ADJUSTMENT PREPARED FOR BANK OF NEW HAMPSHIRE NOW KNOWN AS TD BANKNORTH, LAST REVISED NOVEMBER 20, 2007, BY DAVID A. MANN (Cab.13 Dr.04 No.0049 CCRD)
 - ROUNDHOUSE RAIL TRAIL TOPOGRAPHIC & ROW PLAN, SCHOOL STREET, GILBO AVE, WEST STREET, EMERALD STREET & ISLAND STREET, KEENE, NH, DATED JUNE 19, 2014; BY RUSSELL J. HUNTLEY, SVE ASSOCIATES. (On file at SVE)



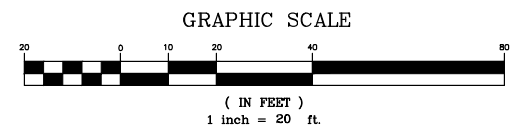
Notes

- THE BEARINGS SHOWN ON THIS PLAN /ARE REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON A STATIC GPS SURVEY PERFORMED IN CONJUNCTION WITH PREVIOUS INFRASTRUCTURE SURVEYS FOR THE CITY OF KEENE ON WEST STREET, GILBO AVE, EMERALD STREET, COURT STREET & MAIN STREET AND SERVE ONLY TO DEFINE ANGULAR RELATIONSHIPS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM DEEDS, RECORD PLANS AND PHYSICAL EVIDENCE FOUND.
- TOPOGRAPHY SHOWN ON THIS PLAN IS FROM AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC PERFORMED DURING THE MONTH OF JULY IN 2020. THE VERTICAL DATUM IS NGVD 1929 BASED ON USGS DISK "C 25 1932" LOCATED ON THE FRONT STEPS OF 34 WEST STREET, KEENE, NH. WHICH WAS UTILIZED FOR THE PREVIOUS SURVEYS LISTED IN NOTE No.1. CONTOUR INTERVAL IS ONE (1) FOOT.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS, PREVIOUS MAPS AND RECORDS OBTAINED FROM THE CITY OF KEENE. THEIR EXISTENCE MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- THE PARCEL SHOWN IS NOT IN A 100 YEAR FLOOD AREA PER FEMA PANEL 33005C0266E EFFECTIVELY DATED MAY 23, 2006

Owner of Record
[576-002-000]
BROTHERHOOD LIMITED PARTNERSHIP
 200 BOSTON POST ROAD,
 SUITE 13
 ORANGE, CT 06477
 2848/676

Symbol Legend

	MONITORING WELL		STONE WALL
	CATCH BASIN		CHAIN LINK FENCE
	DRAIN MANHOLE		WOOD RAIL/STOCKADE FENCE
	STORM SEWER LINE		BARBED WIRE FENCE
	HYDRANT		GUARDRAIL
	WATER VALVE		EDGE OF WATER
	CURB STOP		TREE LINE
	WATER LINE		EDGE OF PAVEMENT
	CAST IRON		EDGE OF GRAVEL
	DUCTILE IRON		IRON PIN/PIPE
	SEWER MANHOLE		NAIL
	SEWER CLEANOUT		STONE/CONCRETE BOUND
	SANITARY SEWER LINE		RAILROAD SPIKE
	ASBESTOS CONCRETE MANHOLE		SURVEY STATION
	UTILITY POLE W/GUY WIRES, OVERHEAD LINES AND NUMBERS		DRILL HOLE
	ELECTRIC MANHOLE		ANGLE IRON
	ELECTRICAL BOX/PEDESTAL		DISK
	UNDERGROUND ELECTRIC LINE		5/8" REBAR WITH CAP (SET)
	UNDERGROUND TELECOM LINES		4" X 4" GRANITE MONUMENT
	EMERGENCY PHONE/LIGHT		RAILROAD SPIKE SET
	LIGHT POLE		CONIFEROUS TREE
	TELECOM MANHOLE		DECIDUOUS TREE
	TELEPHONE BOX/PEDESTAL		DECIDUOUS SHRUB
	GAS VALVE		SOILS TYPE KEY LETTER
	GAS SHUT OFF VALVE LID		WETLAND FLAG & NUMBER
	GAS LINE		TEST PIT
	SIGN		KEENE ENGINEERING DEPARTMENT
	POST/BOLLARD		CHESHIRE COUNTY REGISTRY OF DEEDS
	WELL		TAX MAP PARCEL NUMBER
			DEED VOLUME & PAGE
			FINISH FLOOR



Zoning Districts
 ZONE:CBL (Central Business Limited)
 GILBO AVE OVERLAY DISTRICT
 DOWNTOWN HISTORIC OVERLAY DISTRICT

REQUIREMENTS

MAX HEIGHT	4 STORIES/55'
LOT SIZE	10,000 sf
FRONTAGE	80'
BUILDING SETBACKS	
WEST STREET	10'
GILBO AVE	5'
SIDE & REAR	00'
MAX BUILDING COVERAGE	60%
MAX IMPERMEABLE COVERAGE	80%

SEE CITY OF KEENE CODE OF ORDINANCES CONCERNING ADDITIONAL REQUIREMENTS PERTAINING TO PARCEL

Lot Statistics

FRONTAGE	122.44 FEET ON WEST STREET 128.77 FEET ON GILBO AVE
LOT SIZE	1.033 ACRES 44,998 SF
EXISTING COVERAGE	9.1 % BUILDING - 4086 SF 74.0 % IMPERMEABLE - 33,286 SF

Surveyor's Certification

THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE THAT MEETS THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR URBAN AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON. INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.

THIS IS AN EXISTING CONDITIONS SURVEY AND IS SUBSTANTIALLY CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ALL DIMENSIONS ARE SUBJECT TO THE ERROR OF CLOSURE PREVIOUSLY STATED.

PURSUANT TO RSA 676:18, III AND RSA 672:14 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



Existing Conditions Plan
 LAND OF
Brotherhood Limited Partnership
 located at
 Tax Map Parcel No. 576-002-00
 166 West Street, Keene, Cheshire County, New Hampshire
 Book 2848, Page 676

Scale 1"= 20'
 Surveyed 07/2020
 Project No. H20-033
 Plan prepared 07/30/2020
 Cad File No. H20-033A.dwg

Huntley Survey & Design, PLLC
 NH & VT Land Surveying, Wetlands & NH Septic System Design
 659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

NO.	DATE	REVISION	BY



10/16/20

Liza Sargent

LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365

FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK
1	ADDED CANOPY	16-OCT-20	LPS	LPS

SVE

Engineering
Planning
Landscape Architecture
Surveying

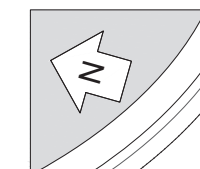
SVE Associates
P.O. Box 1818
439 West River Road
Brattleboro, VT 05302
T 802.257.0561
F 802.257.0721
www.sveassoc.com

SITE PLAN

166 WEST STREET

FLYBOY REALTY LLC
P.O. BOX 1060
KEENE, NEW HAMPSHIRE

0 10' 20' 40'
GRAPHIC SCALE 1" = 20'



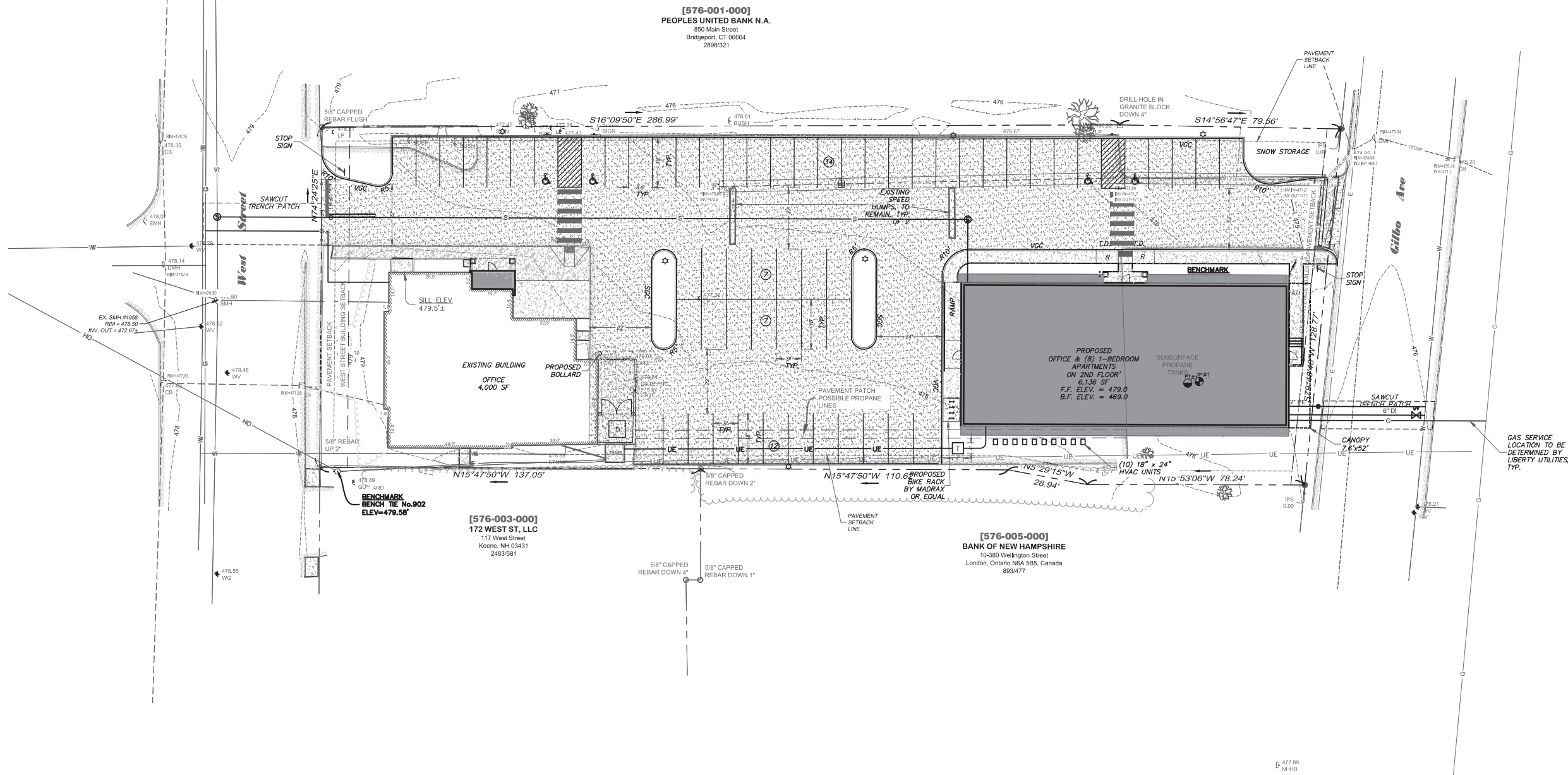
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K2699

DATE:
21-AUG-20

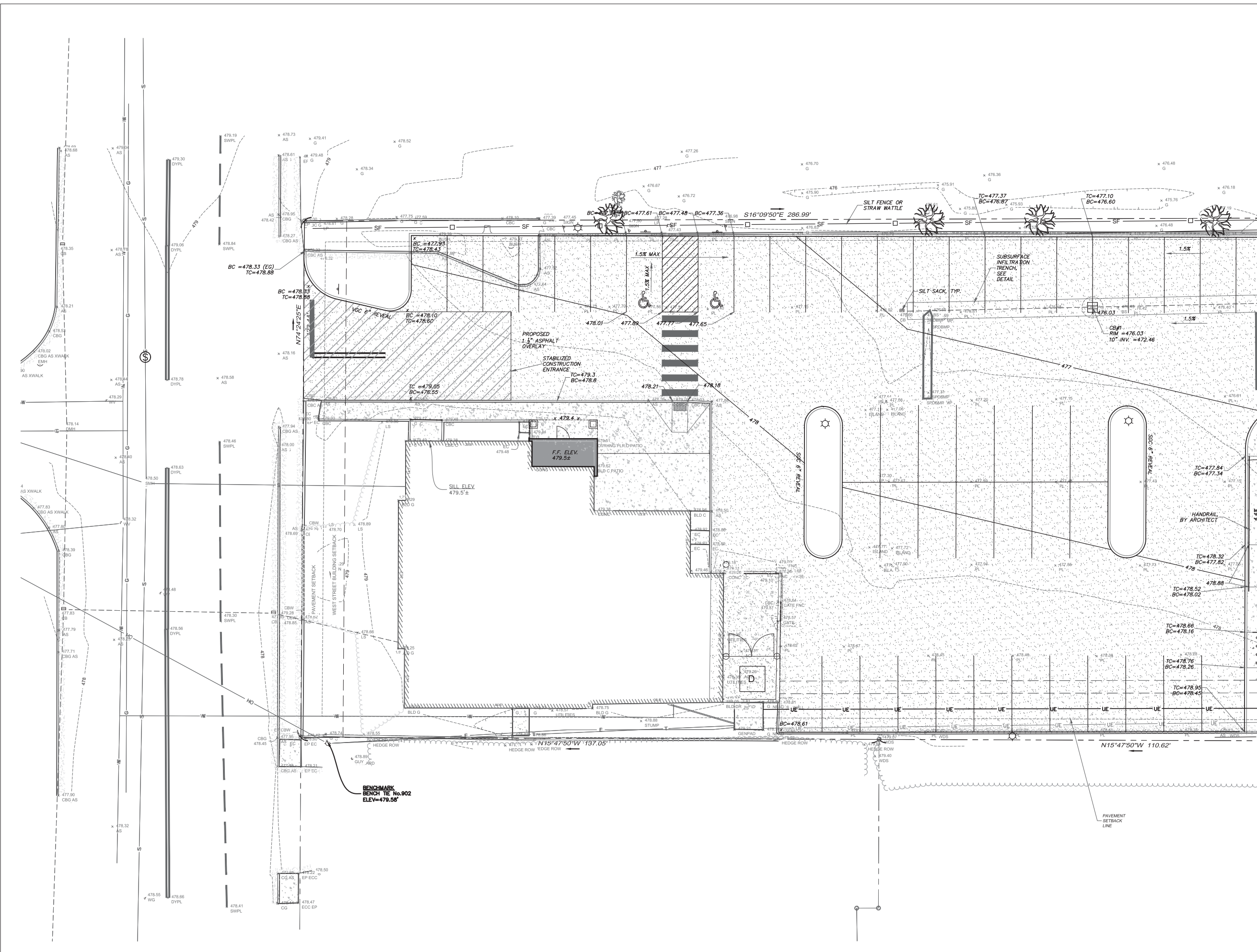
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36 OF 42

C-1

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Liza Sargent 10/16/20

LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365

FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK

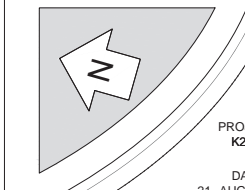
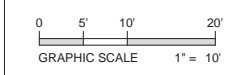
SVE

Engineering
Planning
Landscape Architecture
Surveying

SVE Associates
P.O. Box 1818
439 West River Road
Brattleboro, VT 05302
T 802.257.0561
F 802.257.0721
www.sveassoc.com

**GRADING
DRAINAGE PLAN**

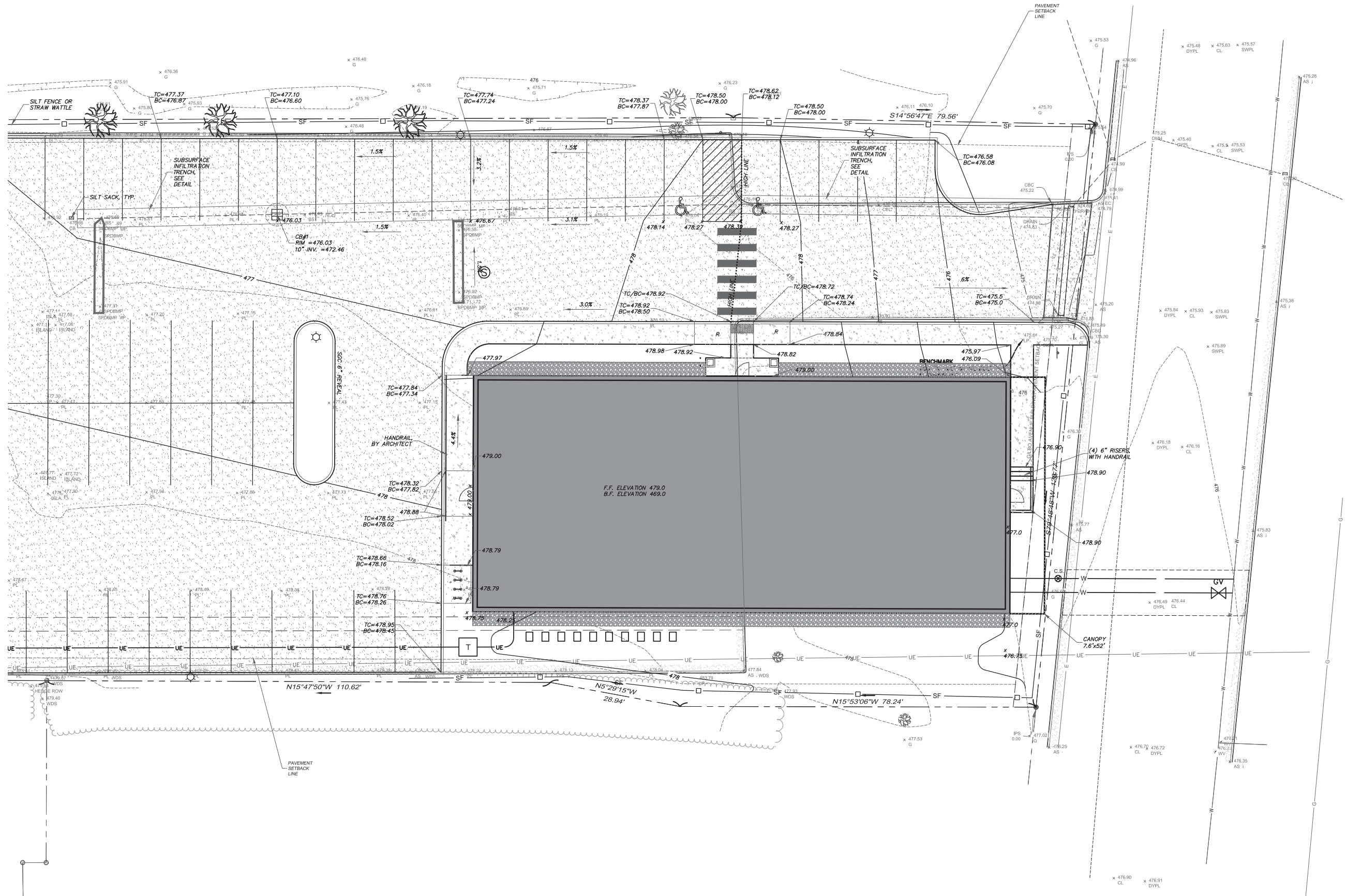
166 WEST STREET
FLYBOY REALTY LLC
P.O. BOX 1060
KEENE, NEW HAMPSHIRE



PROJ. #:
K2699
DATE:
21-AUG-20
DESIGN: LPS SHEET
DRAWN: LPS
CHECKED: RLH
37 of 43

C-2

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Liza Sargent 10/16/20
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365
FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK
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2	ADDED CANOPY	16-OCT-20	LPS	LPS

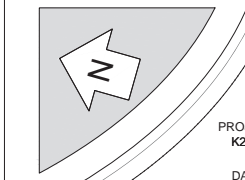
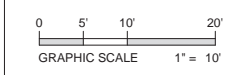
SVE

Engineering
 Planning
 Landscape Architecture
 Surveying

SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

**GRADING
 DRAINAGE PLAN**

166 WEST STREET
 FLYBOY REALTY LLC
 P.O. BOX 1060
 KEENE, NEW HAMPSHIRE



DESIGN: LPS SHEET
 DRAWN: LPS
 CHECKED: RPL
 PROJ. #: K2699
 DATE: 21-AUG-20

C-3



Liza Sargent 10/16/20

LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365

FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK
1	ADDED CANOPY	16-OCT-20	LPS	LPS

SVE

Engineering
Planning
Landscape Architecture
Surveying

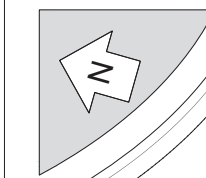
SVE Associates
P.O. Box 1818
439 West River Road
Brattleboro, VT 05302
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SEWER PLAN

166 WEST STREET

FLYBOY REALTY LLC
P.O. BOX 1060
KEENE, NEW HAMPSHIRE

0 10' 20' 40'
GRAPHIC SCALE 1" = 20'

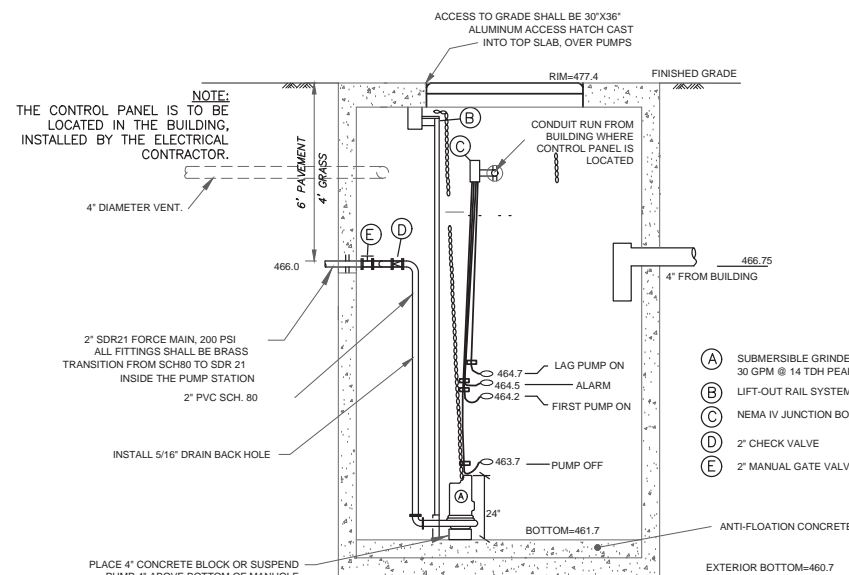


PROJ. #:
K2699

DATE:
21-AUG-20

DESIGN: LPS SHEET
DRAWN: LPS
CHECKED: RLH

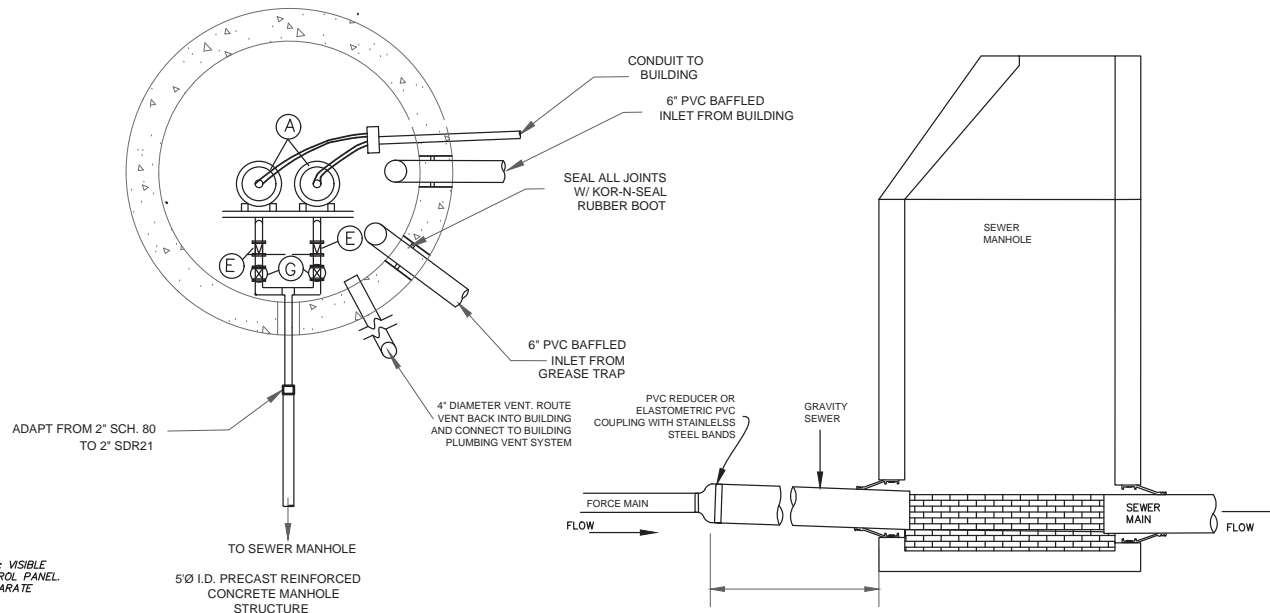
C-4



SECTIONAL VIEW
PUMP STATION DETAIL
NOT TO SCALE

- (A) SUBMERSIBLE GRINDER PUMPS, THREE PHASE
30 GPM @ 14 TDH PEAK, PASSING 2" SOLIDS
- (B) LIFT-OUT RAIL SYSTEM
- (C) NEMA IV JUNCTION BOX
- (D) 2" CHECK VALVE
- (E) 2" MANUAL GATE VALVE

ALARM NOTES:
ALARM SHALL BE AUDIBLE & VISIBLE
AND LOCATED AT THE CONTROL PANEL.
ALARM SHALL BE ON A SEPARATE
CIRCUIT FROM THE PUMPS.



FORCE MAIN CONNECTION
NOT TO SCALE

[576-001-000]
PEOPLES UNITED BANK N.A.
850 Main Street
Bridgeport, CT 06604
2896321

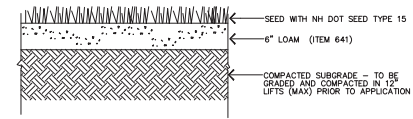
[576-003-000]
172 WEST ST, LLC
117 West Street
Keene, NH 03431
2483381

[576-005-000]
BANK OF NEW HAMPSHIRE
10-380 Wellington Street

Drawing name: P:\Project\NH PROJECTS\K2699 Brattleboro Land Use Consultants\Friendly\DWG\K2699 SITE 9-15-2020.dwg Oct 16, 2020 - 12:53pm

NH DOT SEED TYPE 15

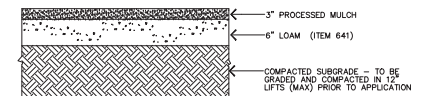
KIND OF SEED	MINIMUM PURITY %	GERMINATION %	LBS/ACRE
CREeping RED FESCUE	96	85	40
PERENNIAL RYEGRASS	98	90	50
KENTUCKY BLUEGRASS	97	85	25
REDTOP	95	90	5
			TOTAL 120



1. SPREAD LOAM TO SPECIFIED DEPTH AND RAKE TO REMOVE ALL UNSUITABLE MATERIALS. ROLL LOAM TO COMPACT.
2. SPREAD LIMESTONE AT A RATE OF 80 LBS/1000 SF OF SURFACE AREA
3. FERTILIZE WITH 10-10-10 FERTILIZER AT A RATE OF 20 LBS/1000 SF
4. SEED AT 2.75 LBS/1000 SF

LOAM AND SEED DETAIL

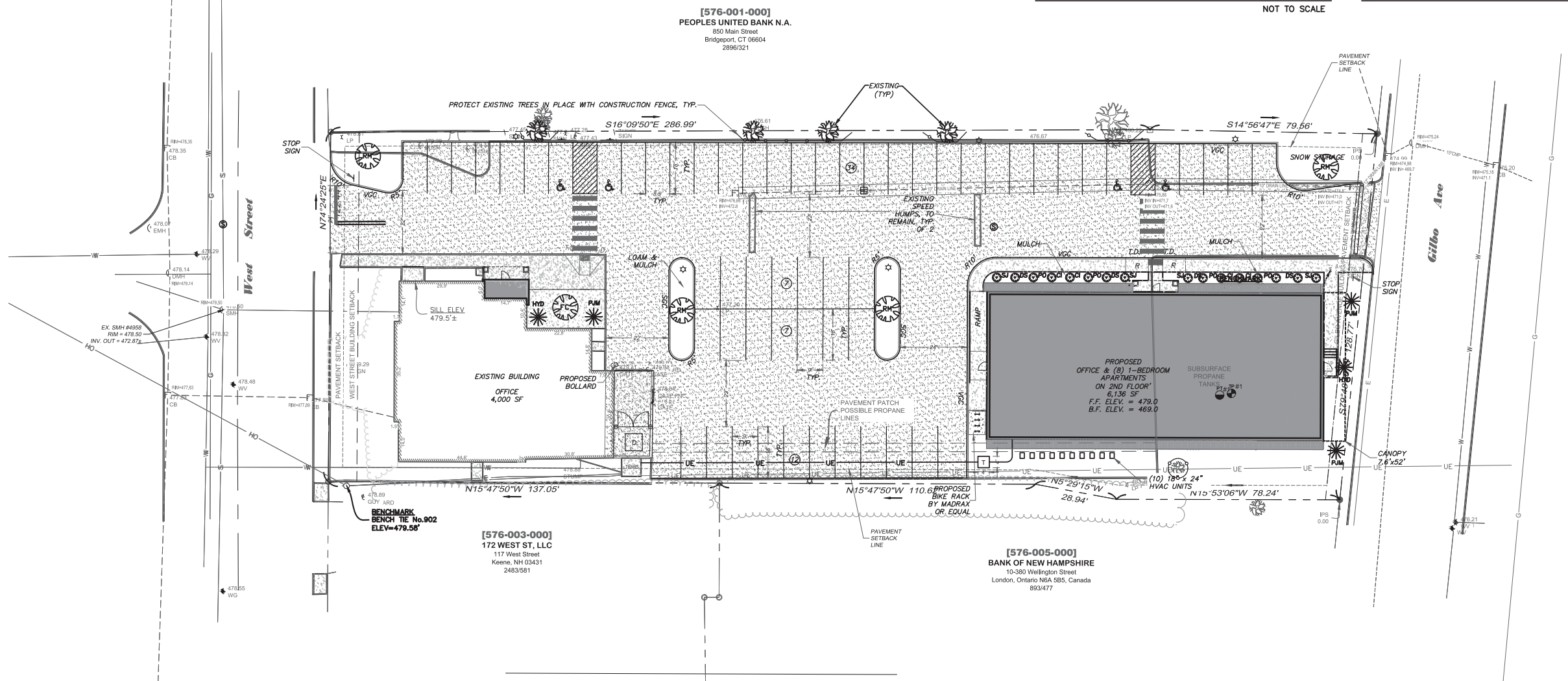
NOT TO SCALE



1. SPREAD LOAM TO SPECIFIED DEPTH AND RAKE TO REMOVE ALL UNSUITABLE MATERIALS. ROLL LOAM TO COMPACT.
2. SPREAD LIMESTONE AT A RATE OF 80 LBS/1000 SF OF SURFACE AREA
3. FERTILIZE WITH 10-10-10 FERTILIZER AT A RATE OF 20 LBS/1000 SF
4. SPREAD MULCH IN AREAS SHOWN ON PLAN.

LOAM AND MULCH DETAIL

NOT TO SCALE



[576-001-000]
PEOPLES UNITED BANK N.A.
650 Main Street
Bridgeport, CT 06604
2896321

[576-003-000]
172 WEST ST, LLC
117 West Street
Keene, NH 03431
2483581

[576-005-000]
BANK OF NEW HAMPSHIRE
10-380 Wellington Street
London, Ontario N6A 5B5, Canada
893477

LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365

FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK
1	ADDED CANOPY	16-OCT-20	LPS	LPS

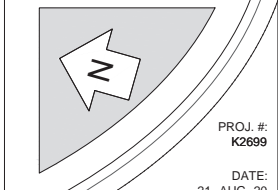
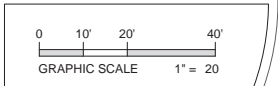
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P.O. Box 1818
439 West River Road
Brattleboro, VT 05302
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F 802.257.0721
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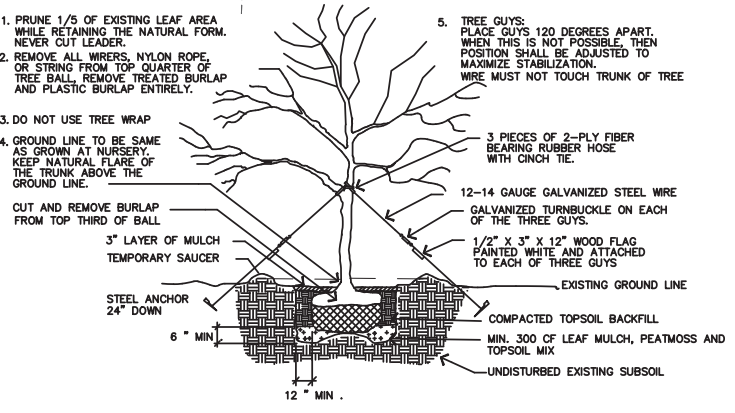
LANDSCAPING PLAN

166 WEST STREET

FLYBOY REALTY LLC
P.O. BOX 1060
KEENE, NEW HAMPSHIRE

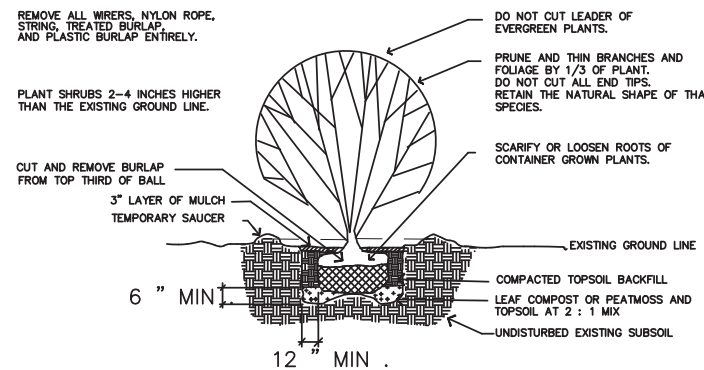


DESIGN: LPS SHEET
DRAWN: LPS
CHECKED: RL
40 of 48



DETAIL OF TREE PLANTING AND GUYING

NOT TO SCALE



DETAIL OF SHRUB PLANTING

NOT TO SCALE

LANDSCAPE LEGEND

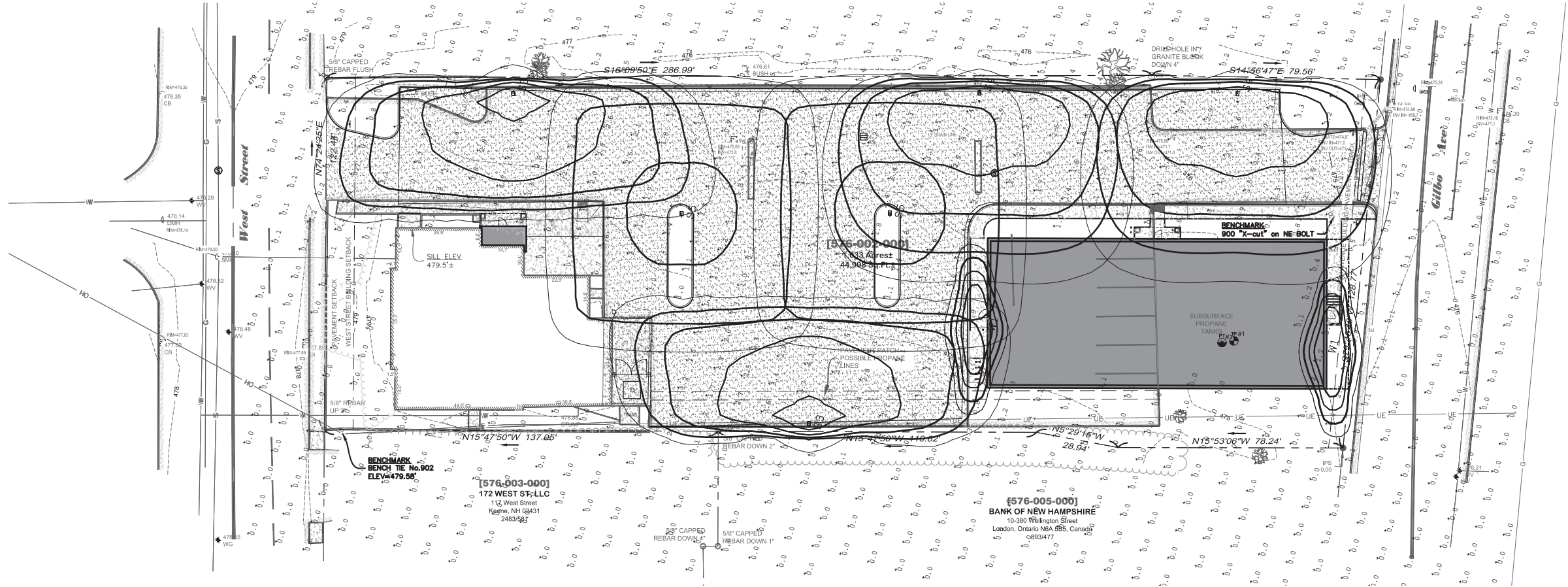
TYPICAL BED PLANTINGS TO INCLUDE:

TYPE	QUANTITY	PLANTING SIZE	MATURE HEIGHT
DS DAPHNE SPIREA	4 EA	12\"	2 FEET
PG GOLDFINGER POTENTILLA	4 EA	12\"	4 FEET
SJ SEA GREEN JUNIPER	4 EA	12\"	2 FEET
CI COMPACT INKBERRY	4 EA	12\"	4 FEET
RHODODENDRON ANNABELLE HYDRANGEA	3 EA	2'-3'	6 FEET
	2 EA	2'-3'	6 FEET
RED MAPLE	4 EA	3 1/2\" CAL(6\" HEIGHT 6\" WIDTH)	35 FEET
SNOW DRIFT FLOWERING CRAB	1 EA	1 - 1 1/2\" CAL(6\" HEIGHT 4\" WIDTH)	15 FEET

DRIFLINE AT MATURITY

Drawing name: P:\Project\NH PROJECTS\K2699\Bridlestone Land Use\Consultants\Friendly\DWG\K2699 SITE 9-15-2020.dwg Oct 16, 2020 - 12:53pm

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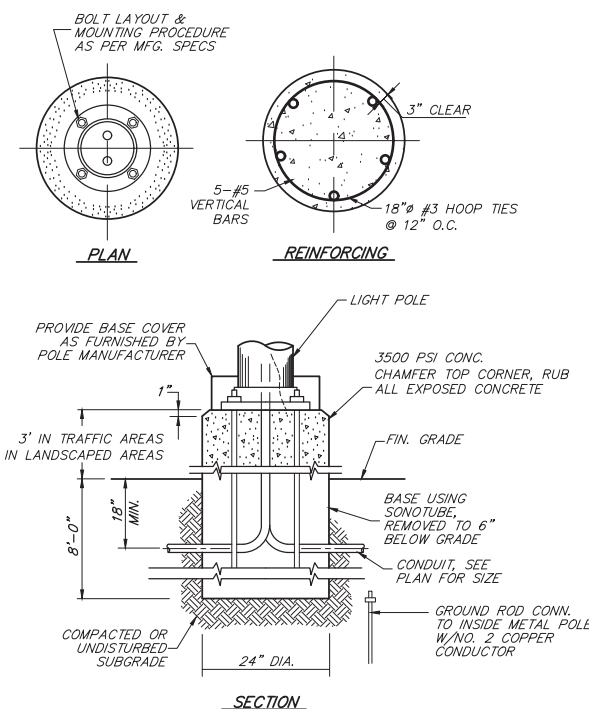


PARKING LOT AREA
 Illuminance (Fc)
 Average = 1.93
 Maximum = 4.1
 Minimum = 0.6
 Avg/Min Ratio = 3.22
 Max/Min Ratio = 6.83

Symbol	Qty	Label	Arrangement	Description
[Symbol]	2	S3	SINGLE	GLEON-AF-02-LED-E1-SL3-HSS-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	S4	SINGLE	GLEON-AF-02-LED-E1-SL4-HSS-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	S5	SINGLE	GLEON-AF-01-LED-E1-5MQ-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	W1	SINGLE	MERU-LED-AC-DB / WALL MTD 10' AFG



GLEON GALLEON LED
 1-10 Light Squares
 Solid State LED



NOTE: LIGHT POLE BASE LOCATIONS:
 1. TRAFFIC AREAS: 4 FEET FROM FACE OF POLE BASE TO PAVEMENT EDGE.
 2. PEDESTRIAN AREAS: 2 FEET FROM FACE OF POLE BASE TO SIDEWALK/TRAVEL WAY EDGE.

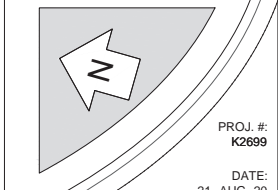
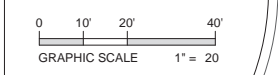
LIGHT POLE BASE DETAIL
 NOT TO SCALE

LIZA P. SARGENT R.C.E. NUMBER: 13365 DATE
FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK

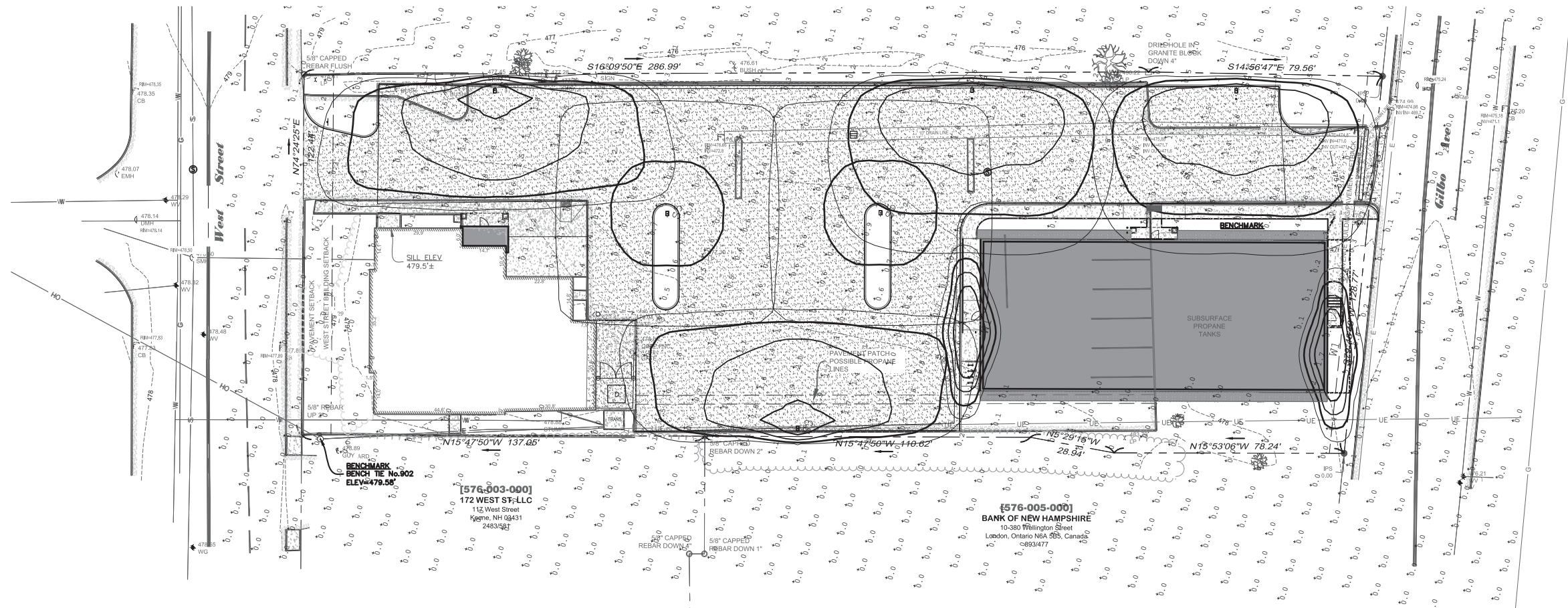
SVE
 Engineering
 Planning
 Landscape Architecture
 Surveying
 SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

LIGHTING PLAN
 166 WEST STREET
 FLYBOY REALTY LLC
 P.O. BOX 1060
 KEENE, NEW HAMPSHIRE



DESIGN: LPS
 DRAWN: LPS
 CHECKED: RL
 PROJ. #: K2699
 DATE: 21-AUG-20
 SHEET
 41 of 48 **T-1**

Drawing name: P:\Project\NH PROJ\ECTS\K26899 Brickstone Land Use Consultants\Friendly\DWG\K26899 SITE 915-2020.dwg Oct 16, 2020 - 12:54pm

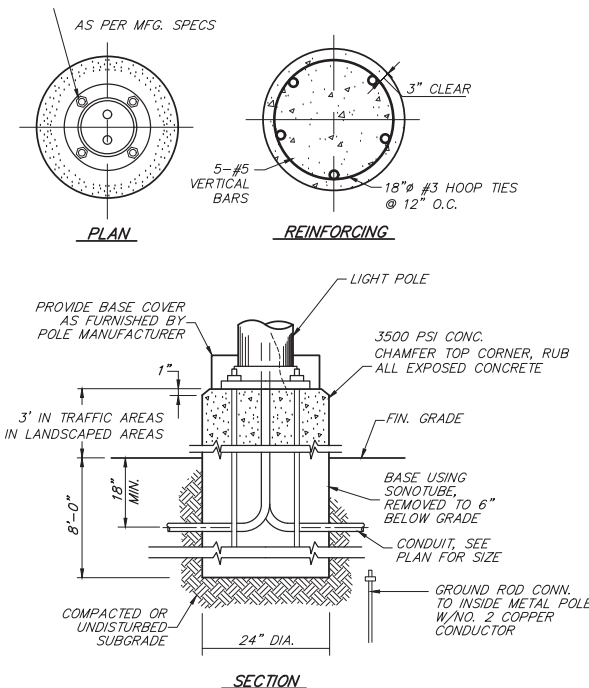


PARKING LOT AREA
 Illuminance (Fc)
 Average = 0.97
 Maximum = 2.1
 Minimum = 0.3
 Avg/Min Ratio = 3.23
 Max/Min Ratio = 7.00

Symbol	Qty	Label	Arrangement	Description
[Symbol]	2	S3	SINGLE	GLEON-AF-02-LED-E1-SL3-HSS-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	S4	SINGLE	GLEON-AF-02-LED-E1-SL4-HSS-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	S5	SINGLE	GLEON-AF-01-LED-E1-5MQ-MS/DIM-L20/ SSS4A20SFN1 (20' AFG)
[Symbol]	2	W1	SINGLE	MERU-LED-AC-DB / WALL MTD 10' AFG



**GLEON
 GALLEON LED**
 1-10 Light Squares
 Solid State LED



NOTE: LIGHT POLE BASE LOCATIONS:
 1. TRAFFIC AREAS: 4 FEET FROM FACE OF POLE BASE TO PAVEMENT EDGE.
 2. PEDESTRIAN AREAS: 2 FEET FROM FACE OF POLE BASE TO SIDEWALK/TRAVEL WAY EDGE.

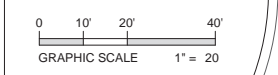
LIGHT POLE BASE DETAIL
 NOT TO SCALE

LIZA P. SARGENT R.C.E. NUMBER: 13365 DATE
FOR PERMITTING

NO.	REVISION	DATE	DWN	CHK

SVE
 Engineering
 Planning
 Landscape Architecture
 Surveying
 SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

REDUCED LIGHTING PLAN
 166 WEST STREET
 FLYBOY REALTY LLC
 P.O. BOX 1060
 KEENE, NEW HAMPSHIRE



PROJ. #: K2699
 DATE: 21-AUG-20
 DESIGN: LPS
 DRAWN: LPS
 CHECKED: RL
 SHEET
42 of 48 LT-2

ISSUE LOG	
DATE:	FOR:
10-16-20	REV - SPR

These drawings are LIMITED SCOPE and shall not be used for any other purpose without the express written consent of the architect. These drawings shall be considered preliminary and are not to be used for construction or budget pricing only, unless expressly released for other purposes as indicated in the Issue Log. The architect assumes no responsibility for errors in the information provided, or for omissions.

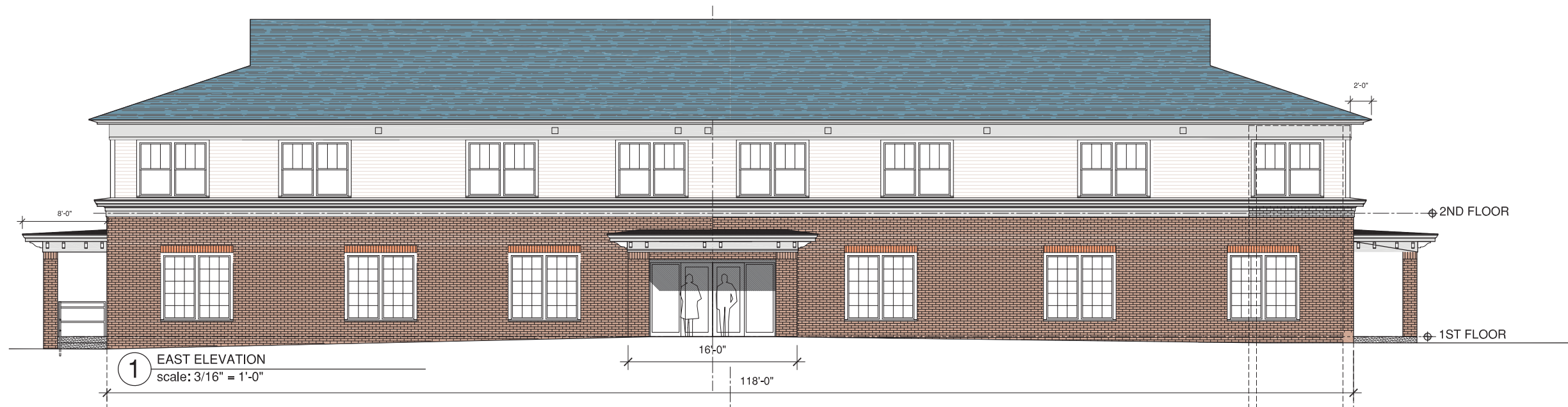
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db architects LLC
 Don Barlett AIA
 185 Winchester Street
 Keene, NH 03431
 T 603 352-0612
 don@barlett.net

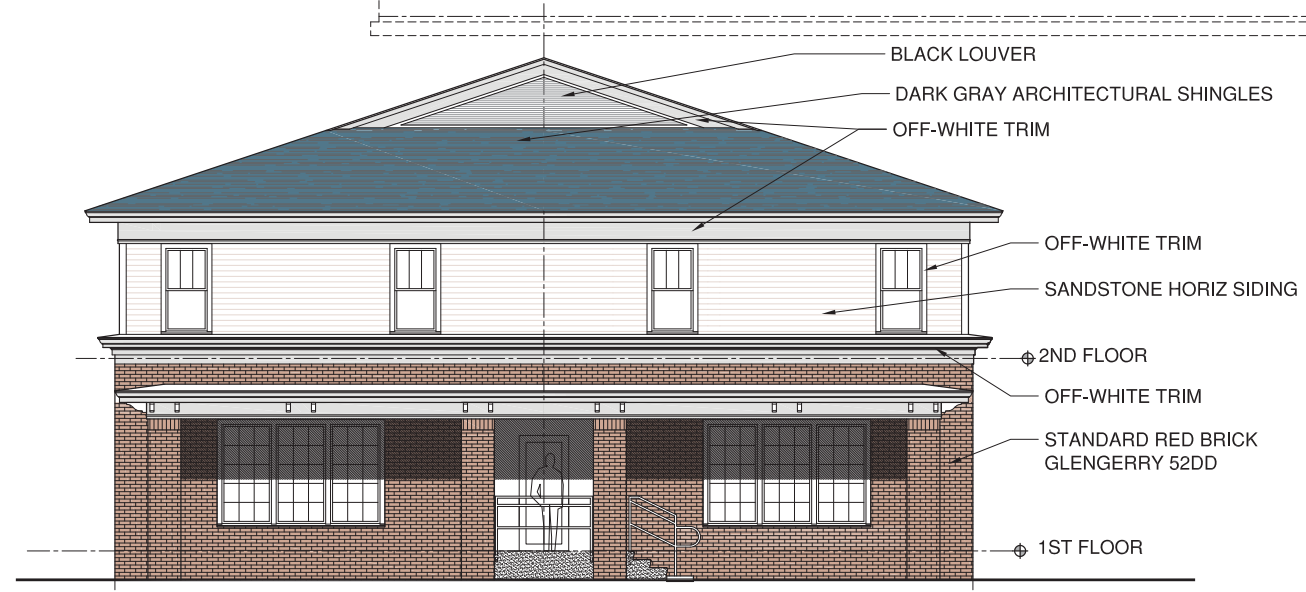


project name: CHANGE OF USE CODE COMPLIANCE DRAWING
166 WEST STREET / GILBO AVE BUILDING
 drawing name:
ELEVATIONS

sheet number
A2.1
 43 of 48



1 EAST ELEVATION
 scale: 3/16" = 1'-0"



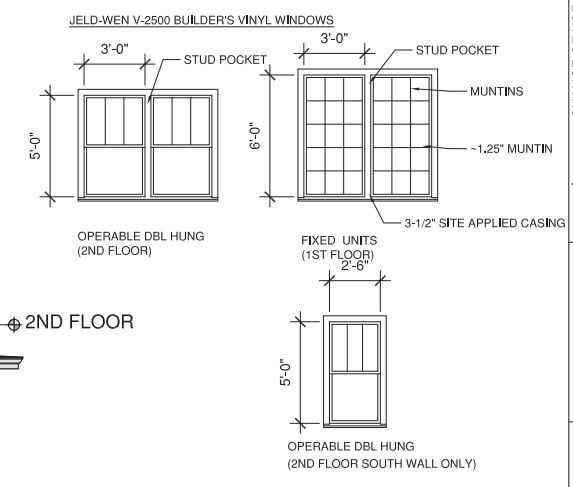
3 SOUTH ELEVATION
 scale: 3/16" = 1'-0"



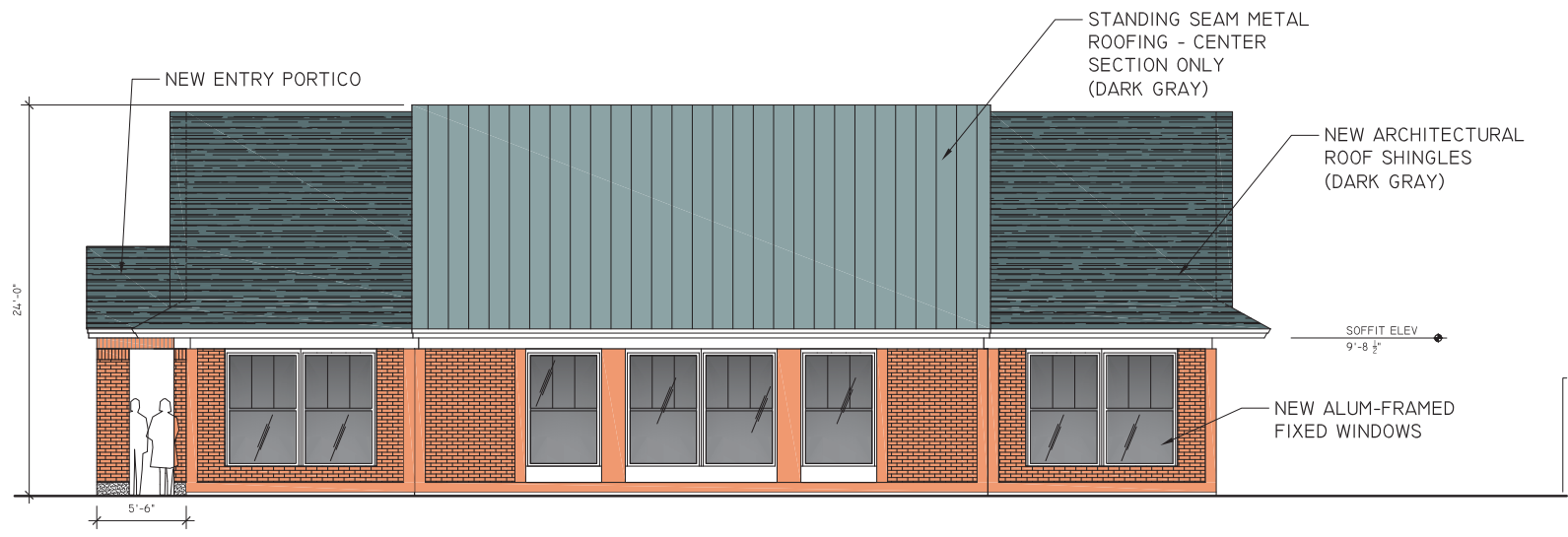
2 NORTH ELEVATION
 scale: 3/16" = 1'-0"



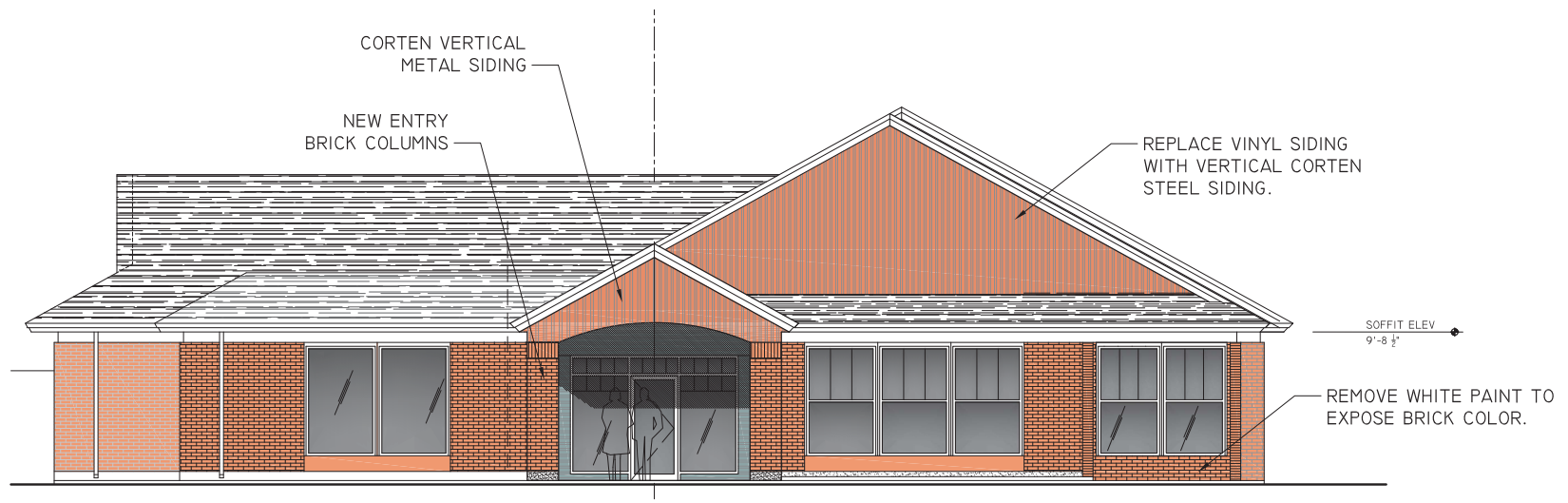
4 WEST ELEVATION
 scale: 3/16" = 1'-0"



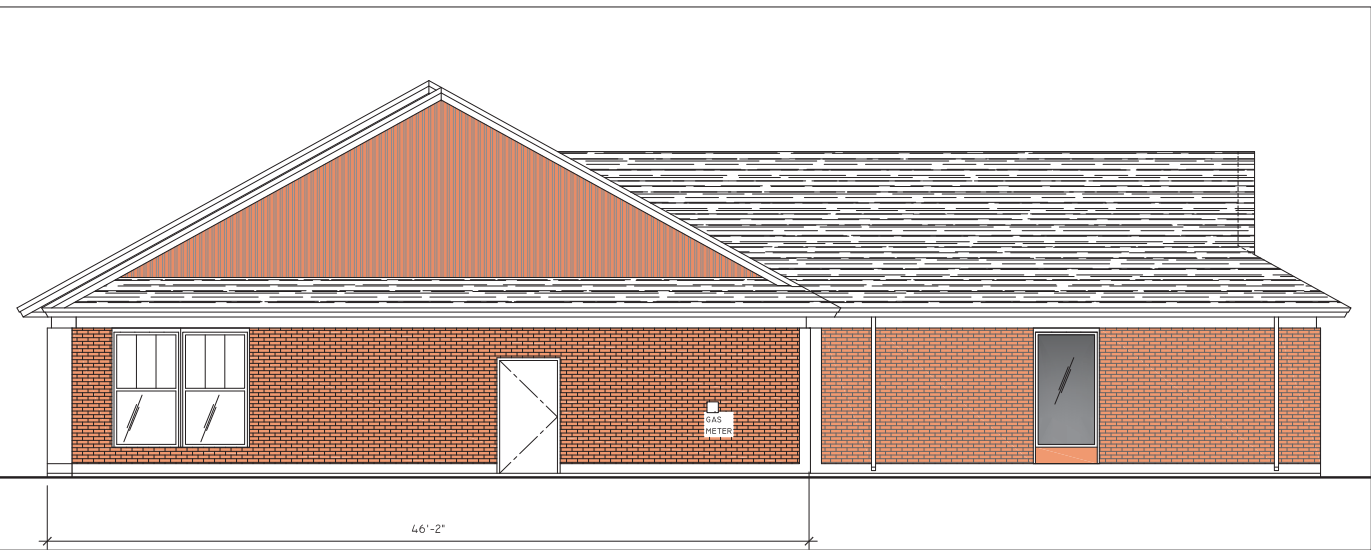
C:\USERS\OWNER\Dropbox\DBARCH\PROJECTS\CHESCO_GILBO_AVE\166 WEST ST -CHESCO_GILBO_ADD ELEV.dwg, 10/16/2020 12:56:27 PM, Adobe PDF



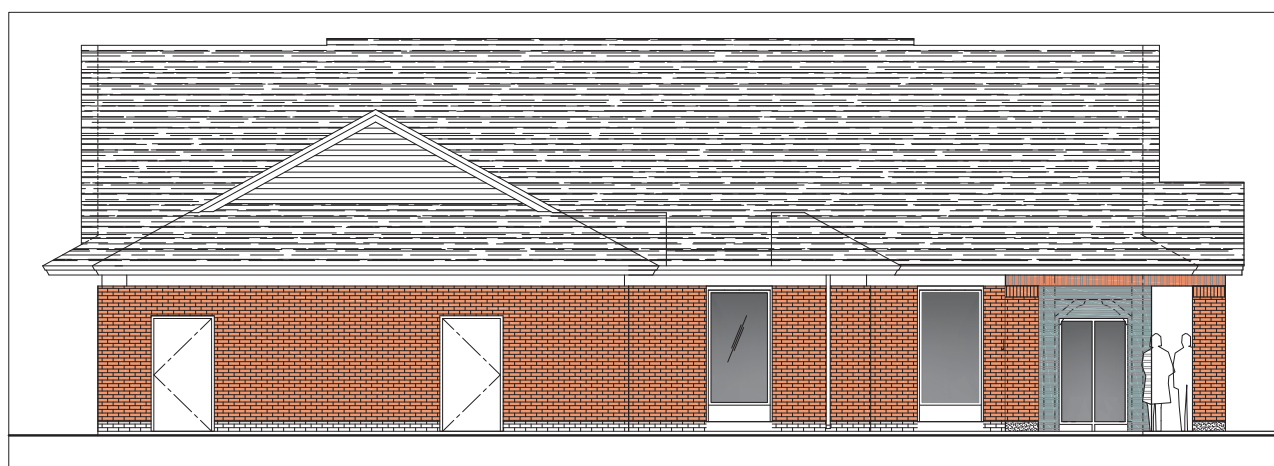
1 NORTH ELEVATION
SCALE 3/16" = 1'-0"



2 EAST ELEVATION
SCALE 3/16" = 1'-0"



2 WEST ELEVATION
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

ISSUE LOG	
DATE:	FOR:

THESE DRAWINGS ARE LIMITED SCOPE, AND THE ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS IN THE INFORMATION PROVIDED, AND NOT FOR OMISSIONS.

THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION. THEY ARE RELEASED FOR OTHER PURPOSES AS INDICATED IN THE ISSUE LOG.

THE ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS IN THE INFORMATION PROVIDED, AND NOT FOR OMISSIONS.

db architects llc
dan bartlett@aia

185 Winchester Street
Keene, NH 03431
1 603 352-0412
mobile 603 742-1956
dan@bartlett.net

PROJECT NAME:
166 WEST STREET
KEENE NH
DRAWING NAME:
EXISTING CONDITIONS

SHEET NUMBER
A2.2
44 of 48

Drainage Summary

for

166 West Street Redevelopment Keene, NH

**Prepared by SVE Associates
September 18, 2020**

A comparison of peak stormwater runoff for the 25-year rainfall event in the post-development conditions was completed by SVE Associates using HydroCad 10.0 software. The storm event used in the model was Type III, 24-hour storm with the following rainfall depths for Keene, NH:

25 Year Event: 4.92 inches

OVERVIEW:

This project will consist of renovating the existing building, including constructing a new entryway, as well as constructing a new 6,136 sf building near Gilbo Avenue and associated parking.

EXISTING CONDITIONS:

The existing conditions of this development include the existing building, parking areas and driveway that have all been constructed to date. Currently the area where the proposed new building will be constructed is partially lawn and partially parking lot and sheet flows to the nearest catch basins.

PROPOSED CONDITIONS:

The proposed conditions, modeled in the "Post-Development" drainage model, consist of the proposed re-development of the existing building and the new proposed building and shared parking. The existing building will continue to drain to West Street. The remainder of the parcel will drain to existing and proposed catch basins and infiltrate below the parking lot via the 10" perforated pipe in a bed of stone between the catch basins. This measure off sets any increase in stormwater runoff.

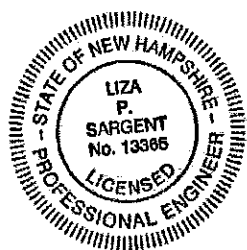
	25 year storm	
	<i>Existing Runoff (cfs)</i>	<i>Proposed Runoff (cfs)</i>
<i>Summary Node 100R</i>	0.66	0.66
<i>Summary Node 101R</i>	2.40	2.46

SVE Associates

Engineering * Surveying * Landscape Architecture * Planning
P.O. Box 1818, Brattleboro, VT 05302 Phone: (802) 257-0561 Fax (802) 257-0721 E-mail svek@sveassoc.com
P:\Project\NH PROJECTS\K2699 Brickstone Land Use Consultants-Friendlys\Hydrocad\K2699 Drainage Summary PB.doc

CONCLUSION:

There will be no adverse impact to downstream abutters due to stormwater runoff from the proposed redevelopment of 166 West Street. Overall, there is no significant change in stormwater runoff post development.



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P:\Projec\NH PROJECTS\K2699 Brickstone Land Use Consultants-Friendlys\Hydrocad\K2699 Drainage Summary PB.doc

DESCRIPTION

The patent pending Lumark Crosstour™ MAXX LED Wall Pack Series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/ surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools, and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 50W and 85W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four (4) 1/2" NPT threaded conduit entry points. The back box is secured by four (4) lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour luminaires are thermally optimized with two (2) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 50W and 85W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available. Crosstour MAXX luminaires maintain greater than 85% of initial light output after 60,000 hours of operation. Four (4) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation.

Emergency Egress

Optional integral cold weather

battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Area and Site Pole Mounting

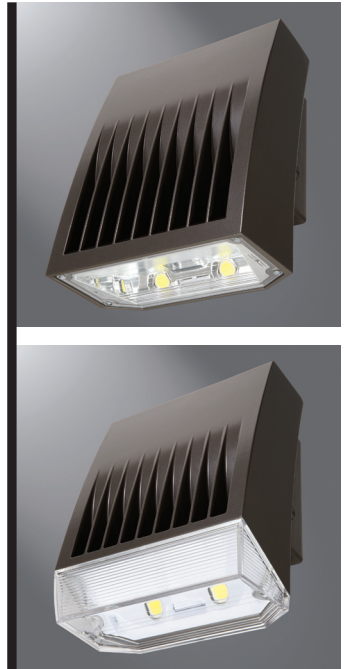
Optional extruded aluminum 6-1/2" arm features internal bolt guides for supplied twin support rods, allowing for easy positioning of the fixture during installation to pole. Supplied with round plate adapter plate. Optional tenon adapter fits 2-3/8" or 3-1/2" O.D. Tenon.

Finish

Crosstour MAXX is protected with a Super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year limited warranty.



**XTOR
CROSSTOUR
MAXX LED**

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ARRA Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP66 Rated
Lighting Facts® Registered
DesignLights™ Consortium Qualified*

TECHNICAL DATA

40°C Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR5A/XTOR9A = 0.54
With Pole Mount Arm = 0.98

SHIPPING DATA:

Approximate Net Weight:

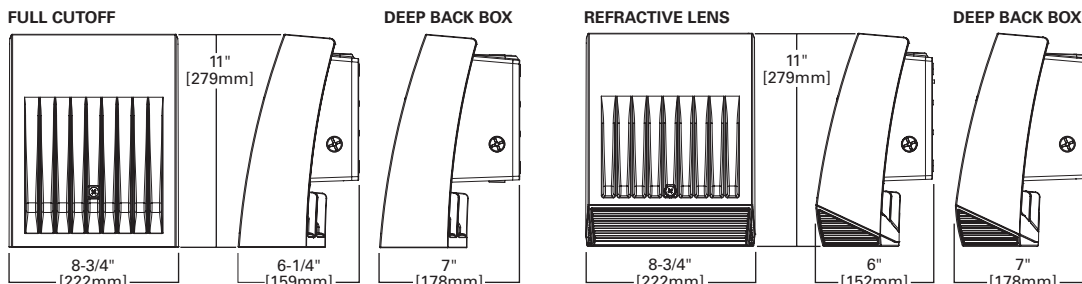
12-15 lbs. [5.4-6.8 kgs.]

47 of 48

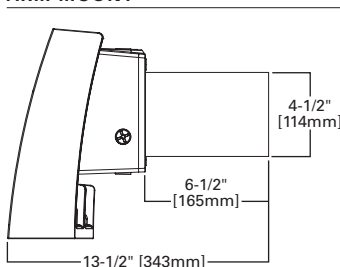
ADH130015

2013-03-06 14:53:47

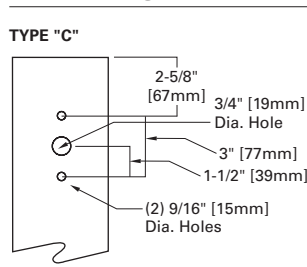
DIMENSIONS



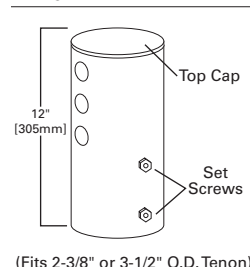
ARM MOUNT



ARM DRILLING



TENON ADAPTER



DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



GLEON GALLEON LED

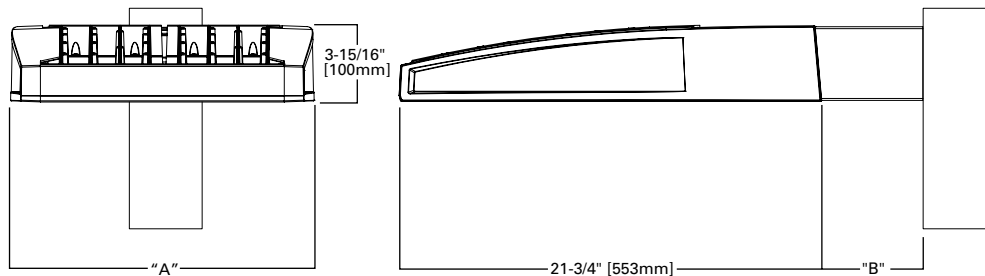
1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



LumenSafe Technology
[CLICK HERE](#)

DIMENSIONS

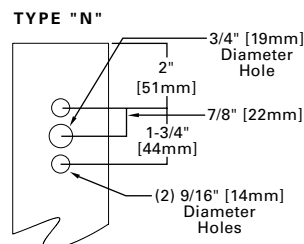


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)