



City of Keene Minor Project Review Committee

AGENDA

Thursday, March 10, 2022

10:00 AM

City Hall, 2nd Floor Council Chambers

- I. **Call to Order** – Roll Call
- II. **Minutes of Previous Meeting** – December 9, 2021
- III. **Public Hearings**

SPR-01-22 – Site Plan – 14 Rose Ln – Applicant and owner Davis Oil Company Inc proposes to install two 30,000-gal propane storage tanks on the property located at 14 Rose Ln (TMP# 120-008-000-000-000). The property is 1.6-ac in size and is located in the Industrial District.

SPR-470, Modification #1 – Site Plan – 62 Maple Ave – Applicant SVE Associates, on behalf of owner Cheshire Medical Center, proposes to construct a 2,400-sf canopy on the former Peerless Insurance Co. building, modify the parking configuration, and install a new travel lane on the property located at 62 Maple Ave (TMP# 227-006-000-000-000). The site is 50-ac in size and is located in the Industrial Park District.

- IV. **Upcoming Meeting Dates**
 - March 24, 2022 at 10:00 am (*If needed due to continued public hearing*)
 - April 14, 2022 at 10:00 am

City of Keene
New Hampshire

MINOR PROJECT REVIEW COMMITTEE
MEETING MINUTES

Thursday, December 9, 2021

10:00 AM

Council Chambers,
City Hall

Members Present:

John Rogers
Don Lussier
Lt. John Bates
Med Kopczynski
Michael Hagan, Alternate
Mari Brunner

Other Staff Present:

Megan Fortson, Planning
Technician

Members Not Present:

Kürt Blomquist, Alternate

1) Call to Order – Roll Call

Med Kopczynski called the meeting to order at 10:00 AM. Roll call was conducted. Mr. Kopczynski stated that he would like to change the order of the agenda items, starting with approving the previous meeting’s minutes.

2) Minutes of Previous Meeting – September 9, 2021

Ms. Brunner made a motion to approve the minutes of September 9, 2021. Mr. Lussier seconded the motion, which passed by a vote of 5-0. Mr. Hagan abstained because he was not at the previous meeting.

3) Review MPRC Role

Mr. Kopczynski stated that they need to elect a new Chair and Vice Chair, since the Community Development Director, Rhett Lamb, has retired. He continued that first, he would like to review the MPRC’s role.

Ms. Brunner stated that the members of this committee have been given the authority, by the Planning Board, to review site plans that are below a certain threshold. She continued by saying

30 that this group essentially functions as an extension of the Planning Board. The RSA terms it a
31 “technical review committee,” so it is comprised entirely of staff. They can review certain
32 applications that are in compliance with the Planning Board’s standards. If an application does
33 not meet the standards listed in the City’s regulations or if it is above a certain threshold, it
34 would have to go before the Planning Board. The MPRC’s role is outlined in the Land
35 Development Code. The schedule is set up to have two meetings per month: the first meeting is
36 for the public hearings and will always be held unless there are no applications to review and no
37 other agenda items to discuss. If something comes to the MPRC and during the first meeting the
38 committee was not able to get enough information or they need to continue the meeting for any
39 reason, then the second meeting of the month is held. The second meeting of the month is only
40 held as needed.

41
42 Mr. Rogers clarified that the second meeting is for any continued applications. He continued
43 that it would not be for any new application that had been submitted after the first meeting. Ms.
44 Brunner replied that is correct. She continued that regarding the Planning Board meetings, there
45 is a rather large amount of time between the deadline and when the project goes to the Planning
46 Board, so staff is able to do a thorough review of the application and put together a staff report.
47 They did not build in time for that for this committee. That is why they have two meetings set
48 up. Simple applications can be reviewed and approved during a single meeting; however, those
49 requiring more time can be continued to the second meeting of the month because they are not
50 doing the same level of review ahead of time and preparing a staff report.

51
52 Mr. Lussier stated that the untimely departure of the Chair (Mr. Lamb) has raised some questions
53 about membership, how members are appointed, and so on and so forth. He asked Ms. Brunner
54 about that. Ms. Brunner replied that staff brings recommendations to the Planning Board and the
55 Planning Board votes to appoint members to this committee. Mr. Lussier asked who the
56 appointed alternates are. Ms. Brunner replied that currently it is Mike Hagan and Kürt
57 Blomquist. She continued that Tara Kessler used to be an alternate as well. That position has
58 not been filled since Ms. Kessler left. Mr. Lussier asked if Ms. Brunner is here today as a
59 member. Ms. Brunner replied yes. She continued that in October the Planning Board voted to
60 appoint her to the committee to replace Mr. Lamb. However, they decided to hold off on
61 replacing the alternate position that became vacant when Ms. Kessler left, mostly because they
62 wanted to wait until they hired more staff, including a Planner. Megan Fortson is staffing the
63 committee.

64
65 Mr. Kopczynski stated that everyone here is aware, but for the sake of the record, he will
66 explain that this committee grew out of staff’s intentions for the Land Development Code and
67 the reorganization of the Community Development Department. He continued by explaining
68 that they are looking to make the processing of plans, and ultimately permits, as efficient as
69 possible, and to help with the local economy. City Staff just spent over three years creating the
70 Land Development Code and it was a very extensive process. They also know that it will
71 continue into the future. The intention of this committee is to review projects that fall within a

72 certain threshold that would normally have to go to the Planning Board.. The intention is to
73 expedite the review process for Applicants without relaxing any rules or regulations.

74
75 Mr. Kopczynski continued that this committee will take on an increasingly important role in the
76 future. It will replace some of the administrative approvals that were previously reviewed and
77 approved by the Community Development Director. Mr. Lamb would review and sign off on
78 projects within a certain threshold and report back to the Planning Board on an annual basis with
79 an update. The Minor Project Review Committee has established a more formal review process.
80 Although, the Community Development Director still has that authority to do administrative
81 review and approvals. Administrative reviews are the lowest level of site plan review, the Minor
82 Project Review Committee sits in the middle, and the Planning Board is the highest level of
83 review. Mr. Kopczynski thinks they will see many projects come through this process and many
84 projects try to come through this process. At first, the committee might waver a little bit, until
85 they figure it all out, and that is okay. If they need to go back and make some changes to the
86 Codes, that is okay, too. He thinks this is a good process, and one that they fully intended to do.

87

88 **4) MPRC 2022 Meeting Schedule**

89

90 Mr. Kopczynski asked if everyone has had a chance to look at the schedule. He continued that
91 Ms. Brunner did a good job explaining why there are two meetings scheduled per month.

92

93 Mr. Lussier made a motion to approve the schedule as presented. Mr. Hagan seconded the
94 motion.

95

96 Ms. Brunner noted that the only date that had to change slightly is the second meeting in
97 November. She continued that if the second meeting in November is necessary, they will be
98 meeting on a Wednesday instead of Thursday, because of Thanksgiving.

99

100 The motion passed by unanimous vote.

101

102 **5) Election of MPRC Chair and Vice Chair**

103

104 Mr. Kopczynski stated that he is currently the Vice Chair and willing to stay in that role. If
105 anyone wants to be Chair, that is fine with him. Mr. Rogers stated that he will throw his hat in
106 the ring.

107

108 Ms. Brunner made a motion to elect John Rogers as Chair of the MPRC. Mr. Lussier seconded
109 the motion, which passed by unanimous vote.

110

111 Chair Rogers asked if anyone has nominations for a Vice Chair, or if everyone is happy with the
112 current structure and wants Mr. Kopczynski to continue in that role.

113

114 Ms. Brunner made a motion to elect Med Kopczynski as Vice Chair of the MPRC. Mr. Lussier
115 seconded the motion, which passed by unanimous vote.

116
117 Chair Rogers stated that since there are no applications for this meeting, the MPRC will not be
118 holding its second meeting this month. He continued that the next meeting will be January 13,
119 2022. If needed, the follow-up meeting will be January 27. As Mr. Kopczynski said, what this
120 committee is doing is really developing a three-tier application review process for Applicants.
121 They will be reviewing some interesting projects that meet the criteria to come before this
122 committee as opposed to having to go to the Planning Board.

123

124 **6) Adjournment**

125

126 There being no further business, Chair Rogers adjourned the meeting at 10:14 AM.

127

128 Respectfully submitted by,
129 Britta Reida, Minute Taker

130

131 Reviewed and edited by,
132 Megan Fortson, Planning Technician

133





City of Keene, NH Planning Board Major / Minor Project Application

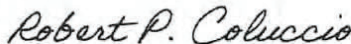
If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keeneh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Davis Oil Propane Storage Project	TYPE OF APPLICATION BEING SUBMITTED: <input type="checkbox"/> MAJOR PROJECT APPLICATION <input checked="" type="checkbox"/> MINOR PROJECT APPLICATION
PROJECT ADDRESS(ES): 14 Rose Lane, Keene, NH	

SECTION 2: CONTACT INFORMATION

OWNER	APPLICANT
NAME/COMPANY: Steve Walsh, Davis Oil Company	NAME/COMPANY: Steve Walsh, Davis Oil Company
MAILING ADDRESS: 559 Main Street, Keene, NH 03431	MAILING ADDRESS: 559 Main Street, Keene, NH 03431
PHONE: 603-352-1306	PHONE: 603-352-1306
EMAIL: swalsh@davisoilkeene.com	EMAIL: swalsh@davisoilkeene.com
SIGNATURE: 	SIGNATURE: 
PRINTED NAME: Steve Walsh	PRINTED NAME: Steve Walsh

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY: Robert Coluccio, PE, Web Engineering Assoc.	TAX MAP PARCEL #(s): ----- -----	
MAILING ADDRESS: 4L Rocco Drive, Derry, NH		
PHONE: 781-844-8323	PARCEL SIZE:	DATE STAMP:
EMAIL: rpoluccio@aol.com	ZONING DISTRICT:	
SIGNATURE: 		
PRINTED NAME: Robert P. Coluccio	PROJECT #:	

MINOR PROJECT APPLICATION

PROJECT NARRATIVE

Applicant: Davis Oil Company

Project Name:

Davis Oil LP-Gas Storage Facility

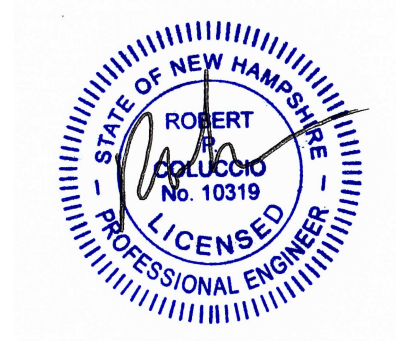
Project Address:

**14 Rose Lane
Keene, NH**

Prepared By:

**Robert P. Coluccio, PE
Web Engineering Associates, Inc.
4L Rocco Drive
Derry, NH 03038**

Date: **February 14, 2022**



WEB ENGINEERING ASSOCIATES, INC.

111 Summer Street, Scituate, MA 02060 Phone: (781) 844-8323

I. Introduction

This Minor Project Application pertains to a new LP-Gas (liquid propane) storage facility at the property located at 14 Rose Lane, Keene, NH. This permit application is submitted in accordance with Article 20 and 25.12 of the City of Keene Land Development Code.

II. Existing Site Conditions

The subject property is located in the Industrial Zone of the City of Keene. The property covers approximately 1.5 acres. It is surrounded partially by a chain link fence and partially by topography and woods. It is characterized by an existing oil storage facility, canopy covered oil truck loading rack, and a mix of vegetated, asphalt and gravel surfaces. The site is a mix of flat surfaces, and relatively steep slopes.

The site borders on a Low-Density Residential Zone (Main Street). The proposed LP-Gas tanks will be located approximately 250 feet from the near side of Main Street. Main Street is 25 or more feet higher in elevation than the area of the property where the LP-Gas tanks are proposed to be located. A wooded area composed of coniferous and deciduous trees isolates the subject property from the Main Street properties.

The 100-year flood plain covers a part of the property. A Floodplain Development Permit Application has been filed in accordance with the City of Keene Code of Ordinances contained in Sections 54-66, Compensatory Storage Requirements and 54-100, Construction Within the 100-year Flood Elevation. That application proposed 7 cubic yards of compensatory storage to account for four concrete piers and two pipe supports. The compensatory storage was provided in the area where the LP-Gas trucks will park while they are transferring LP-Gas into and out of the tanks.

There are no jurisdictional wetlands on the property.

III. Existing Site Uses

Existing operations at the facility include a bulk oil storage facility and the storage of empty dumpsters and roll offs. An aerial view and site photo are included in Appendix A.

The existing bulk storage facility includes a 50,000-gallon and three 15,000-gallon vertical aboveground storage tanks (ASTs). These ASTs are situated inside a concrete containment dike sized to meet state and federal secondary containment requirements. The ASTs were approved by the NHDES in accordance with Env-Or 300.

An existing truck loading rack is located alongside the oil containment dike. Household delivery trucks fill at the loading rack for offsite distribution. The loading rack is covered by a weather-

protection canopy. Secondary containment under the loading rack provides spill protection for truck transfer activities.

The property is also used by an outside sanitation company to store empty dumpster and roll offs. These dumpsters and roll offs are used for offsite construction, and never contain any debris or refuse on site.

Neighboring uses in the Industrial Zone include an asphalt batching plant, a septic system service provider, an electric supply warehouse, and the US Army Reserve. Main Street is a mix of low density residential and commercial uses.

IV. Proposed Conditions

Davis Oil is proposing to install an LP-Gas storage facility. The purpose of the LP-Gas storage facility is to provide one-stop fuel service for their customers who use two fuels (oil for heating and LP-Gas for hot water and cooking), as well as provide fuel to new customers and customers engaged in fuel conversions supporting a cleaner burning alternative.

The LP-Gas storage facility will consist of two 30,000-gallon ASME storage vessels. These tank volumes are typical of LP-Gas storage facilities in Keene. The dimensions of the vessels are 11-feet in diameter x 48 feet long. The tops of the tanks will be approximately 15 feet above surrounding grade. Web Engineering modified the existing conditions plan prepared by Huntley Survey and Design to show the location of the proposed LP-Gas tanks and equipment, as well as compensatory storage for any new fill being placed as part of this application (compensatory storage is approximately 7 cubic yards).

The 30,000-gallon tanks, pump, and piping will be located on concrete piers. The bottom of the tanks, pump, and piping will be located at a minimum elevation of one foot above the 100-year floodplain. The floodplain is delineated on the attached site plan prepared and certified by Huntley Survey and Design.

The storage of dumpsters and roll offs on the site will cease prior to the installation of the LP-Gas tanks.

V. LDC Standards and Exemption Requests

The information provided below is submitted in accordance with the City of Keene Planning Board Major/Minor Project application requirements outlined further in **Article 20** and **Article 25.12** of the Land Development Code (LDC). Each standard will be addressed with regard to how the standard is met by the proposed design or, if an exemption is requested, how the exemption request is supported.

Three sets of plans are included that support the information provided below. The plans include an existing conditions site plan, a proposed site plan, elevation profiles, as well as mechanical, emergency systems, and electrical drawings.

A. DRAINAGE AND STORMWATER MANAGEMENT

The subject property currently consists of vegetated, asphalt and gravel surfaces. There are no wetlands or water bodies on site or in its direct vicinity. The property consists of vegetated and wooded slopes and a flat area where activities take place. As mentioned above, a topographic low area of the site lies within the 100-year flood plain. The flat area of the site is the topographic low area for the surrounding properties and road. Therefore, no drainage leaves the site. Stormwater is infiltrated through pervious surfaces on the site.

The changes that are proposed under this application consist of 1) a minor amount of compensatory storage to account for the 7 cubic yards of concrete associated with the concrete piers, and 2) the replacement of existing pervious surface soils underneath the tanks with more pervious crushed-stone vegetation barrier.

The proposed compensatory storage, by design, will not result in any changes in offsite stormwater discharge. There are no grade changes that would affect the way that stormwater is managed on the site. The crushed stone bed under the tanks would otherwise result in a minor decrease in offsite stormwater discharge, simply because the crushed stone will initially retain more water.

Based on the facts that there will be no offsite stormwater discharge resulting from this application, an exemption from preparing a Drainage and Stormwater Management plan is requested.

B. SOIL ANALYSIS

A test pit was performed by Christopher Guida, Certified Soil Scientist, of Fieldstone Land Consultants, Milford, NH on December 14, 2021. The purpose of the test pit was to determine the elevation of the seasonal-high water table as part of the Flood Plain application, as well as assess subsurface soils for structural load bearing properties.

The test pit was located in the immediate vicinity where compensatory storage is proposed and where the concrete piers will be located. The test pit indicated that the depth to the seasonal-high water table was 72 inches below grade (elevation 472 feet +/-). The test pit also indicated suitable structural soils below the elevation of the bottom of the piers. See Appendix B.

For stormwater infiltration purposes, there will be no changes in off-site storm water discharge. Therefore, an exemption from any additional Soil Analysis is requested.

C. SEDIMENT AND EROSION CONTROL

The proposed modifications involve a relatively minor amount of earth management. Excavation activities will be limited to the installation of the concrete piers. Depth of excavation will be between 4 and 6 feet, sufficient to install the concrete piers below frost.

The concrete piers associated with the LP-Gas tanks will be precast in order to minimize on site construction activities. The excavations will be open only long enough to set the precast piers in place. The excavated soils will immediately be used as backfill around and on top of the piers. Construction of the piers is anticipated to take about one week.

In addition to the tank piers, soil management will be required to install the crushed stone bed under the tanks and to create compensatory storage. If soil is to be stockpiled for any length of time, it will be covered with poly sheeting to prevent erosion. Off site disposal of excavation soils is anticipated to take one to two truck trips. Other affected surfaces will be stabilized with road grade fill or rip rap, if required.

Due to the relatively low time duration and volume associated with earth work activities, an exemption is requested for a Sediment and Erosion Control plan.

D. SNOW STORAGE AND REMOVAL

Web Engineering Drawing No. A-1 shows the areas associated with existing snow storage, which is adequate to maintain access to truck traffic and existing operations and emergency equipment associated with the oil facility. No off-site snow removal takes place.

The area where the LP-Gas tanks will be located is currently plowed to allow access to the dumpsters and roll offs. Once installation of the proposed LP-Gas tanks commences, the storage of dumpsters and roll offs on the site will cease, along with the requirement to provide access to the dumpsters and roll offs after a snow storm.

Once the LP-Gas tanks are installed, the area surrounding the tanks will not be accessible to truck driven plows due to traffic protection and piping. Therefore, snow around the tanks will be removed by hand and will be limited to that which is required to safely operate the facility and maintain access to emergency systems. Therefore, the proposed tanks will likely result in a net reduction in the requirement for snow storage.

E. LANDSCAPING

The area between the site and its abutting properties are wooded. The tanks will only be 15 feet high +/-). The 25-foot elevation difference between Main Street and the area where the tanks will be located will place the tanks out of the Main Street line of site. Other occupants on Rose Lane are commercial and industrial. The LP-Gas tanks will not impact the site aesthetics in that regard. For these reasons, an exemption from a Landscaping Plan is requested.

F. SCREENING

As mentioned above, the area is zoned Industrial. Natural topography and woods screen the site from Main Street. Offsite visibility from abutting commercial and industrial occupancies is consistent with the existing character of the Industrial Zone. For this reason, and the reasons given for landscaping, an exemption from a Screening plan is requested.

G. LIGHTING

Current lighting is limited to the on-site light poles located alongside Rose Lane and security lights at the loading rack. No new lighting is proposed. The LP-Gas tanks will only be operated during hours when lighting is not required or when they can be operated safely under existing lighting. For these reasons, an exemption from a Lighting plan is requested.

H. SEWER AND WATER

Currently, there are no sewer or water services on the property and no new sewer or water services are proposed. Therefore, an exemption from a Sewer and Water plan is requested.

I. TRAFFIC AND ACCESS MANAGEMENT

Current truck traffic consists of oil truck traffic and dumpster/roll off management traffic entering and exiting through the same access driveway.

Truck traffic associated with the existing oil facility fluctuates throughout the year. Oil sales are highest between December and March when home heating oil is in high demand. Oil sales are lowest between May and October when heating oil demand drops.

Between December and March, there are approximately 10 oil delivery truck trips per day. This number of trips drops to 1 or 2 per day during the summer.

Dumpster/roll off storage results in up to 10 trips per day by the contractor.

The proposed LP-Gas storage tank traffic will result in 2 to 4 delivery truck trips per day between December and March and 0 to 1 trip during the summer months. LP-Gas truck traffic will replace the dumpster/roll off traffic, thus resulting in a net decrease in traffic.

In addition, the LP-Gas tanks were located so that the delivery trucks could use the existing access driveway on the site. Therefore, no new or modified access driveways are proposed.

For the reasons stated above, an exemption from a Traffic and Access Management study is requested.

J. FILLING AND EXCAVATION

Excavation and earthwork will be a one-time activity for the specific purpose of installing concrete piers, providing a stone bed beneath the tanks, and creating compensatory storage in accordance with Article 23. There are no proposed activities that will involve the commercial taking of earth, production and processing of construction aggregate, or transportation of earth and site restoration, as described in Article 24.

The activities in the flood plain comply with the Floodplain Regulations in Article 23 (a Flood Plain Permit application has been submitted). There are no jurisdictional wetlands on the site. Therefore, there will be no fill or excavation that will impact wetlands. The project will not result in 50 or more trucks of earth or gravel entering or leaving the site.

For these reasons, an exemption from a Filling and Excavation permit is requested.

K. SURFACE WATERS AND WETLANDS

There are no surface waters or wetlands on the site.

L. HAZARDOUS AND TOXIC MATERIALS

From an environmental perspective, LP-Gas exists as a vapor at atmospheric conditions. LP-Gas exists as a liquid only under pressure. A liquid leak immediately converts to vapor when it exits the pressurized container. Therefore, soil and groundwater is not impacted by a propane release. For this reason, neither secondary containment nor NHDES review is required.

From a flammability standpoint, LP-Gas is a hazardous substance in accordance with NH RSA Section 339-A:2. The proposed facility will be installed in accordance with NFPA 58, the Liquid Petroleum Gas Code and State Fire Codes. A Fire Safety Analysis Manual for LP-Gas Storage Facilities was developed by the National Fire Protection Agency (NFPA), in conjunction with the National Propane Gas Association (NPGA) to improve safety at LP-Gas storage facilities, as well as to provide a guidance for implementing NFPA 58 and

coordinating emergency response equipment and water capacities with the local fire department. A fire safety analysis has been prepared and submitted to the Keene Fire Department using the NPGA Fire Safety Analysis Manual as a technical guide.

M. NOISE

The facility is currently operated as an oil storage facility. The existing oil storage facility generates relatively low-level noise from centrifugal pumps. The noises at an LP-Gas storage facility are similarly generated, but by positive displacement pumps. LP-Gas related positive displacement pumps typically emit lower noise levels than oil-related centrifugal pumps.

Based on previous studies that Web Engineering has conducted, noise levels from centrifugal pumps are expected to attenuate to conversational levels (60 dB) at the distances between the pump and the nearest residential abutter. Further, daily use of the LP-Gas and oil pumps only takes place in winter when doors and windows are closed. For these reasons, an exemption from a Noise Study is requested.


N. ARCHITECTURAL AND VISUAL APPEARANCE

For the same reasons given for Landscaping and Screening, an exemption from a study of architectural and visual appearance is requested.


Davis Oil

14 Rose Lane
Keene, NH

Legend

 14 Rose Ln

 Granite City Electric Supply

 14 Rose Ln

Rose Ln




15 of 43

200 ft

Davis Oil

14 Rose Lane
Keene, NH

Legend

 14 Rose Ln

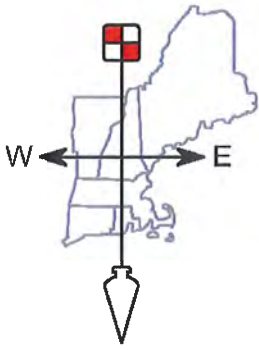
Google Earth

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16 of 43

8.95 ft



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www.FieldstoneLandConsultants.com

TEST PIT DATA
Map 120 Lot 8
14 Rose Lane
Keene, NH 03431

12/14/21

Test Pit #1

0-30" - 10 YR 3/3 Dark Brown, loam + mixed top soil fill

30-48" - 7.5 YR 4/6 Strong Brown, medium to coarse sand, single grain loose

48-80" - 2.5 Y 6/4 Light Yellowish Brown, medium to coarse sand, single grain loose

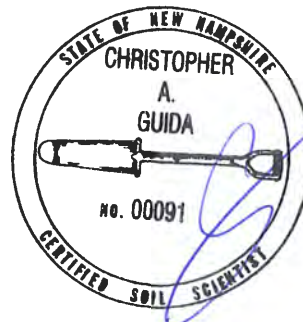
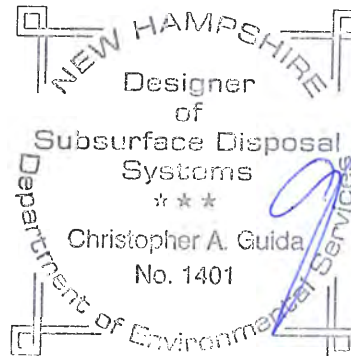
ESHW = 72" Observed Water = 80" Ledge/Boulders = None Roots = 48"

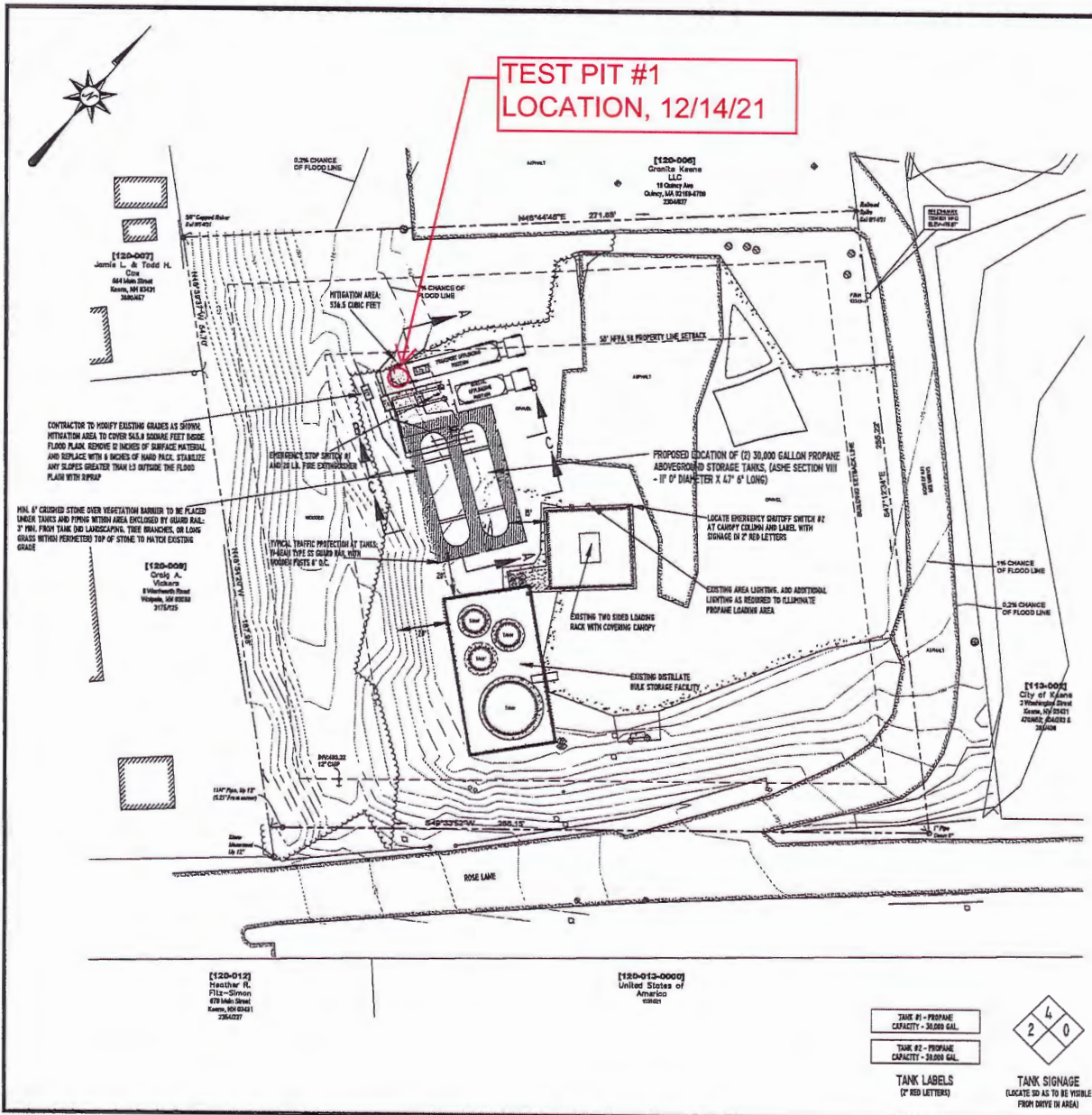
Logged By: C. Guida

The test pit conducted on the above referenced lot confirmed NRCS soil map soil series of Caesar loamy sand.

Sincerely,

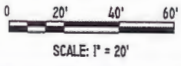
Christopher A. Guida, CSS, CWS
NH Septic Designer #1401





- DRAWING LIST**
 A-1 SITE PLAN - PROPOSED MODIFICATIONS
 A-2 PROPANE TANK SECTIONS / ELEVATIONS
 S-1 CONCRETE
 M-1 PROPANE PIPING SCHEMATIC
 M-2 PNEUMATIC SCHEMATIC AND ELECTRICAL

- NFPA 58 SETBACKS:**
 PROPANE TANK (OTHER THAN THAT BEING FILLED) TO BE > 10' FROM PROPANE TRANSFER CONNECTION
 PROPANE TANK TO BE > 50' FROM PROPERTY LINE AND BUILDING
 PROPANE TANK TO BE > 10' FROM TANKS STORING COMBUSTIBLE OR FLAMMABLE LIQUIDS
 PROPANE TANK TO BE > 20' FROM RETRAIABLE DECK
 PROPANE TRANSFER CONNECTIONS TO BE > 20' FROM BUILDINGS
- SIGNAGE:**
 1) TANK: SIGNAGE TO CONFORM TO NFPA 58 "STANDARD SYSTEM FOR THE IDENTIFICATION OF THE HAZARDS OF MATERIALS FOR EMERGENCY RESPONSE" AND CLEARLY IDENTIFY PRODUCT (4 SIDES)
 2) EMERGENCY SHUT OFF SWITCHES
 3) FIRE EXTINGUISHERS
 4) "NO SMOKING"
- ALL SIGNAGE TO BE IN 2" RED LETTERING
 SEE DRAWING P-2 FOR ADDITIONAL SIGNAGE INFORMATION
- GENERAL NOTES:**
 1) ABOVEGROUND PROPANE TANKS AND PIPING TO CONFORM TO NFPA 58 "UNIFIED PETROLEUM GAS CODE" - 2014 EDITION AND NFPA 1 "FIRE CODE" - 2015 EDITION AS AMENDED BY SIF-C-0404
 2) INSTALL, PERMANENTLY ACTIVATED, INTERNAL VALVES IN ALL VAPOR AND LIQUID OPENINGS IN ACCORDANCE WITH NFPA 61 REQUIREMENTS UNLESS OTHERWISE INDICATED
 3) EMERGENCY SHUT OFF SWITCHES TO BE LOCATED AT LOADING AND OFFLOADING STATIONS AS WELL AS A REMOVE SWITCH LOCATED BETWEEN 25 AND 100 FEET FROM TANK
 4) MAINTAIN CLEAR PATHWAYS TO ALL EMERGENCY SWITCHES
 5) ALL PIPING, VALVE, EQUIPMENT, ETC. TO BE RATED FOR AND COMPATIBLE WITH PROPANE USE AND IN ACCORDANCE WITH NFPA 58 REQUIREMENTS
 6) (2) 20 LB. BC FIRE EXTINGUISHERS TO BE MOUNTED AT LOADING AND OFFLOADING STATIONS AS SHOWN



THIS DRAWING TAKEN FROM A PLAN OF LAND BY HENRIEY SURVEY & DESIGN, P.L.L.C. OF TEMPLE, NEW HAMPSHIRE, DATED SEPTEMBER 15, 2010 AND SHOULD NOT BE USED FOR THE DETERMINATION OF PROPERTY LINES, METES, BOUNDS, ETC.

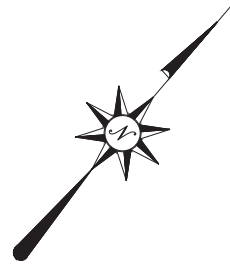
A-1

DAVIS OIL CO. INC.
 14 ROSE LANE, KEENE, NEW HAMPSHIRE

WEB ENGINEERING ASSOCIATES, INC.
 111 SUMNER STREET, SCITUATE, MASSACHUSETTS 02066

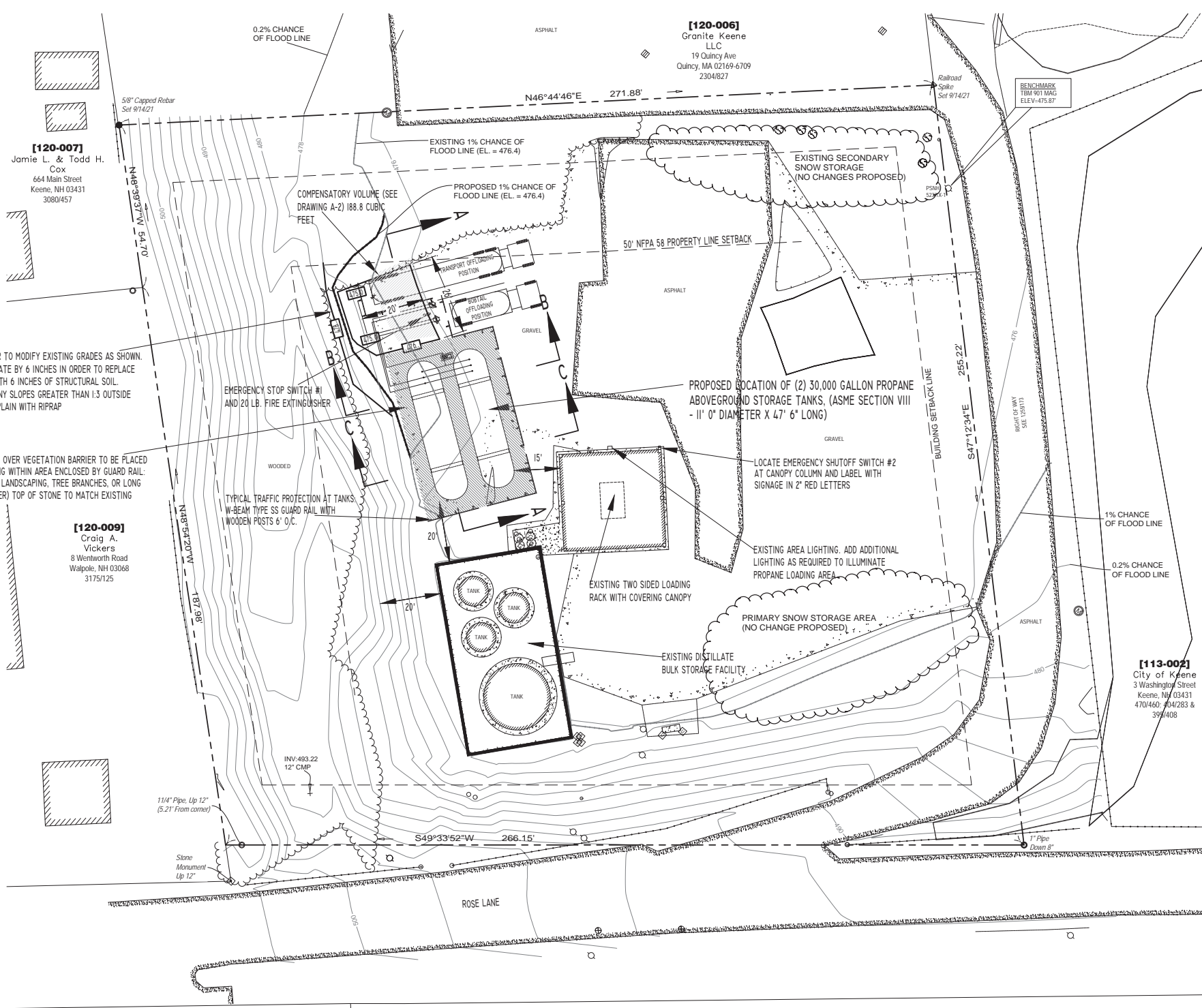
SITE PLAN - PROPOSED MODIFICATIONS

DATE	REVISION
FILE: PROPOSED	
DRAWN BY: JAS	
DATE: 10/20/21	
JOB #: 18-E-457	
WEB DRAWING NO. 2062	
SCALE: 1" = 20'	



DRAWING LIST
 A-1 SITE PLAN - PROPOSED MODIFICATIONS
 A-2 PROPANE TANK SECTIONS / ELEVATIONS
 S-1 CONCRETE
 M-1 PROPANE PIPING SCHEMATIC
 M-2 PNEUMATIC SCHEMATIC AND ELECTRICAL

A-1



NO SNOW STORAGE ALLOWED IN COMPENSATORY STORAGE AREA



[120-007]
 Jamie L. & Todd H. Cox
 664 Main Street
 Keene, NH 03431
 3080457

CONTRACTOR TO MODIFY EXISTING GRADES AS SHOWN OVER-EXCAVATE BY 6 INCHES IN ORDER TO REPLACE SUBSOILS WITH 6 INCHES OF STRUCTURAL SOIL. STABILIZE ANY SLOPES GREATER THAN 1:3 OUTSIDE THE FLOOD PLAIN WITH RIPRAP

[120-009]
 Craig A. Vickers
 8 Wentworth Road
 Walpole, NH 03068
 3175125

[120-012]
 Heather R. Fitz-Simon
 678 Main Street
 Keene, NH 03431
 23547227

[120-013-0000]
 United States of America
 1036921

[120-006]
 Granite Keene LLC
 19 Quincy Ave
 Quincy, MA 02169-6709
 2304827



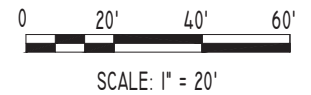
TANK #1 - PROPANE
 CAPACITY - 30,000 GAL.

TANK #2 - PROPANE
 CAPACITY - 30,000 GAL.

TANK LABELS
 (2" RED LETTERS)

TANK SIGNAGE
 (LOCATE SO AS TO BE VISIBLE FROM DRIVE IN AREA)

XXX.X PROPOSED SPOT ELEVATION
 ——— PROPOSED CONTOUR
 - - - - - EXISTING CONTOUR



SCALE: 1" = 20'

NFPA 58 SETBACKS:
 PROPANE TANK (OTHER THAN THAT BEING FILLED) TO BE > 10' FROM PROPANE TRANSFER CONNECTION
 PROPANE TANK TO BE > 50' FROM PROPERTY LINE AND BUILDING
 PROPANE TANK TO BE > 20' FROM TANKS STORING COMBUSTIBLE OR FLAMMABLE LIQUIDS
 PROPANE TANK TO BE > 20' FROM METHANOL DRUM
 PROPANE TRANSFER CONNECTIONS TO BE > 25' FROM BUILDINGS

SIGNAGE:
 1) TANK: SIGNAGE TO CONFORM TO NFPA 704 "STANDARD SYSTEM FOR THE IDENTIFICATION OF THE HAZARDS OF MATERIALS FOR EMERGENCY RESPONSE" AND CLEARLY IDENTIFY PRODUCT (4 SIDES).
 2) EMERGENCY SHUT OFF SWITCHES
 3) FIRE EXTINGUISHERS
 4) "NO SMOKING"

ALL SIGNAGE TO BE IN 2" RED LETTERING

SEE DRAWING M-2 FOR ADDITIONAL SIGNAGE INFORMATION

GENERAL NOTES:
 1) ABOVEGROUND PROPANE TANKS AND PIPING TO CONFORM TO NFPA 58 "LIQUEFIED PETROLEUM GAS CODE" - 2014 EDITION AND NFPA 1 "FIRE CODE" - 2015 EDITION AS AMENDED BY SAF-C-6000.
 2) INSTALL THERMALLY ACTIVATED, INTERNAL VALVES IN ALL VAPOR AND LIQUID OPENINGS IN ACCORDANCE WITH NFPA 58 REQUIREMENTS UNLESS OTHERWISE INDICATED.
 3) EMERGENCY SHUT OFF SWITCHES TO BE LOCATED AT LOADING AND OFFLOADING STATIONS AS WELL AS A REMOTE SWITCH LOCATED BETWEEN 25 AND 100 FEET FROM TANK.
 4) MAINTAIN CLEAR PATHWAYS TO ALL EMERGENCY SWITCHES
 5) ALL PIPING, VALVE, EQUIPMENT, ETC. TO BE RATED FOR AND COMPATIBLE WITH PROPANE USE AND IN ACCORDANCE WITH NFPA 58 REQUIREMENTS.
 6) (2) 20 LB. BC FIRE EXTINGUISHERS TO BE MOUNTED AT LOADING AND OFFLOADING STATIONS AS SHOWN.

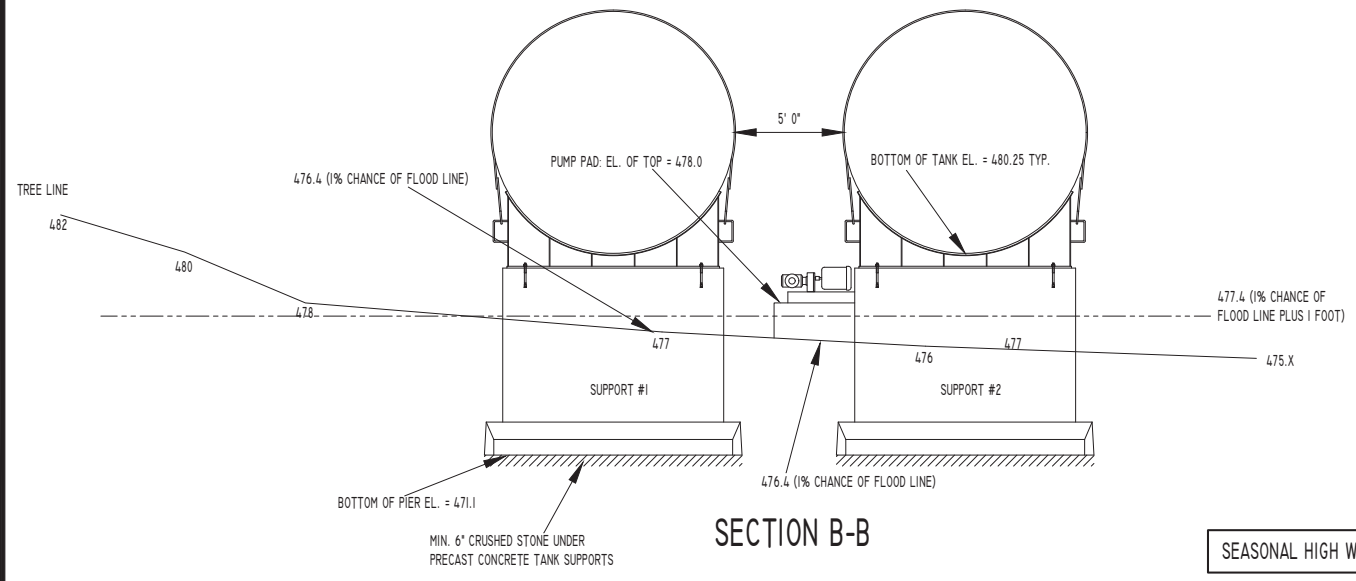
THIS DRAWING TAKEN FROM A PLAN OF LAND BY HUNTLEY SURVEY & DESIGN, PLLC OF TEMPLE, NEW HAMPSHIRE, DATED SEPTEMBER 15, 2021 AND SHOULD NOT BE USED FOR THE DETERMINATION OF PROPERTY LINES, METES, BOUNDS, ETC.

DAVIS OIL CO. INC.
 14 ROSE LANE, KEENE, NEW HAMPSHIRE

WEB ENGINEERING ASSOCIATES, INC.
 111 SUMMER STREET, SCITUATE, MASSACHUSETTS 02066

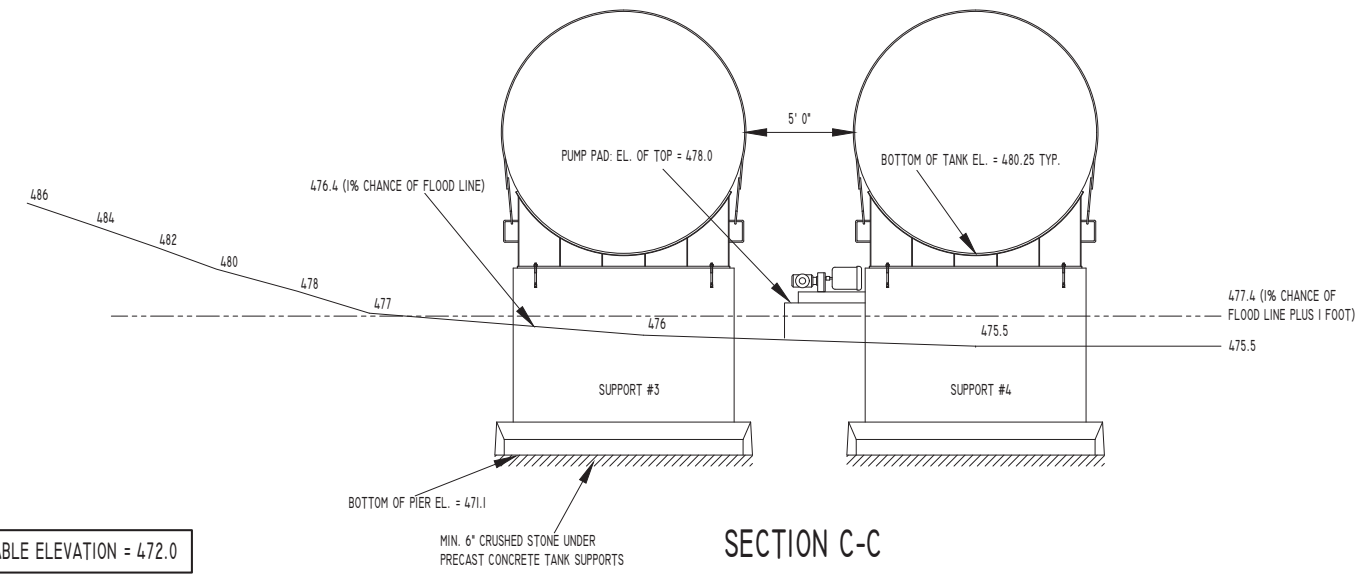
DATE	REVISION





SECTION B-B

SEASONAL HIGH WATER TABLE ELEVATION = 472.0

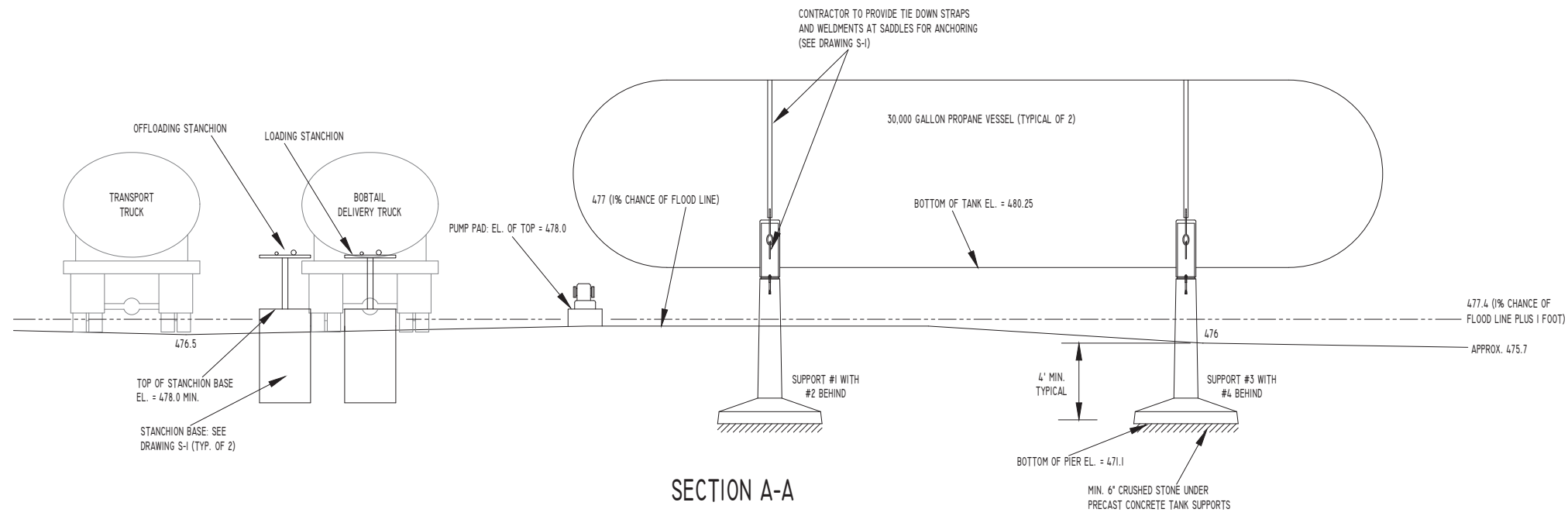


SECTION C-C

STRUCTURE	VOLUME OF CONCRETE BETWEEN GRADE AND ELEVATION 476.4 (CUBIC FEET)	VOLUME OF CONCRETE BELOW GRADE (CUBIC FEET)*	VOLUME OF CRUSHED STONE UNDER SUPPORT (CUBIC FEET)*	SUBTOTAL TO BE MITIGATED (CUBIC FEET)
SUPPORT #1	6.2	56.7 X .4 = 22.7	35.9 X .4 = 14.4	43.3
SUPPORT #2	5.4	56.7 X .4 = 22.7	35.9 X .4 = 14.4	42.5
SUPPORT #3	3.1	44.9 X .4 = 18.0	35.9 X .4 = 14.4	35.5
SUPPORT #4	4.1	44.9 X .4 = 18.0	35.9 X .4 = 14.4	36.5
(2) STANCHION BASES	3.5	59.1 X .4 = 23.6	0	27.1
PUMP PAD	0.7	8.0 X .4 = 3.2	0	3.9
			TOTAL TO BE MITIGATED	188.8

* ASSUME 40% VOID SPACE RATIO

SEE DRAWING A-1 FOR COMPENSATORY VOLUME IN AREA OF TRANSPORT TRUCK OFFLOADING LOCATION



SECTION A-A

DAVIS OIL CO. INC.
14 ROSE LANE, KEENE, NEW HAMPSHIRE

PROPANE TANK SECTIONS / ELEVATIONS

WEB ENGINEERING ASSOCIATES, INC.
111 SUMMER STREET, SCITUATE, MASSACHUSETTS 02066

DATE	REVISION

FILE: TANK ELEVATIONS C
DRAWN BY: JAS
DATE: 9/20/21
JOB #: 21-E-057
WEB DRAWING NO. 21063
SCALE: 1/4" = 1'



SEE DRAWING A-1 FOR ADDITIONAL INFORMATION

ELEVATION DATA IN SECTIONS TAKEN FROM DRAWING A-1: CONTOURS PROVIDED BY HUNTLEY SURVEY & DESIGN, PLLC OF TEMPLE, NEW HAMPSHIRE, DATED SEPTEMBER 15, 2021

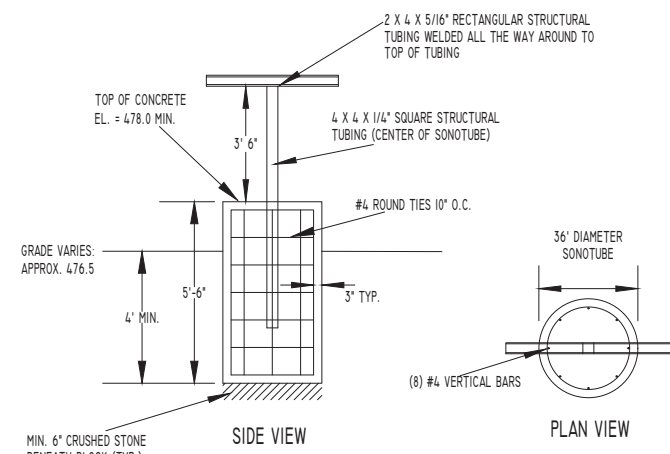
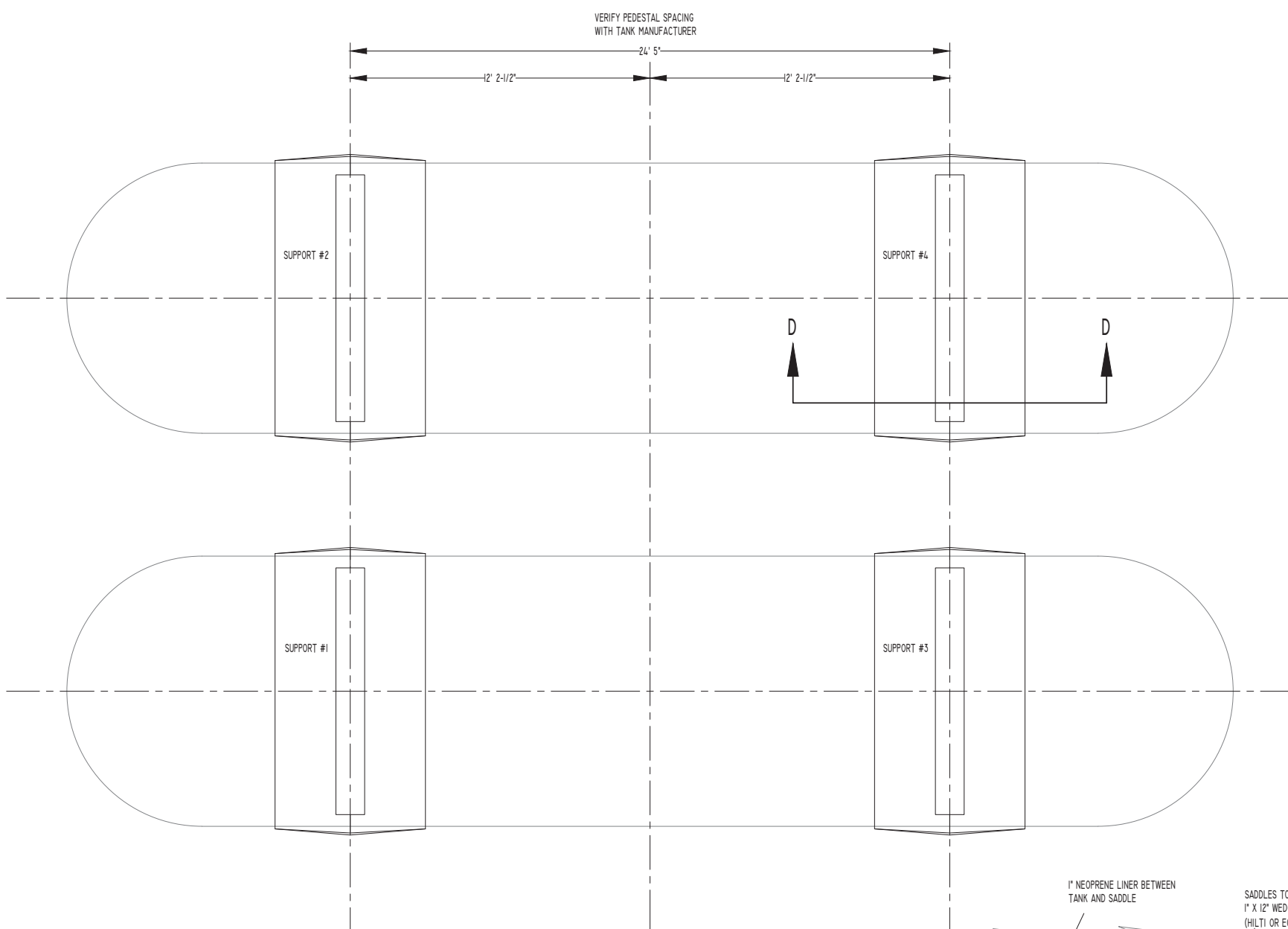
DAVIS OIL CO. INC.
14 ROSE LANE, KEENE, NEW HAMPSHIRE

CONCRETE

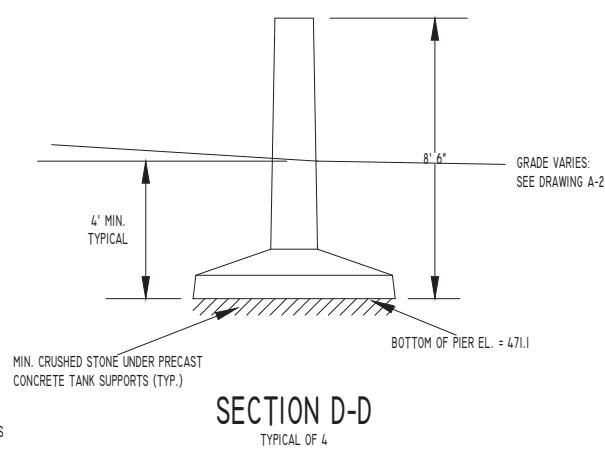
WEB ENGINEERING ASSOCIATES, INC.
111 SUMMER STREET, SCITUATE, MASSACHUSETTS 02066

DATE	REVISION

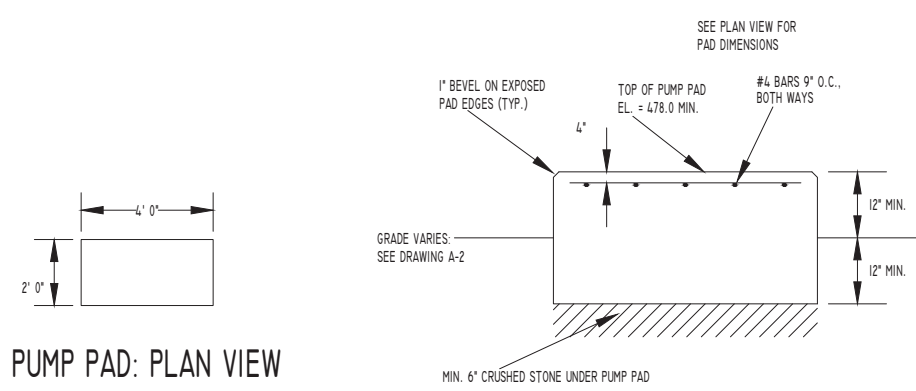
FILE: CONCRETE A
DRAWN BY: JAS
DATE: 9/20/21
JOB #: 21-E-057
WEB DRAWING NO. 21066
SCALE: 3/8" = 1"



OFFLOADING/LOADING
STANCHION SUPPORT BLOCK
TYP. OF 2

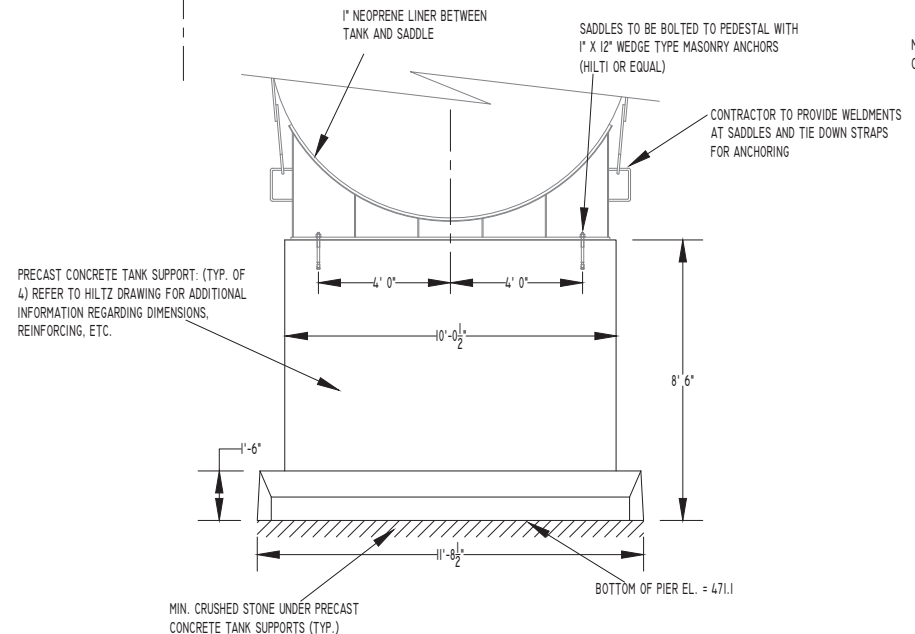


SECTION D-D
TYPICAL OF 4



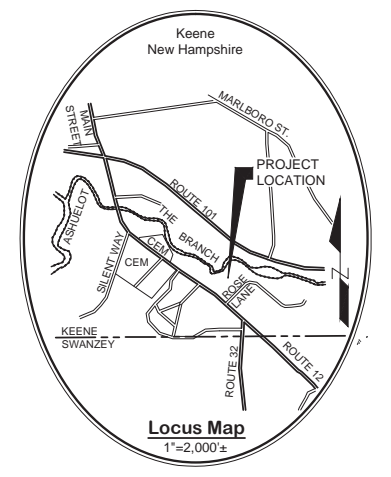
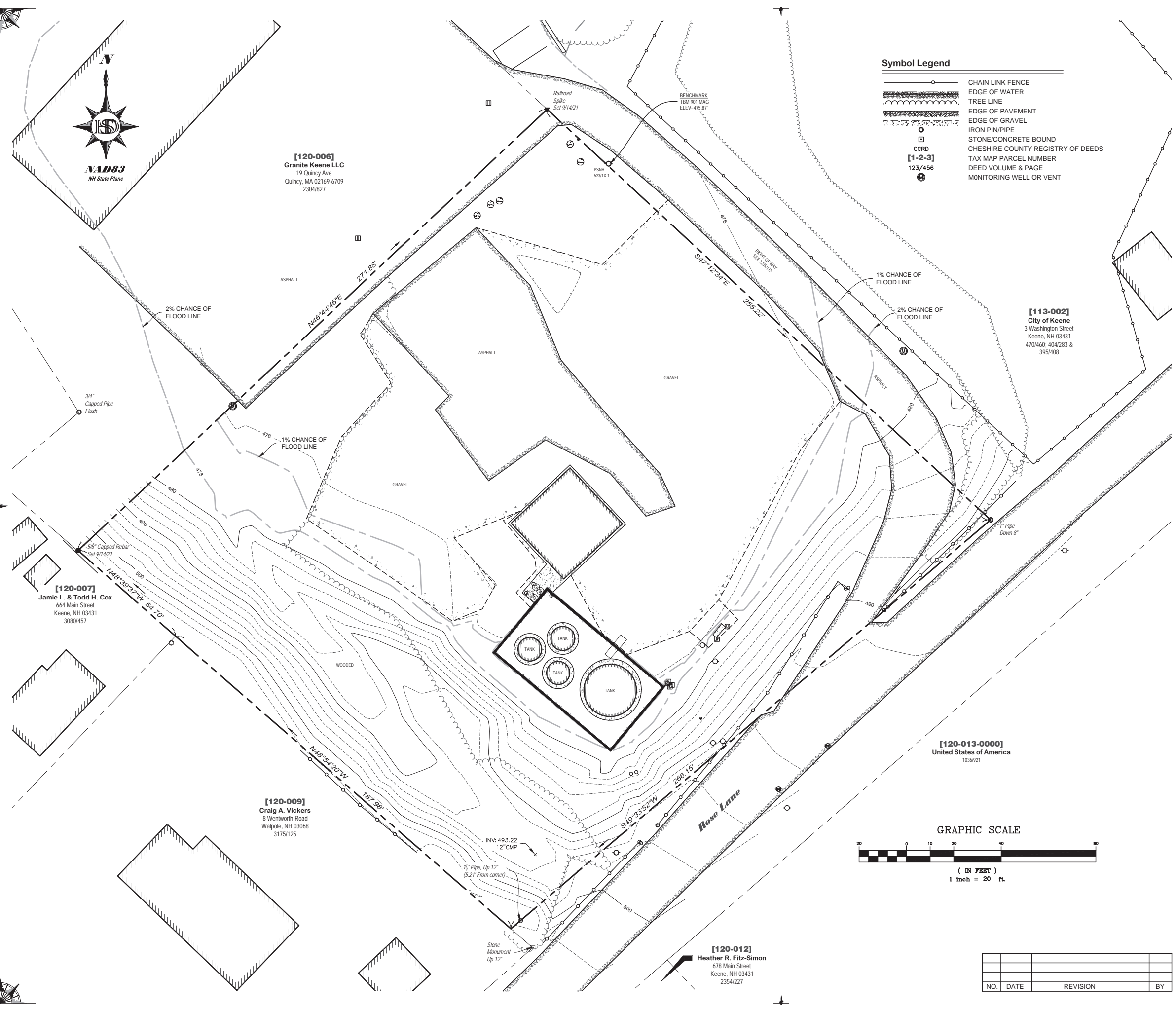
PUMP PAD: PLAN VIEW

PUMP PAD SECTION VIEW
SCALE: NOT TO SCALE



PRECAST CONCRETE TANK SUPPORT ELEVATION VIEW

- GENERAL NOTES FOR THREE POURED IN PLACE CONCRETE SUPPORT PADS:**
- SOILS TO HAVE A MINIMUM LOAD BEARING CAPACITY OF 1,500 LBS. PER SQUARE FOOT. PROVIDE PROOF OF SOIL BEARING CAPACITY AND CONSISTENCY. IF BEARING MATERIALS WITH A LOWER BEARING CAPACITY OF LESS THAN 2,000 LBS. PER SQUARE FOOT ARE ENCOUNTERED AT THE SPECIFIED ELEVATIONS, THEN THE UNSUITABLE MATERIAL IS TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE ENGINEER.
 - NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
 - CONCRETE SHALL BE PROTECTED AGAINST FROST UNTIL PROJECT IS COMPLETED.
 - ANY BACKFILL SHALL BE COMPACTED IN 6" LIFTS OF 95% COMPACTED GRAVEL AS APPROVED BY THE ENGINEER.
 - BACKFILL EARTH ON EACH SIDE OF CONCRETESIMULTANEOUSLY. DO NOT BACKFILL AND COMPACT EARTH UNTIL CONCRETE HAS FULLY CURED.
 - CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS" (ACI-301)
 - ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT THE END OF 28 DAYS WITH A SLUMP OF NO MORE THAN 4". PROVIDE PROOF OF COMPRESSION THROUGH A MINIMUM OF TWO FIELD SAMPLE CYLINDERS PER CONCRETE POUR (CRACK FIRST AT 7 DAYS AND SECOND AT 28). ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED (NOMINAL 6%). ALL PROPOSED CONCRETE MIXES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. ALL APPROVED MIX DESIGNS SHALL BE IN STRICT CONFORMANCE TO CHAPTER 4 OF ACI 318. ALL CONCRETE SHALL CONFORM TO ACI 350R CONCRETE SANITARY ENGINEERING STRUCTURES. PROVIDE PROCEDURES FOR CURING CONCRETE TO ENGINEER FOR APPROVAL.
 - ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE TO THE PROPER RADII ESTABLISHED BY THE AMERICAN CONCRETE INSTITUTE. UNDER NO CONDITIONS SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS. REINFORCING SHALL CONFORM TO ASTM 615, GRADE 60.
 - ALL CONCRETE TO BE CONTINUOUSLY VIBRATED DURING POURING.



- Plan References**
- REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS:
- BOUNDARY SURVEY, LAND OF CITY OF KEENE, LOCATED AT TAX MAP 90, BLOCK 22, LOT 006, ROSE LANE, KEENE, NEW HAMPSHIRE, DATED JUNE 30, 2009; BY RUSSELL J. HUNTLEY, SVE ASSOCIATES (PROJECT No.K1929 OBTAINED FROM SVE)
 - PERIMETER BOUNDARY SURVEY, TAX MAP PARCELS 906-22-002 & 906-22-018, 36 ROSE LANE, KEENE, NEW HAMPSHIRE, DATED AUGUST 29, 2016; BY RUSSELL J. HUNTLEY, SVE ASSOCIATES (PROJECT No. K2503 OBTAINED FROM SVE)
 - BOUNDARY PLAN LAND OF CITY OF KEENE, NEW HAMPSHIRE LOCATED AT TAX MAP PARCEL NO. 114-012, 560 MAIN STREET, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE, BOOK 253, PAGE 421 'THE CITY PASTURE', DATED 07/25/2019; BY RUSSELL J. HUNTLEY, HUNTLEY SURVEY & DESIGN, PLLC (On File at HSD).
 - ACTIVITY & USE RESTRICTION PLAN, LAND OF CITY OF KEENE, LOCATED AT TAX MAP PARCEL NO. 113-002-000, 00 ROSE LANE, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE, DATED 06/05/2020; BY RUSSELL J. HUNTLEY, HUNTLEY SURVEY & DESIGN, PLLC (On File at HSD, Cad File No. H20-017A.dwg)

- Notes**
- NORTH SHOWN ON THIS PLAN IS REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON PLAN REFERENCE No.3 AND SERVES ONLY TO DEFINE ANGULAR RELATIONSHIPS.
 - THE EXTERIOR BOUNDARY LINES SHOWN ON THIS PLAN ARE SHOWN FROM PLAN REFERENCES LISTED.
 - TOPOGRAPHY SHOWN ON THIS PLAN IS FROM AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC PERFORMED DURING THE MONTH OF SEPTEMBER 2021. THE VERTICAL DATUM IS NAVD 88 OBTAINED BY TRIGONOMETRIC SURVEY FROM NHDOT DISK 237-0030. CONTOUR INTERVAL IS TWO (2) FEET.
 - JURISDICTIONAL WETLANDS WERE NOT OBSERVED ON SITE.
 - PORTIONS OF THE PARCELS SHOWN ARE LOCATED IN THE 1% CHANCE FLOOD HAZARD AREA (100 YEAR FLOOD) AND THE 2% FLOOD HAZARD AREA (500 YEAR FLOOD) PER FEMA PANEL 33005C0267E EFFECTIVELY DATED MAY 23, 2006. THE 1% LINES SHOWN ARE AT ELEVATION 476.4 PER SECTIONS LISTED ON SAID PANEL AND THE FIS CROSS SECTIONS. THE 2% LINES ARE GIVEN AS ELEVATION 478.

Surveyor's Certification

THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE THAT MEETS THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR URBAN AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1. "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.

THIS IS AN EXISTING CONDITION SURVEY AND IS SUBSTANTIALLY CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ALL DIMENSIONS ARE SUBJECT TO THE ERROR OF CLOSURE PREVIOUSLY STATED.

PURSUANT TO RSA 676:18, III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



Existing Conditions Plan

LAND OF
Davis Oil Co. Inc.
located at
Tax Map Parcel No. 120-008
14 Rose Lane, Keene, Cheshire County, New Hampshire
Book 0000, Page 0000

Scale 1"= 20'

Surveyed 09/2021 Plan prepared 09/15/2021
Project No. H21-054 Cad File No. H21-054B.dwg

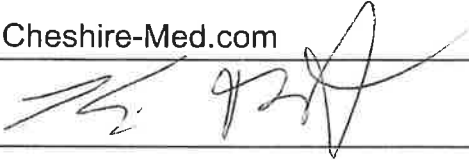

Huntley Survey & Design, PLLC
NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

NO.	DATE	REVISION	BY



City of Keene, NH Planning Board Major / Minor Project Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION		
PROJECT NAME: Cheshire Family Medicine Residency		TYPE OF APPLICATION BEING SUBMITTED: <input type="checkbox"/> MAJOR PROJECT APPLICATION <input checked="" type="checkbox"/> MINOR PROJECT APPLICATION
PROJECT ADDRESS(ES): 62 Maple Avenue		
SECTION 2: CONTACT INFORMATION		
OWNER	APPLICANT	
NAME/COMPANY: Cheshire Medical Center	NAME/COMPANY: Liza Sargent/SVE Associates	
MAILING ADDRESS: 580 Court Street, Keene, NH 03431	MAILING ADDRESS: P.O. Box 1818, Brattleboro, VT 05302	
PHONE: 603-354-5454	PHONE: 802-257-0561	
EMAIL: KForrest@Cheshire-Med.com	EMAIL: lsargent@sveassoc.com	
SIGNATURE: 	SIGNATURE: 	
PRINTED NAME: KEVIN FORREST	PRINTED NAME: Liza Sargent	
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY:	TAX MAP PARCEL #(s): ----- -----	
MAILING ADDRESS:		
PHONE:	PARCEL SIZE:	DATE STAMP:
EMAIL:	ZONING DISTRICT:	
SIGNATURE:		
PRINTED NAME:	PROJECT #:	

PROJECT NARRATIVE

Cheshire Family Medicine Residency

SVE Project # K2723

February 17, 2022

The project consists of construction of a drop off canopy for the existing building located at 62 Maple Avenue for the Cheshire Medicine Residency. This building was formally owned by Peerless Insurance and used as an office building. The proposed canopy will require modification of the existing parking lot to maintain traffic flow. Fire protection, domestic water, sewer and electric utilities will be replaced and upgraded.

1.) Drainage & Stormwater Management:

The existing impervious areas will continue to drain as they currently do. The existing impervious area will be increased by 5,000+/- sf resulting from the addition of the two-way traffic isle. To offset this increase in impervious surfaces, an infiltration trench is proposed downhill from the proposed travel isle.

2.) Sediment & Erosion Control:

The site is relatively flat, minimizing the potential for erosion problems. Regardless, the Contractor is to install, monitor, and repair erosion control measures on a regular basis.

3.) Snow Storage and Removal:

No change from existing conditions.

4.) Landscaping:

Landscaping will be proposed in the new islands.

5.) Screening:

The site isn't visible to the general public, no screening is proposed.

6.) Lighting:

No changes to the parking lot lighting. The canopy and entrance will be illuminated with full cut off fixtures.

7.) Water & Sewer:

Both water and sewer utilities will be replaced. Building is going to be sprinkled so a new 8" fire protection main will be installed along with the proposed 4" domestic water. A new 6" sewer main is proposed.

SVE Associates

Engineering * Surveying * Landscape Architecture * Planning
47 Marlboro St., Keene, NH 03431 Phone: (603) 355-1532 Fax (603) 355-2969 E-mail svek@sveassoc.com

8.) Traffic & Access Management:

No changes are proposed to the existing curb cuts. Traffic will enter one way at the proposed canopy (two lanes for drop off). Traffic signs will indicate direction of one-way traffic near the canopy. Additional ADA parking spaces will be added with a new sidewalk to the new covered entrance. A new two way travel isle is proposed to eliminate the need for traffic entering the site from the south from having to drive thru the drop off canopy if they don't need to drop off passengers.

9.) Filling and Excavation:

The volume of excavation and fill required is minimal.

10.) Surface Waters & Wetlands:

Not applicable.

11.) Hazardous and Toxic Materials:

Not applicable.

12.) Noise:

The proposed use will generate no more noise than previously existed.

13.) Architecture and Visual Appearance:

See attached rendering.

SVE Associates

Engineering * Surveying * Landscape Architecture * Planning
47 Marlboro St., Keene, NH 03431 Phone: (603) 355-1532 Fax (603) 355-2969 E-mail svek@sveassoc.com

SVE Associates

Engineering

*

Surveying

*

Landscape Architecture

*

Planning

February 18, 2022

Keene Planning Staff
City of Keene
3 Washington Street
Keene, NH 03437

Re: SPR-658 - Site Plan Modification Application – 62 Maple Avenue

Dear Keene Planning Staff:

On behalf of the applicant, Cheshire Medical Center, we respectfully request a waiver of full compliance with Development Standard 20.7, Lighting, specifically the submission of the photometric plan. Our application is seeking approval to construct a canopy at the west entrance of the former Peerless Insurance Building at 62 Maple Avenue. The existing parking lot around the building is already lighted, we do not intend on changing it. The only lighting will be under the canopy.

We think providing only the canopy light cut sheets meets the spirit and intent of the regulations. Lighting for the existing 62 Maple Avenue campus has existed for several years without complaint so we see no adverse impacts to the abutters, community or environment, and no diminution of abutting property values. Creating a professionally prepared lighting plan with calculations seems an unnecessary expense and exercise given the prior approval and no changes are proposed to the existing lighting.

Thank you for your consideration of our waiver request.

Respectfully submitted,

SVE Associates



Liza Sargent, P.E.

SVE Associates

Engineering

*

Surveying

*

Landscape Architecture

*

Planning

February 18, 2022

Keene Planning Staff
City of Keene
3 Washington Street
Keene, NH 03437

Re: SPR-658 - Site Plan Modification Application – 62 Maple Avenue

Dear Keene Planning Staff:

On behalf of the applicant, Cheshire Medical Center, we respectfully request a waiver of full compliance with Development Standard 20.2, Drainage & Stormwater Management, specifically the submission of the drainage report. Our application is seeking approval to construct a canopy at the west entrance of the former Peerless Insurance Building at 62 Maple Avenue. The net increase in impervious surface is 5,000+/- sf, primarily due to the proposed travel isle to alleviate the need for all traffic coming from the south entrance from Maple Avenue from going through the drop off canopy. The existing stormwater runoff from this area on the campus sheet flows across the existing lawn towards the woods. The existing soil type, based on the NRCS web soil survey is Caesar Loamy Sand, 0-3% slopes. The published depth to restrictive features and water table is greater than 80 inches, and infiltration rate is 20 to 99 in/hr (very high).

We think the sheet flow of this stormwater runoff onto the existing lawn and naturally infiltrating into the proposed infiltration trench meets the spirit and intent of the regulations. The existing stormwater runoff sheet flows across the pavement to this lawn area, and the hospital owns 50+/- acres with the nearest property line being 300+ feet away from the proposed travel isle, therefore we see no adverse impacts to the abutters, community or environment, and no diminution of abutting property values. Creating a professionally prepared drainage report seems an unnecessary expense and exercise given the minimal increase in impervious surface area, well drained soils and distance to the nearest abutter.

Thank you for your consideration of our waiver request.

Respectfully submitted,

SVE Associates

Liza Sargent

Liza Sargent, P.E.

CHESHIRE FAMILY MEDICINE RESIDENCY

62 MAPLE AVENUE, KEENE NEW HAMPSHIRE

PROPERTY OWNER:

CHESHIRE MEDICAL CENTER

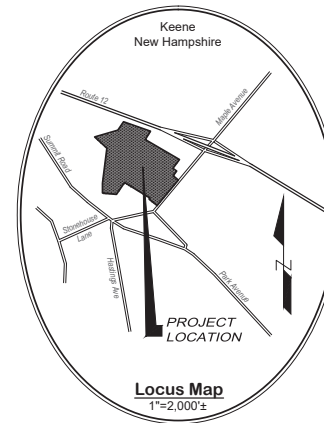
580 COURT STREET

KEENE, NEW HAMPSHIRE 03431



Liza Sargent 2/18/22

LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365



INDEX OF PLANS

- N-1 NOTES & LEGEND
- S-1 EXISTING CONDITIONS PLAN
- D-1 DEMOLITION PLAN
- C-1 SITE PLAN (30 SCALE)
- C-2 GRADING & DRAINAGE PLAN (10 SCALE)
- C-3 CONSTRUCTION DETAILS
- C-4 CONSTRUCTION DETAILS
- LA-1 LANDSCAPING PLAN

SVE PROJECT #: K2723

PREPARED BY

Architect:
LaVallee Brensinger Architects
155 Dow Street
Suite 400
Manchester, NH 03101
PHONE (603) 622-5450

Civil Engineer:
SVE Associates
439 West River Road
P.O. Box 1818
Brattleboro, VT 05302
PHONE (802) 257-0561

APPROVED BY THE OWNER OR APPLICANT _____ DATE _____
APPROVED BY THE KEENE PLANNING BOARD ON _____ CERTIFIED BY CHAIRMAN _____

February 18, 2022

Drawing name: P:\Projects\NH PROJECTS\K2723\LBA-Cheshire Med. Residency Center\DWG\K2723-01 LBA-Cheshire Med. 2-15-2022.dwg Feb 17, 2022 - 11:44am

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CALL DIG-SAFE, AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE THE START OF EXCAVATION.
2. THE CONTRACTOR IS EXPECTED TO BE AWARE OF AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS.
3. ALL TRENCHING, EXCAVATION, SHEETING, SHORING, ETC. SHALL COMPLY WITH THE MOST CURRENT OSHA REGULATIONS.
4. THE CONTRACTOR SHALL NOTIFY SVE ASSOCIATES IF FIELD CONDITIONS VARY FROM THAT SHOWN ON THE PLAN(S). THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLAN(S) UNLESS SO AUTHORIZED BY SVE ASSOCIATES.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH SITE PLANS AND SPECIFICATIONS PROVIDED OR IN ACCORDANCE WITH NH DEP'T OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
6. IN CASE OF CONFLICTS, THE MOST STRINGENT INTERPRETATION OF THE PLANS, SPECIFICATIONS, LOCAL OR STATE REGULATIONS, OR PERMIT CONDITIONS SHALL APPLY. THE ENGINEER SHALL BE THE DETERMINANT AS TO WHAT APPLIES.
7. ALL KNOWN SUBSURFACE UTILITIES AND STRUCTURES HAVE BEEN INDICATED ON THE PLAN(S) AS ACCURATELY AS POSSIBLE. THE EXACT LOCATION MAY VARY AND THE CONTRACTOR IS CAUTIONED TO PROCEED WITH CARE.
8. CONTRACTOR SHALL VERIFY ALL BENCH MARKS, INVERTS, PIPES AND STRUCTURES ELEVATIONS PRIOR TO START OF WORK. IMMEDIATELY NOTIFY SVE ASSOCIATES IF THE FIELD INFORMATION DOES NOT MATCH PLAN INFORMATION.
9. THE OWNER WILL PROVIDE BENCH MARKS.THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL OTHER LAYOUT AND FOR REPLACEMENT OF LAYOUT COMPLETED BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE A FULL SET OF AS-BUILT DRAWINGS TO THE OWNER WITH SWING TIES OR COORDINATES. LOCATING ALL VALVES, FITTINGS, CORPORATIONS, STRUCTURES, PIPES, ETC. THE AS-BUILTS SHALL INDICATE MATERIALS, PIPE LENGTHS INSTALLED, ALL INVERTS, AND ALL STRUCTURE ELEVATIONS. ACCEPTANCE OF THE WORK IS SUBJECT TO ACCEPTANCE OF THE AS-BUILTS BY THE ENGINEER, OWNER, AND THE CITY OF KEENE DPW.
11. MONUMENTATION THAT HAS BEEN DISTURBED SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT NO COST TO THE OWNER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE-WATERING AT NO ADDITIONAL COST TO THE OWNER.
13. ALL CASTINGS AND VALVE BOXES SHALL BE SET FLUSH IN PAVEMENT AND WALKS, UP 0.1 FEET IN VEGETATED SURFACES.
14. ALL SURFACES SHALL BE GRADED TO DRAIN.
15. ALL TREES WHOSE ROOTS HAVE BEEN DAMAGED SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
16. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO THEIR ORIGINAL CONDITION OR BETTER. ALL NEW AND EXISTING PIPES AND STRUCTURES SHALL BE CLEANED. ALL SIGNS SHALL BE REPLACED. ALL DAMAGED VEGETATION SHALL BE REPLACED.
17. ALL CURB SHALL BE SET SO THAT ENDS ABUT OR ARE TIPPED DOWN, 6' MINIMUM LENGTH, FLUSH WITH PAVEMENT.
18. UNLESS OTHERWISE NOTED, ALL CURB RADI TO BE FACE OF CURB.

SEDIMENT AND EROSION CONTROL

1. INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES IN ACCORDANCE WITH MANUFACTURER'S DIRECTION OR DETAILS PROVIDED. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL. HE SHALL TAKE ALL MEASURES NEEDED TO MINIMIZE EROSION TO THE GREATEST EXTENT POSSIBLE, AT NO ADDITIONAL COST TO THE OWNER, REGARDLESS OF DETAIL SHOWN ON THESE PLANS.
3. CONTRACTOR SHALL INSPECT AND REPAIR ALL SEDIMENT AND EROSION CONTROL MEASURES DAILY WHILE UNDER CONSTRUCTION, THEN AFTER EACH RAINFALL OF 0.5" IN 24 HOURS AND NOT LESS THAN ONCE A WEEK THEREAFTER UNTIL ALL UPHILL SOILS ARE WELL STABILIZED.
4. CONTRACTOR SHALL MAINTAIN INSPECTION LOGS ON SITE AS REQUIRED BY THE EPA STORMWATER POLLUTION PREVENTION PLAN. INSPECTION LOGS SHALL BE AVAILABLE FOR VIEWING BY THE APPROPRIATE AUTHORITIES UPON REQUEST.
5. SEED, FERTILIZE & MULCH ALL FINISH GRADED AREAS WITHIN 72 HOURS OF FINISH GRADING. ROADWAY STABILIZED W/IN 72 HOURS OF ACHIEVING FINISH GRADE.
6. SEDIMENT CONTROLS AND/OR SILT FENCES SHALL BE REPLACED WHEN CLOGGED AND NO LONGER FUNCTIONAL.
7. SEDIMENT CONTROLS AND/OR SILT FENCES SHALL REMAIN IN PLACE UNTIL ALL UPHILL VEGETATED AREAS ARE STABILIZED.
8. ALL SOIL STOCKPILES SHALL BE SEEDED AND MULCHED IF LEFT IN PLACE MORE THAN 21 DAYS.
9. SEEDING OF ALL DISTURBED AREAS SHALL BE COMPLETED NOT LATER THAN OCTOBER 15TH.
10. STABILIZATION OF ALL WORK AREAS SHALL BE COMPLETED NOT MORE THAN 45 DAYS FOLLOWING THE START OF WORK.
11. ALL SOIL SLOPES STEEPER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL FABRIC, S150 FROM NORTH AMERICAN GREEN OR APPROVED EQUAL.
12. STABILIZE ALL DRAINAGE SWALES, BASINS, BERMS, AND DITCHES PRIOR TO DIRECTING RUNOFF TO THEM.
13. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE SEDIMENT AND EROSION CONTROLS AS REQUESTED BY THE ENGINEER.
14. LIMIT THE AREA OF DISTURBANCE TO SMALLEST PRACTICAL AREA.

WINTER CONSTRUCTION REQUIREMENTS:

1. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND 1) INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, or 2) PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF SPRING THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL MEETING NHDOT ITEM 304.3 SPECIFICATIONS.

PROJECT SPECIFIC NOTES:

1. ALL STORM DRAIN TO BE HIGH DENSITY SMOOTH BORE POLYETHYLENE, HANCOR OR APPROVED EQUAL, U.N.O.
2. ALL AREAS TO BE VEGETATED SHALL RECEIVE A MINIMUM OF 6" OF LOAM, SEED AND MULCH. IF PLANS OR SPECIFICATIONS HAVE CONFLICTING DEPTHS OF LOAM, 6" OF LOAM SHALL BE THE PREVAILING DEPTH USED.
3. SEEDING OF ALL DISTURBED AREAS SHALL BE COMPLETED NOT LATER THAN OCTOBER 15TH.
4. SEEDING OF ALL FINISHED AREAS SHALL BE COMPLETED NOT MORE THAN 72 HOURS AFTER FINISH GRADING.
5. STABILIZATION OF ALL WORK AREAS SHALL BE COMPLETED NOT MORE THAN 45 DAYS FOLLOWING THE START OF WORK.
6. BROOM, WASH AND APPLY TACK COAT TO BASE PAVEMENT PRIOR TO WEAR COURSE PLACEMENT.
7. ALL NEW EXTERIOR LIGHTS SHALL BE SHIELDED TO PROTECT AGAINST ADDED LIGHT POLLUTION.
8. STABILIZE ALL DRAINAGE SWALES PRIOR TO DIRECTING RUNOFF TO THEM.

SEQUENCE OF WORK

THE SEQUENCE OF WORK SHALL BE FOLLOWED WITHIN EACH PHASE OF THE PROJECT. AT NO TIME OR PLACE SHALL PROJECT PHASING SUPERCEDE SOUND SEDIMENT AND EROSION CONTROL PLANNING.

1. INSTALL SILT FENCE IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS, IN LOCATIONS DETAILED ON THIS PLAN OR AS ORDERED BY THE ENGINEER.
2. INSTALL WATER MAIN.
3. CLEAR THE CANOPY/ADDITION AREA. CONSTRUCT NEW ADDITION, CANOPY AND ISLANDS.
4. LOAM AND SEED DISTURBED AREAS.
5. REMOVE SILT FENCE AFTER ALL UPHILL SOILS ARE STABILIZED.

A.D.A. ACCESSIBILITY NOTES:

ALL CONSTRUCTION SHALL COMPLY WITH DEPARTMENT OF JUSTICE 28 CFR PART 36, A.D.A. STANDARDS FOR ACCESSIBLE DESIGN. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

PARKING SPACES AND ACCESS AISLES:

1. PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ANY DIRECTION.
2. MINIMUM PARKING SPACE WIDTH SHALL BE 8 FT.
3. MINIMUM ACCESS AISLE WIDTH SHALL BE 5 FT (8 FT. FOR VAN ACCESSIBLE SPACES).
4. ACCESSIBLE SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL BE FURTHER DESIGNATED AS SUCH BY APPROPRIATE SIGNAGE.

ACCESSIBLE ROUTES:

5. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, A.D.A. PARKING, PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS, TO AN A.D.A. BUILDING ENTRANCE.
 6. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT A.D.A. ACCESSIBLE BUILDINGS, ACCESSIBLE ELEMENTS AND FACILITIES (MAILBOXES, TRASH RECEPTACLES, COMMON AREAS), AND A.D.A. PARKING THAT ARE ON THE SAME SITE.
 7. MAXIMUM SLOPE OF SURFACES ADJACENT TO AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%).
 8. CURB RAMP FLARES SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%).
 9. MAXIMUM GROSS-SLOPE ALONG ANY PORTION OF THE ACCESSIBLE ROUTE SHALL NOT EXCEED 1:50 (2%).
 10. TRANSITIONS FROM RAMP AND WALKS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
- ### RAMP:
11. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 (5%) SHALL BE CONSIDERED A RAMP.
 12. THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP.
 13. MAXIMUM SLOPE OF ANY RAMP SHALL BE 1:12 (8.33%).
 14. MAXIMUM RISE OF ANY RAMP SHALL BE 30 IN. ANY RAMP HAVING A RISE GREATER THAN OR EQUAL TO 6 IN. SHALL HAVE AT LEAST ONE HANDRAIL.
 15. RAMP SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP. LANDINGS SHALL BE AS WIDE AS THE RAMP AND AT LEAST 60 IN. LONG.
 16. OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

IN THE EVENT THAT THESE REQUIREMENTS CONFLICT WITH DESIGN PLANS, OR IF FIELD CONDITIONS RENDER THESE UNATTAINABLE, CONTACT THE ARCHITECT AND/OR ENGINEER PRIOR TO BEGINNING WORK.

STABILIZATION DEFINITION:

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED;
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

SEED SPECIFICATIONS

TEMPORARY SEED

PERENNIAL RYE GRASS

PERMANENT SEED:

ALL MOWABLE AREAS: PARK SEED NHDOT TYPE 15 (CONSERVATION MIX ACCEPTABLE, AS APPROVED BY ENGINEER)

CREeping RED FESCUE	40 LB/AC
PERENNIAL RYEGRASS	50 LB/AC
KENTUCKY BLUEGRASS	25 LB/AC
REDTOP	5 LB/AC

TOTAL: 120 LB/AC

ALL SLOPES 5:1 OR STEEPER: SLOPE SEED NHDOT TYPE 45 (OR OTHER WILDFLOWER MIX APPROVED BY ENGINEER)

CREeping RED FESCUE	35 LB/AC
PERENNIAL RYEGRASS	30 LB/AC
REDTOP	5 LB/AC
ALSIKE CLOVER	5 LB/AC
LANCE-LEAVED COREOPSIS	5 LB/AC
OXEYE DAISY	3 LB/AC
BUTTERFLY WEED	3 LB/AC
BLACKEYED SUSAN	3 LB/AC
WILD LUPINE	3 LB/AC

TOTAL: 95 LB/AC

DUST CONTROL:

DUST CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

1. PHASE CONSTRUCTION AND SEQUENCE EARTH DISTURBANCE ACTIVITIES TO REDUCE THE AREA OF LAND DISTURBED AT ANY ONE TIME.
2. MAINTAIN AS MUCH NATURAL VEGETATION AS IS PRACTICABLE.
3. USE TRAFFIC CONTROL TO RESTRICT TRAFFIC TO PREDETERMINED ROUTES.
4. USE TEMPORARY MULCHING, PERMANENT MULCHING, TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER TO REDUCE THE NEED FOR DUST CONTROL.
5. APPLY WATER, OR OTHER DUST INHIBITING AGENTS OR TACKIFIERS, AS APPROVED BY THE NHDES.

SITE DATA TABLE

TAX MAP #: 227-006,
2,175,023 SQ. FT. ± 49.9 ACRES

ZONE: INDUSTRIAL PARK

AVAILABLE:	REQUIRED:
LOT SIZE: 49.9 AC	4 AC

FRONTAGE:	821 FEET	50 FEET
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ALLOWED:	EXISTING:
BLDG. STORIES: 2 STORIES	2 STORIES

BUILDING SETBACKS:

FRONT:	50'
ROAD:	50'
REAR:	50'
SIDES:	30'

PAVEMENT SETBACKS:

PARKING AREA: 89,424± S.F.	
FRONT:	20'
REAR:	15'
SIDES:	15'

LOT COVERAGE:

BUILDINGS:	25% (543,411 S.F./12.48 AC)	PROPOSED: 4.3% (94,000 S.F./2.16 AC)
TOTAL IMPERMEABLE:	70% (1,521,551 S.F./34.93 AC)	15% (324,500 S.F./7.45 AC)

PARKING:

REQUIRED:	PROPOSED:	
9' X 18':	CLINIC 5 SPACES/ 1,000 GFA 25,000 GFA/5 SPACES = 125 SPACES	535

A.D.A. ACCESSIBLE: 2% TOTAL = 11 15

















PERMITS REQUIRED:

1. CITY OF KEENE, SITE PLAN REVIEW
2. CITY OF KEENE, ZBA SPECIAL EXEMPTION (ZBA 21-09 APPROVED APRIL 20, 2021)

PROPERTY OWNER & APPLICANT:

CHESHIRE MEDICAL CENTER
580 COURT STREET
KEENE, NH 03431

LEGEND

	HYDRANT
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	CULVERT END SECTION
	SEWER MANHOLE
	GATE VALVE
	DRAIN MANHOLE
	HANDICAP PARKING
	LIGHT POLE
	SEWER LINE
	WATER LINE
	STORM DRAIN LINE
	SILT FENCE
	100 YEAR FLOODPLAIN BOUNDARY
	WETLAND BOUNDARY
	SIGN
U.N.O.	UNLESS NOTED OTHERWISE
N.I.C.	NOT IN CONTRACT
T.B.R.	TO BE REMOVED
O.A.E.	OR APPROVED EQUAL
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE
I.C.C.	INTEGRAL CONCRETE CURB
V.C.C.	VERTICAL CONCRETE CURB
V.G.C.	VERTICAL GRANITE CURB
S.G.C.	SLOPED GRANITE CURB
T.D.	TIP-DOWN
L.S.A.	LANDSCAPED AREA
R.D.	ROOF DRAIN



Liza Sargent

2/18/22

LIZA P. SARGENT
R.C.E. NUMBER: 13365

DATE

NO.	REVISION	DATE	DWN	CHK

SVE

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Engineering
Planning
Landscape Architecture
Surveying

SVE Associates
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Brattleboro, VT 05302
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F 802.257.0721
www.sveassoc.com

NOTES & LEGEND

CHESHIRE FAMILY
MEDICINE RESIDENCY

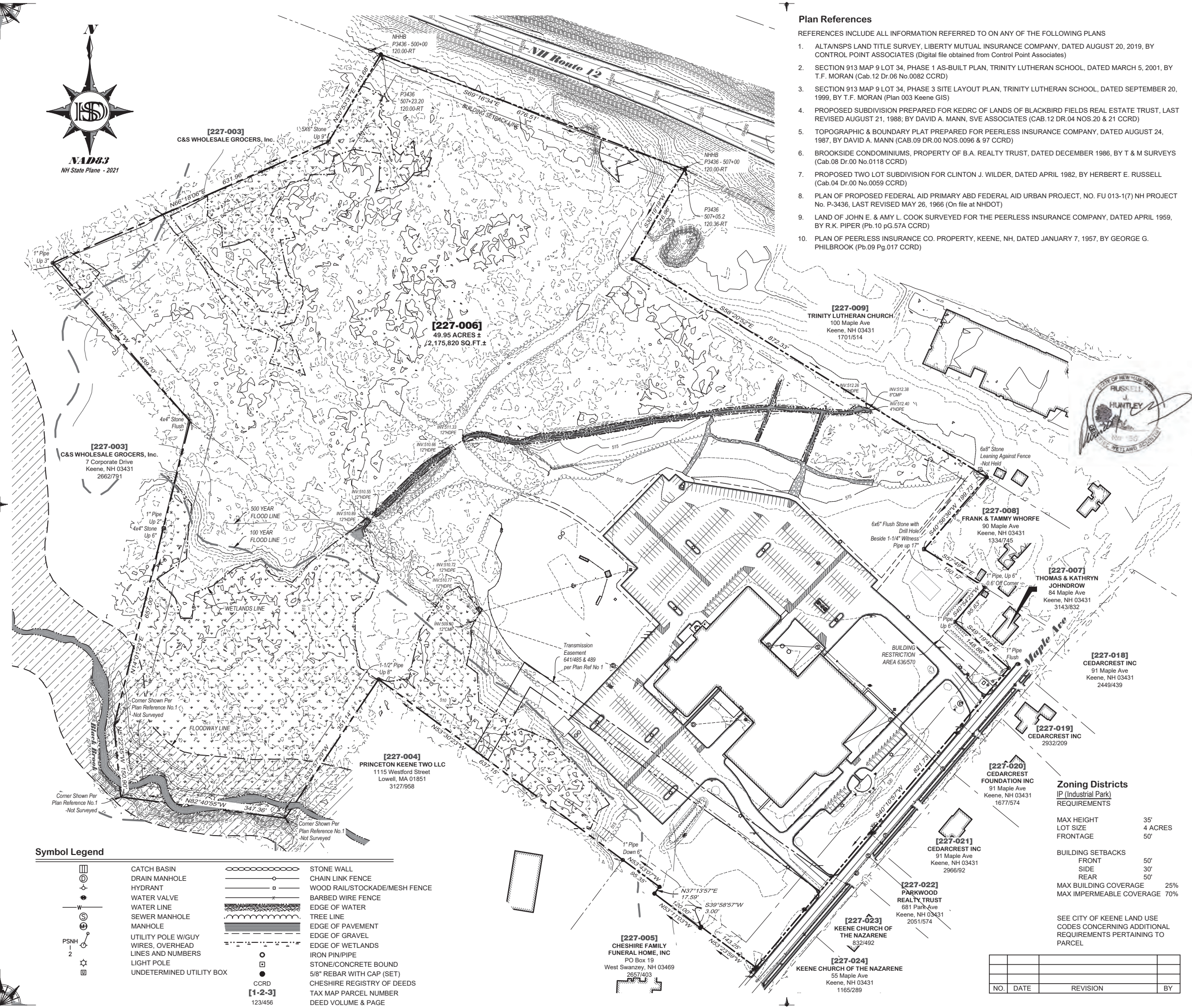
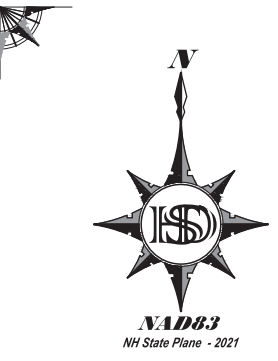
CHESHIRE MEDICAL CENTER
580 COURT STREET
KEENE, NEW HAMPSHIRE

PROJ. #:
K2723

DATE:
18 - FEB - 22

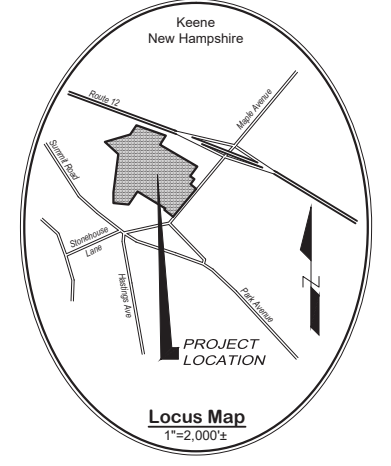
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CHECKED: LPS

29 of 43 **N-1**



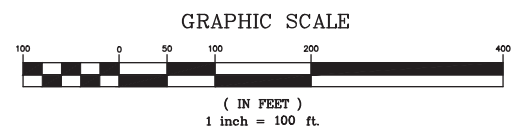
Plan References

- REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS
1. ALTA/NSPS LAND TITLE SURVEY, LIBERTY MUTUAL INSURANCE COMPANY, DATED AUGUST 20, 2019, BY CONTROL POINT ASSOCIATES (Digital file obtained from Control Point Associates)
 2. SECTION 913 MAP 9 LOT 34, PHASE 1 AS-BUILT PLAN, TRINITY LUTHERAN SCHOOL, DATED MARCH 5, 2001, BY T.F. MORAN (Cab.12 Dr.06 No.0082 CCRD)
 3. SECTION 913 MAP 9 LOT 34, PHASE 3 SITE LAYOUT PLAN, TRINITY LUTHERAN SCHOOL, DATED SEPTEMBER 20, 1999, BY T.F. MORAN (Plan 003 Keene GIS)
 4. PROPOSED SUBDIVISION PREPARED FOR KEDRC OF LANDS OF BLACKBIRD FIELDS REAL ESTATE TRUST, LAST REVISED AUGUST 21, 1988; BY DAVID A. MANN, SVE ASSOCIATES (CAB.12 DR.04 NOS.20 & 21 CCRD)
 5. TOPOGRAPHIC & BOUNDARY PLAT PREPARED FOR PEERLESS INSURANCE COMPANY, DATED AUGUST 24, 1987, BY DAVID A. MANN (CAB.09 DR.00 NOS.0096 & 97 CCRD)
 6. BROOKSIDE CONDOMINIUMS, PROPERTY OF B.A. REALTY TRUST, DATED DECEMBER 1986, BY T & M SURVEYS (Cab.08 Dr.00 No.0118 CCRD)
 7. PROPOSED TWO LOT SUBDIVISION FOR CLINTON J. WILDER, DATED APRIL 1982, BY HERBERT E. RUSSELL (Cab.04 Dr.00 No.0059 CCRD)
 8. PLAN OF PROPOSED FEDERAL AID PRIMARY ABD FEDERAL AID URBAN PROJECT, NO. FU 013-1(7) NH PROJECT NO. P-3436, LAST REVISED MAY 26, 1966 (On file at NHDOT)
 9. LAND OF JOHN E. & AMY L. COOK SURVEYED FOR THE PEERLESS INSURANCE COMPANY, DATED APRIL 1959, BY R.K. PIPER (Pb.10 pG.57A CCRD)
 10. PLAN OF PEERLESS INSURANCE CO. PROPERTY, KEENE, NH, DATED JANUARY 7, 1957, BY GEORGE G. PHILBROOK (Pb.09 Pg.017 CCRD)



Notes

1. THE BEARINGS SHOWN ON THIS PLAN IS/ARE REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON A STATIC GPS SURVEY PERFORMED ON OCTOBER 29, 2021 USING AN IG3S GNSS RECEIVER.
2. THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM RECORD DEEDS, SURVEYS AND PHYSICAL EVIDENCE FOUND DURING THE CURRENT FIELD SURVEY.
3. TOPOGRAPHY SHOWN ON THIS PLAN IS FROM A COMBINATION OF AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC PERFORMED DURING THE MONTH OF NOVEMBER 2021 IN THE DEVELOPED AREAS & LIDAR MAPPING OBTAINED FROM <http://lidar.unh.edu/map>. IN THE UNDEVELOPED AREAS, THE VERTICAL DATUM IS NAVD 88 OBTAINED BY THE GPS SURVEY DESCRIBED IN NOTE No.1. CONTOUR INTERVAL IS ONE (1) FOOT.
4. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS, PREVIOUS MAPS AND RECORDS OBTAINED FROM THE CITY OF KEENE. THEIR EXISTENCE MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
5. JURISDICTIONAL WETLANDS WERE DELINEATED BY HUNTLEY SURVEY & DESIGN, PLLC, DURING THE MONTH OF NOVEMBER 2021, USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2.
6. THE PARCEL SHOWN IS PARTIALLY LOCATED IN ZONES X, ZONE AE AND THE FEMA FLOODWAY, ZONE AE AND THE FLOODWAY ARE CATEGORIZED AS BEING SPECIAL FLOOD HAZARD AREAS. SEE FEMA PANEL 33005C0254E EFFECTIVELY DATED 05/23/2006. THE BFE IS 514.7 NAVD88.
7. SOILS LINES AND TYPES SHOWN HEREON WERE OBTAINED FROM NRCS WEB SOIL SURVEY ONLINE PROGRAM. SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT [HTTPS://WEBSOILSURVEY.SC.EGOV.USDA.GOV/](https://websoilsurvey.sc.egov.usda.gov/). ACCESSED NOVEMBER 1, 2021



Surveyor's Certification

PURSUANT TO RSA 676:18 III AND RSA 672:14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE OF 0.04 + 100 ppm THAT MEETS OR EXCEEDS NH LAM 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR RURAL AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.

PURSUANT TO RSA 676:18, III AND RSA 672:14, I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Symbol Legend

	CATCH BASIN		STONE WALL
	DRAIN MANHOLE		CHAIN LINK FENCE
	HYDRANT		WOOD RAIL/STOCKADE/MESH FENCE
	WATER VALVE		BARBED WIRE FENCE
	WATER LINE		EDGE OF WATER
	SEWER MANHOLE		TREE LINE
	MANHOLE		EDGE OF PAVEMENT
	UTILITY POLE/WIGWAG		EDGE OF GRAVEL
	WIRES, OVERHEAD LINES AND NUMBERS		EDGE OF WETLANDS
	LIGHT POLE		IRON PIN/PIPE
	UNDETERMINED UTILITY BOX		STONE/CONCRETE BOUND
			5/8" REBAR WITH CAP (SET)
			CHESHIRE REGISTRY OF DEEDS
			TAX MAP PARCEL NUMBER
			DEED VOLUME & PAGE
			CCRD
			TAX MAP PARCEL NUMBER
			DEED VOLUME & PAGE

Zoning Districts

IP (Industrial Park) REQUIREMENTS	
MAX HEIGHT	35'
LOT SIZE	4 ACRES
FRONTAGE	50'
BUILDING SETBACKS	
FRONT	50'
SIDE	30'
REAR	50'
MAX BUILDING COVERAGE	25%
MAX IMPERMEABLE COVERAGE	70%

SEE CITY OF KEENE LAND USE CODES CONCERNING ADDITIONAL REQUIREMENTS PERTAINING TO PARCEL

NO.	DATE	REVISION	BY

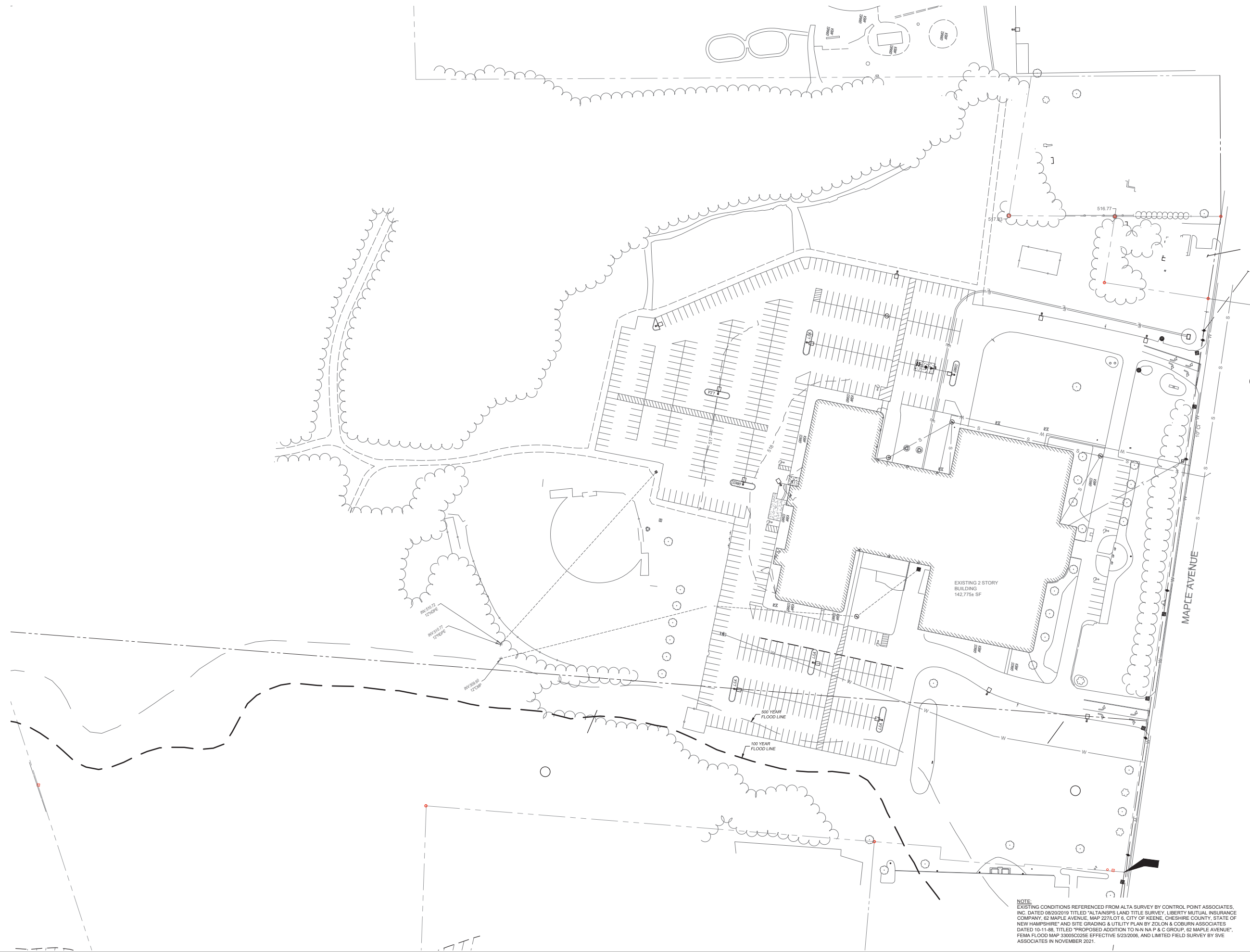
Existing Conditions Plan

LAND OF
Cheshire Medical Center
located at
Tax Map 227 Lot 06
62 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 3164, Page 1025

Scale 1"= 100'

Surveyed 11/2021 Plan prepared 11/30/2021
Project No. H21-067 Cad File No. H21-067A.dwg

Huntley Survey & Design, PLLC
NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com



NOTE:
 EXISTING CONDITIONS REFERENCED FROM ALTA SURVEY BY CONTROL POINT ASSOCIATES, INC. DATED 08/20/2019 TITLED "ALTANSPS LAND TITLE SURVEY, LIBERTY MUTUAL INSURANCE COMPANY, 62 MAPLE AVENUE, MAP 2271.01 & 6, CITY OF KEENE, CHESHIRE COUNTY, STATE OF NEW HAMPSHIRE" AND SITE GRADING & UTILITY PLAN BY ZOLON & COBURN ASSOCIATES DATED 10-11-88, TITLED "PROPOSED ADDITION TO N-N NA P & C GROUP, 62 MAPLE AVENUE". FEMA FLOOD MAP 330602025E EFFECTIVE 5/23/2006, AND LIMITED FIELD SURVEY BY SVE ASSOCIATES IN NOVEMBER 2021.



Liza Sargent 2/18/22
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

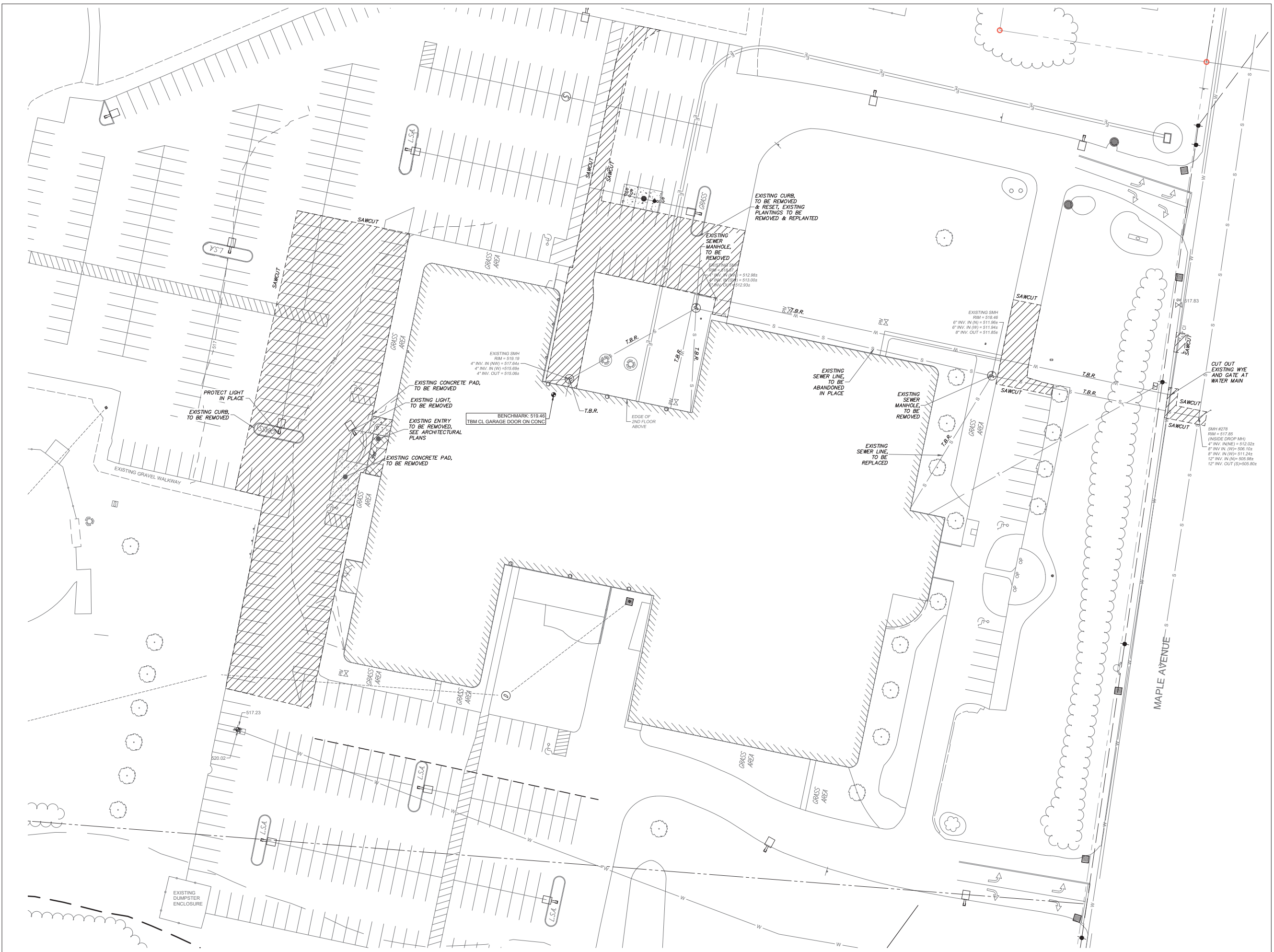
NO.	REVISION	DATE	DWN	CHK

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 Landscape Architecture
 Surveying
 SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

EXISTING CONDITIONS PLAN
 CHESHIRE FAMILY MEDICINE RESIDENCY
 CHESHIRE MEDICAL CENTER
 580 COURT STREET
 KEENE, NEW HAMPSHIRE

0 30' 60' 120'
 GRAPHIC SCALE 1" = 60'

PROJ. #
 K2723
 DATE:
 18 - FEB - 22
 DESIGN: LPS SHEET
 DRAWN: TS
 CHECKED: LPS
 31 of 43 S-1



Liza Sargent 2/18/22
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

NO.	REVISION	DATE	DWN	CHK

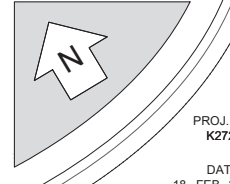
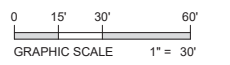
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DEMOLITION PLAN

CHESHIRE FAMILY
 MEDICINE RESIDENCY
 CHESHIRE MEDICAL CENTER
 580 COURT STREET
 KEENE, NEW HAMPSHIRE

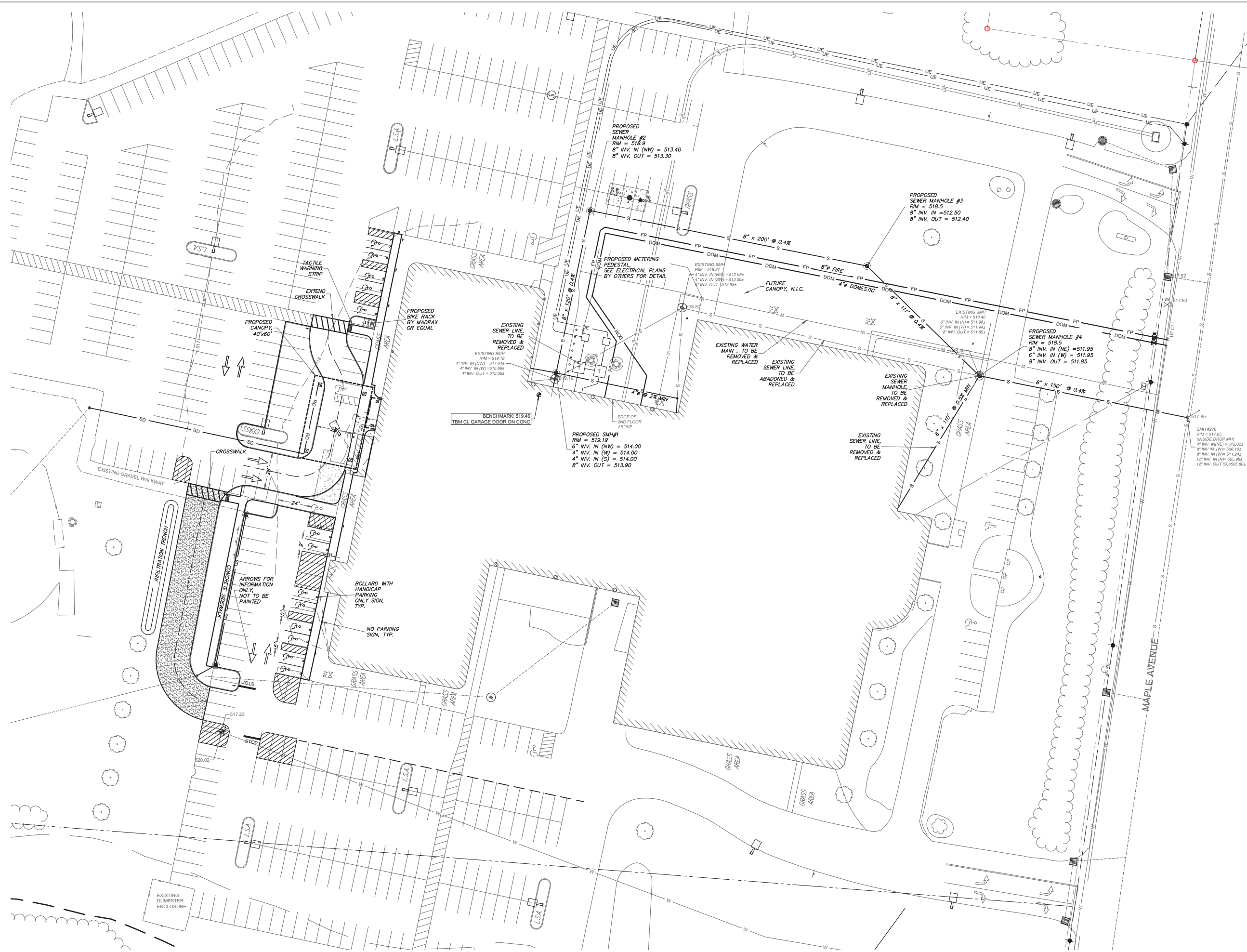


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 K2723
 DATE:
 18 - FEB - 22

SHEET
 D-1
 32 of 43

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Liza Sargent 2/18/22
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

NO.	REVISION	DATE	DWN	CHK

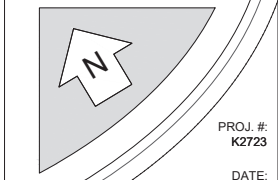
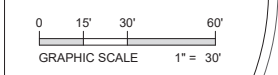
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SITE PLAN

CHESHIRE FAMILY
 MEDICINE RESIDENCY

CHESHIRE MEDICAL CENTER
 580 COURT STREET
 KEENE, NEW HAMPSHIRE



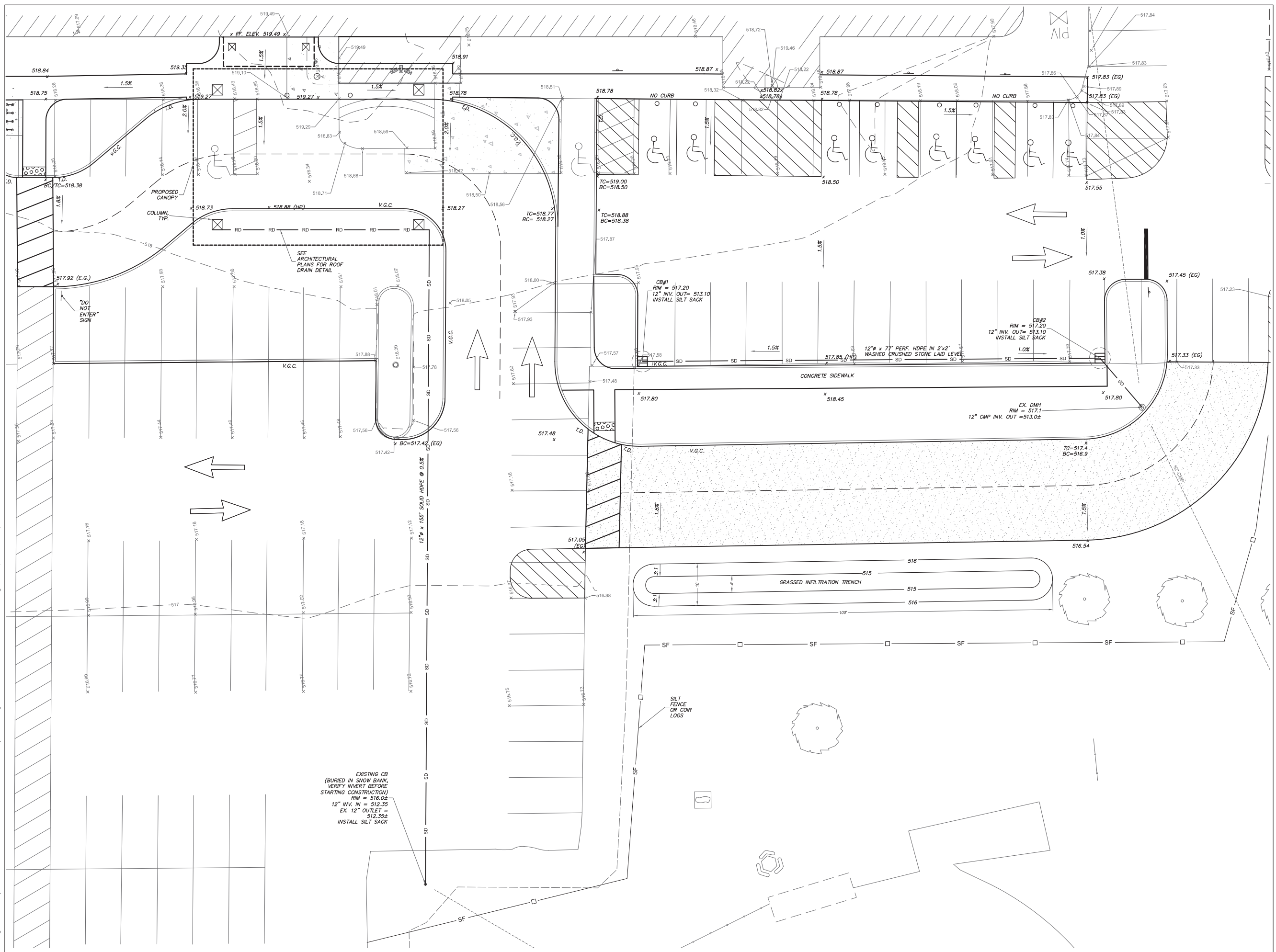
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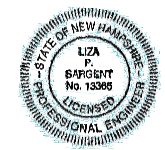
DATE:
 18 - FEB - 22

33 of 43 **C-1**

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EXISTING CB
(BURIED IN SNOW BANK,
VERIFY INVERT BEFORE
STARTING CONSTRUCTION)
RIM = 516.0±
12" INV. IN = 512.35
EX. 12" OUTLET =
512.35±
INSTALL SILT SACK



Liza Sargent 2/18/22
LIZA P. SARGENT DATE
R.C.E. NUMBER: 13365

NO.	REVISION	DATE	DWN	CHK

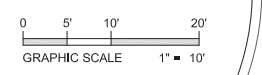
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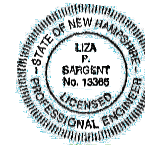
GRADING & DRAINAGE PLAN

CHESHIRE FAMILY
MEDICINE RESIDENCY
CHESHIRE MEDICAL CENTER
580 COURT STREET
KEENE, NEW HAMPSHIRE



PROJ. #:
K2723
DATE:
18-FEB-22

DESIGN: LPS
DRAWN: TS
CHECKED: LPS
SHEET
34 OF 43
C-2



Liza Sargent 2/18/22
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

NO.	REVISION	DATE	DWGN	CHK

SVE

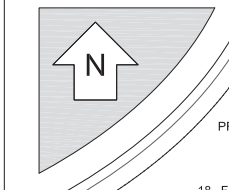
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CONSTRUCTION DETAILS

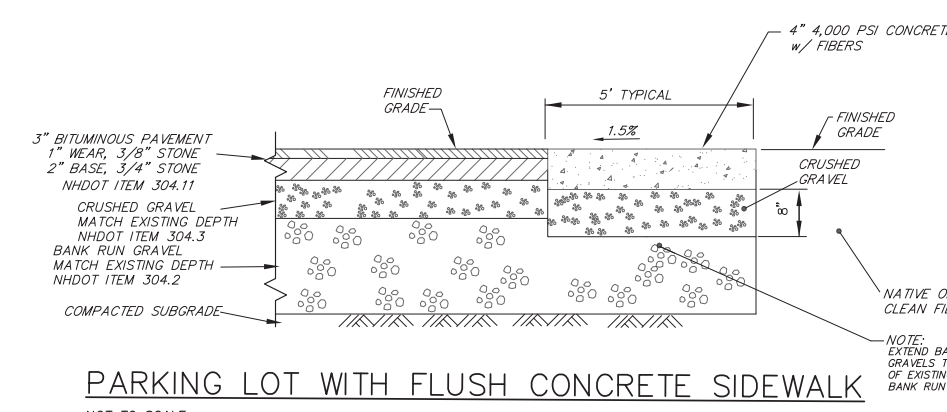
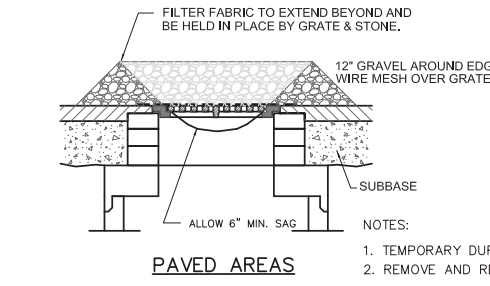
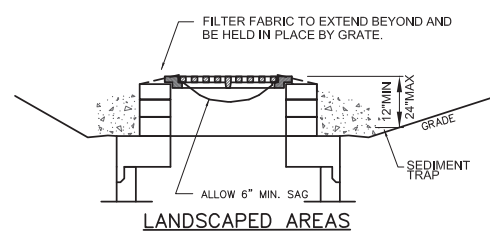
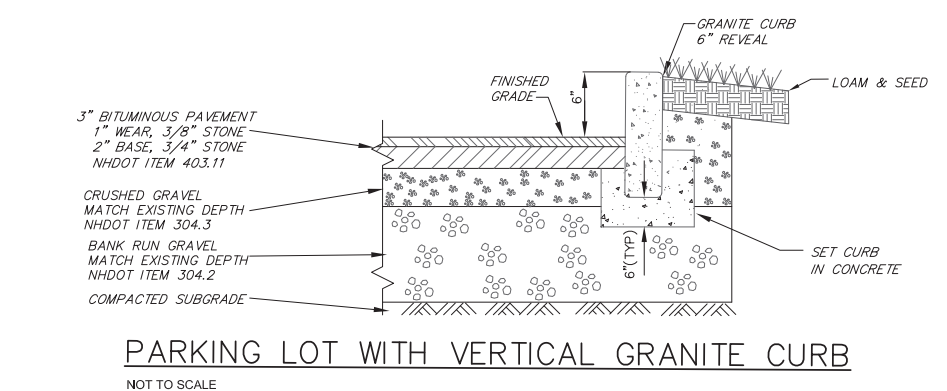
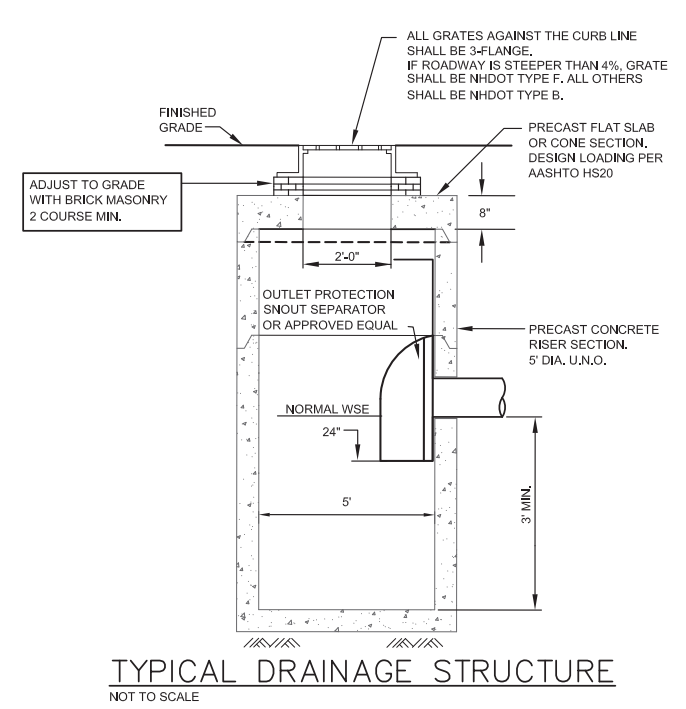
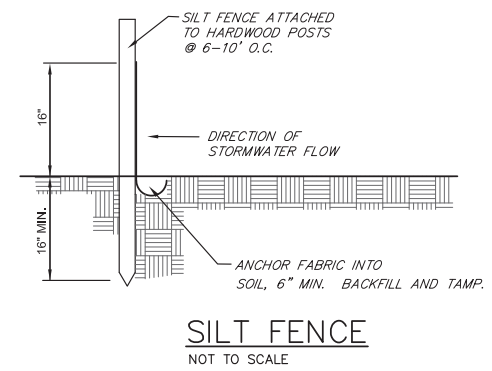
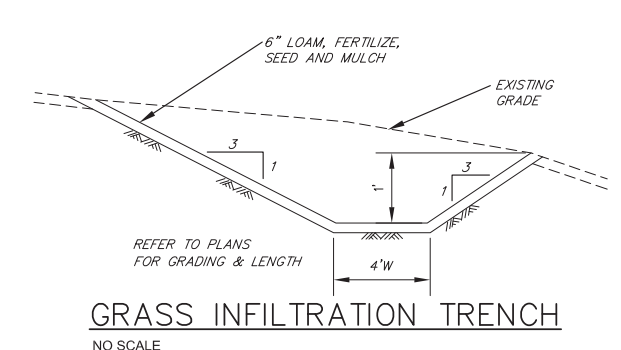
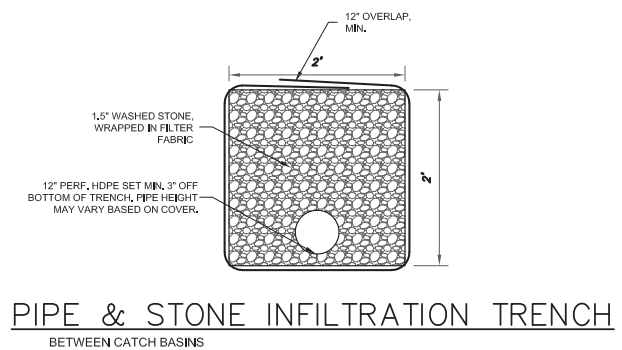
CHESHIRE FAMILY
 MEDICINE RESIDENCY
 CHESHIRE MEDICAL CENTER
 580 COURT STREET
 KEENE, NEW HAMPSHIRE

GRAPHIC SCALE: AS SHOWN



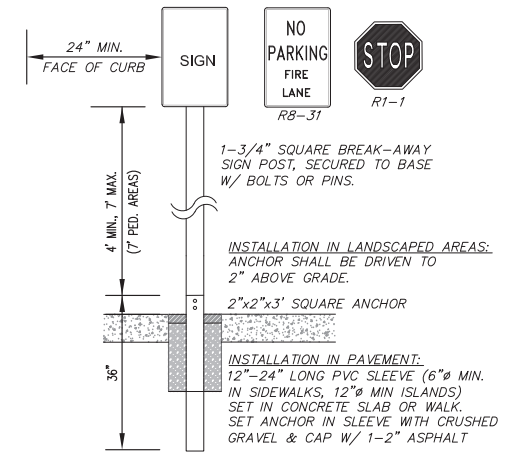
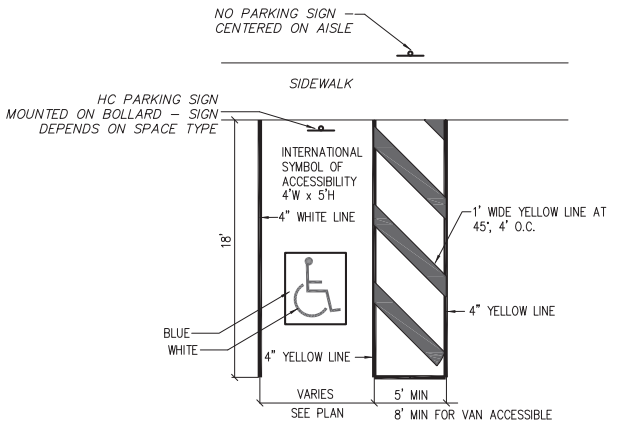
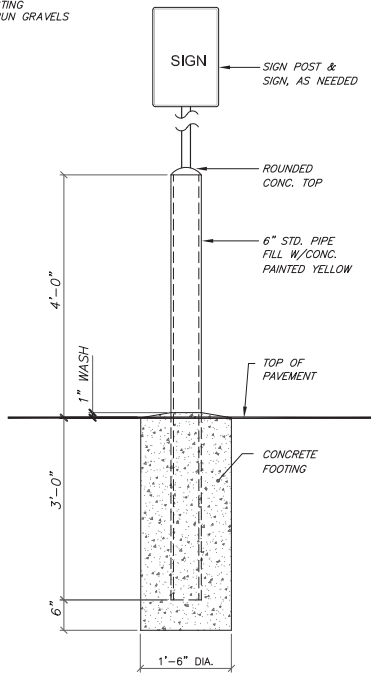
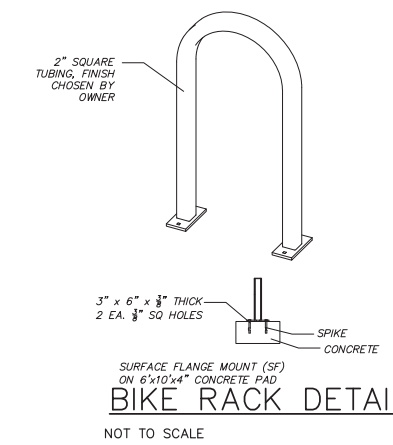
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 K2723
 DATE:
 18 - FEB - 22

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 DRAWN: TS
 CHECKED: LPS
 SHEET
 35 OF 43

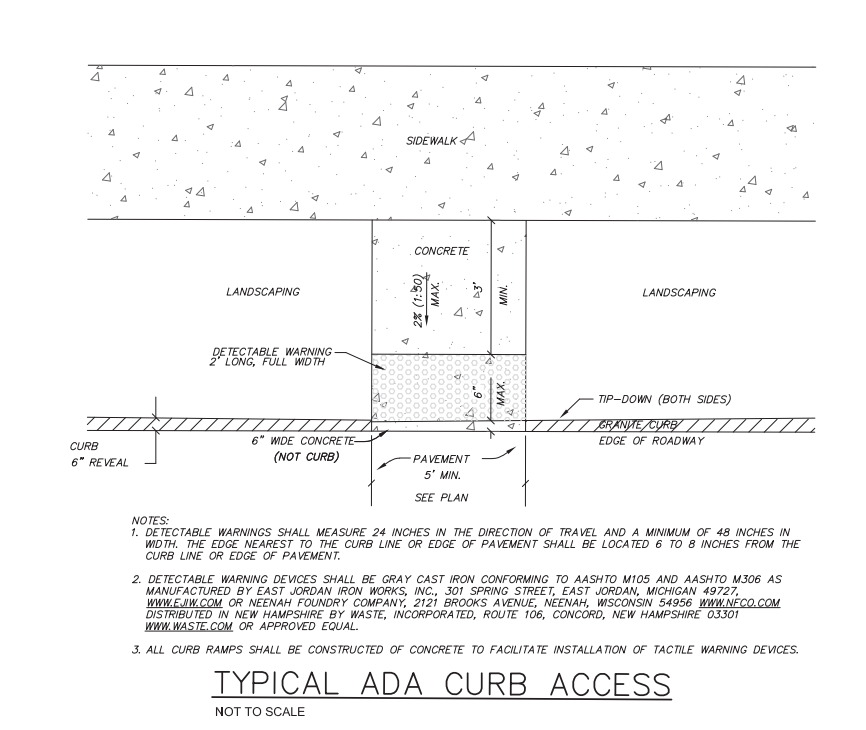


CATCH BASIN GRATE INLET FILTER

REGULAR MAINTENANCE, INCLUDING REPLACEMENT OF SEDIMENT & EROSION CONTROLS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL PERMIT CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.



TYPICAL ADA CURB ACCESS

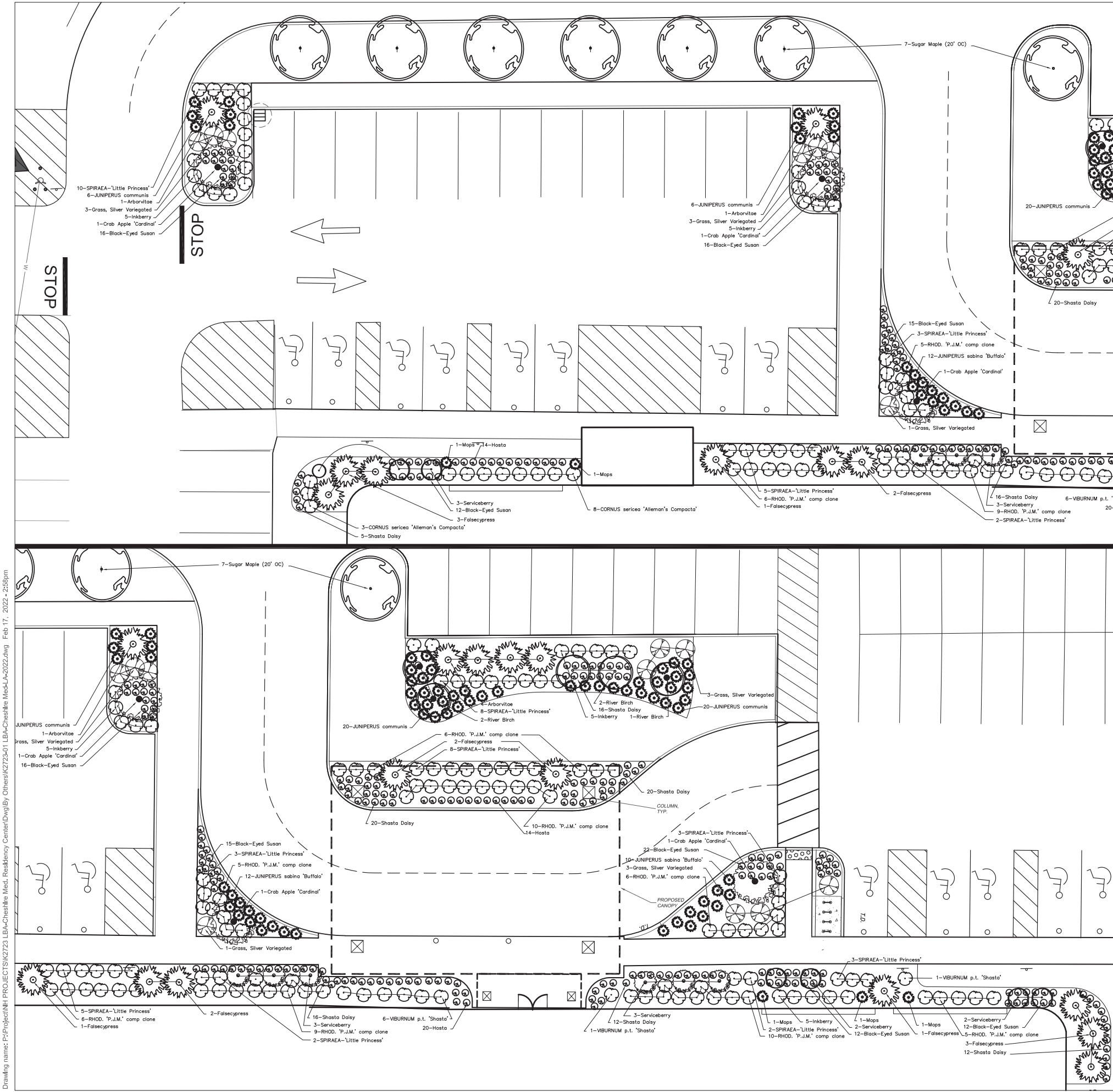


BOLLARD DETAIL

HANDICAP PARKING SPACE DETAIL

SIGN DETAIL

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PLANTING LIST: 2-18-2022

QTY.	SIZE	SPECIES
7	3.5"-4" Cal	ACER saccharum 'Green Mountain' -Sugar Maple
6	7-8'	THUJA plicata 'Atrovirens' -Arborvitae
13	3-4'	AMELANCHIER alnifolia 'Regent'-Serviceberry
4	2.5"-3" Cal	MALUS hupehensis 'Cardinal'
5	7-8'	BETULA nigra 'Heritage' -River Birch
5	2.5-3'	CHAMAECYPARIS pisifera 'Filifera Aurea' -Mops
12	2.5-3'	CHAMAECYPARIS pisifera 'Soft Serve'-Falsecypress
57	18-24"	RHOD. 'P.J.M.' comp clone
22	18-24"	JUNIPERUS sabina 'Buffalo'
52	18-24"	JUNIPERUS communis 'Blueberry Delight'
20	18-24"	ILEX glabra 'Densa'-Inkberry
8	2.5-3'	VIBURNUM p.t. 'Shasta'
11	18-24"	CORNUS sericea 'Alleman's Compacta'
46	18-24"	SPIRAEA japonica 'Little Princess' -PINK
13	18-24"	MISCANTHUS sinensis 'Variegata' -Grass, Silver Variegated

PERENNIAL LIST: 2-18-2022

QTY.	SIZE	SPECIES
100	2gal.	LEUCANTHEMUM superbum 'Becky' -Shasta Daisy
54	2gal.	HOSTA 'Patriot'
100	2gal.	RUDBECKIA fulgida 'Goldsturm' -Black-Eyed Susan

PLANTING NOTES:

- The Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better.
- All planting shall be done in accordance with standard Nurserymen's and Grower's Associations approved practices.
- All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturer's specifications in conjunction with note # 5 or approved equal.
- The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good grade and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of deleterious debris, such as roots, stones, weeds, etc. Soil depth shall be 4" minimum.
- All planting areas shall receive a 3" layer of recycled hardwood log mulch, which is to be watered-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by the Site Architect prior to planting.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Site Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be held as specified unless unavailable, at which time the Site Architect will be notified by telephone and in writing of intended changes for approval.
- Any and all questions concerning the plan set and/or specifications shall be directed to the Site Architect.
- There shall be no additions, deletions or substitutions without the written approval of the Site Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Site Architect.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Site Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Site Architect with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information signs.
- Existing soil shall be removed as necessary to accommodate new plantings.
- Any existing soil areas that are unnecessarily disturbed during the landscape installation shall be reseeded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

GUARANTEE:

The Contractor shall provide the owner with a written guarantee of the installed plants. The guarantee shall include, but not be limited to, the following: 1. The Contractor shall guarantee the survival of the plants for a period of twelve (12) months from final acceptance by the owner. 2. The Contractor shall be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

FERTILIZATION NOTES:

SHRUBS AND TREES
All trees and shrubs shall be fertilized with "Agriform" (or approved equal) 20-10-5 planting tablets at time of installation and prior to completion of pit backfilling. Tablets shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.

APPLICATION RATE:

1 Gallon can:	1 - 21 gram tablets
3 Gallon can:	2 - 21 gram tablets
5 Gallon can:	3 - 21 gram tablets
7 Gallon can:	4 - 21 gram tablets

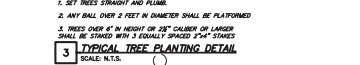
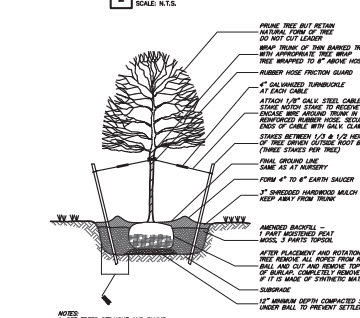
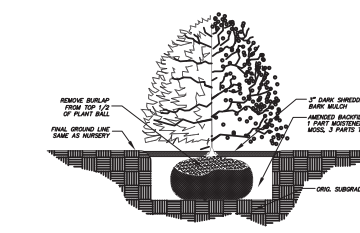
Trees: 3 - 21 gram tablets each 1/2" of caliper

GROUNDCOVER AREAS

All groundcover areas shall receive fertilization with "Osmocote" (or approved equal) time release fertilizer as per manufacturer's specifications.

SEEDING NOTES:

- All disturbed areas shall be sown and seeded with the following seeding mix:
 - 1. New England Erosion Control/Restoration Mix (for dry sites) as manufactured by New England Wetland Plants, Inc. or approved equal. Use moist site mix for water quality swale.
 - 2. SEED CONTENT SHALL NOT EXCEED 0.25%.
 - 3. THE SEED MIXTURE SHALL BE DISTRIBUTED BY METHOD OF WINDROW-SEEDING.
 - 4. THE FERTILIZER SHALL BE A 3-10-5 COMMERCIAL GRADE FERTILIZER APPLIED AT THE MANUFACTURER'S RECOMMENDED APPLICATION RATE.
 - 5. SEEDING APPLICATION RATE SHALL BE 5 LBS PER 1000 SQ. FT.



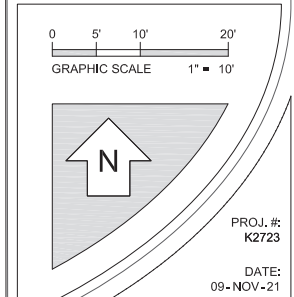
Donald R Scott, RLA
Landscape Architect
Box 45 Harrisville, NH 03450
603-313-9335 Cell Dscott.RLA@gmail.com

NO.	REVISION	DATE	DWGN	CHK

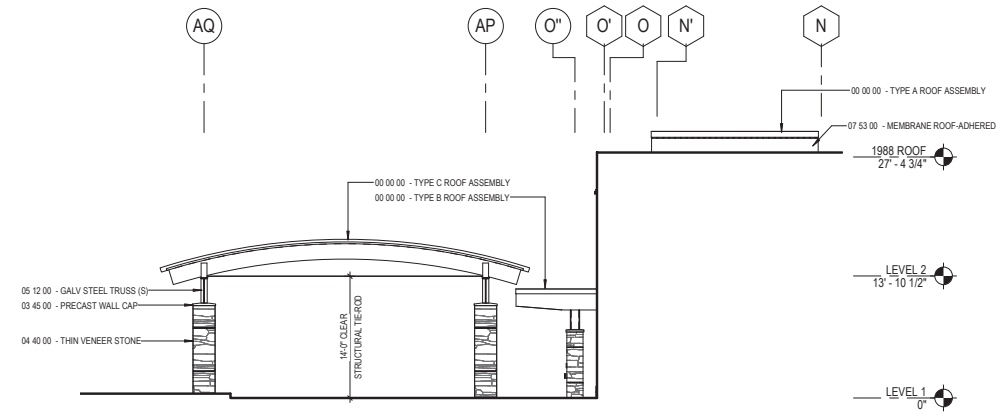
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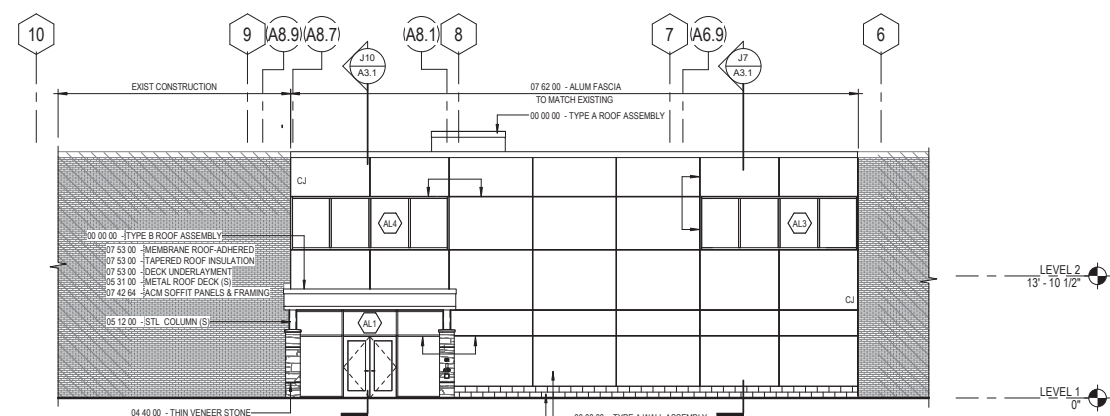
LANDSCAPE PLAN
CHESHIRE FAMILY MEDICINE RESIDENCY
CHESHIRE MEDICAL CENTER
580 COURT STREET
KEENE, NEW HAMPSHIRE



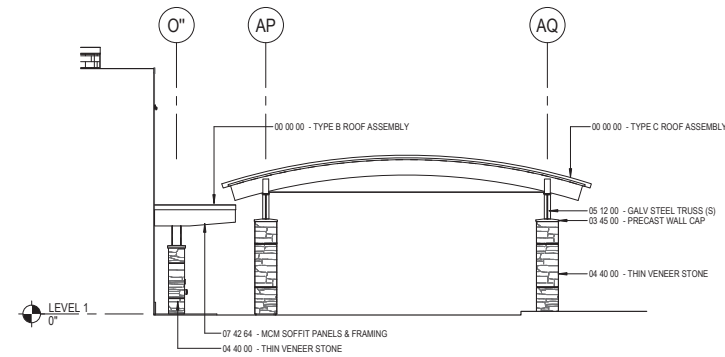
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36 of 46 **LA-1**



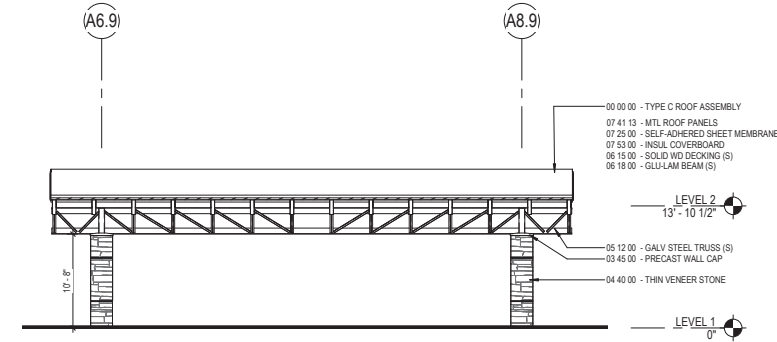
C1 EXTERIOR ELEVATION - WEST
A2.1 1/8" = 1'-0"



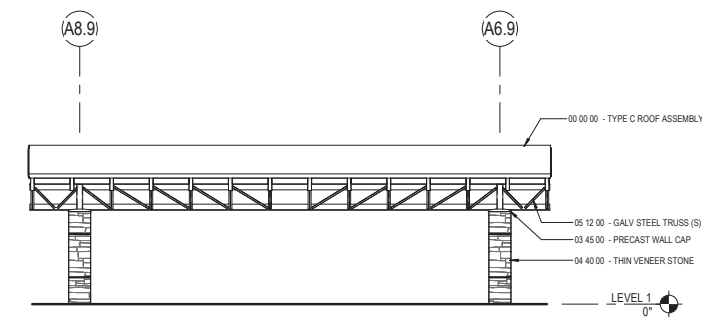
C8 EXTERIOR ELEVATION - NORTH
A2.1 1/8" = 1'-0"



F1 EXTERIOR ELEVATION - CANOPY EAST
A2.1 1/8" = 1'-0"



F8 EXTERIOR ELEVATION - CANOPY SOUTH
A2.1 1/8" = 1'-0"



I8 EXTERIOR ELEVATION - CANOPY NORTH
A2.1 1/8" = 1'-0"

CHESHIRE MEDICAL CENTER

FAMILY MEDICINE
RESIDENCY CENTER

62 MAPLE AVE KEENE, NH 03431

NO.	DESCRIPTION	DATE

CONTENT: EXTERIOR ELEVATIONS	
DRAWN BY:	DF
PROJECT NO.:	20-072-00
DATE:	12.10.2021
REVISED:	
SCALE:	1/8" = 1'-0"
A2.1	
Project Phase 100% CONSTRUCTION DOCUMENTS	
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MEMORANDUM

Ref: 2094A

To: Kathryn Willbarger, CEO
Cheshire Medical Center

From: Stephen G. Pernaw, P.E., PTOE

Subject: Proposed Cheshire Medical Center Expansion
Keene, New Hampshire

Date: April 19, 2021

As requested, Pernaw & Company, Inc. has conducted this “*Traffic Memorandum*” for the proposed expansion of the Cheshire Medical Center (CMC) to the former Liberty Mutual insurance company building at 62 Maple Avenue in Keene, New Hampshire. The purpose of this memorandum is to summarize the results of our trip generation analyses, as well as our research of available traffic count data. To summarize:

Proposed Development – According to the plan entitled “*Alta/NSPS Land Title Survey-Liberty Mutual Insurance Company*” prepared by Control Point Associates, Inc. dated 7/12/2019 (see Attachment 1), the former two-story Liberty Mutual Insurance Company building is located on the west side of Maple Avenue and south of the NH Route 12 interchange. The existing building has a gross floor area of 147,000 sf, and CMC plans to relocate several of its clinical, healthcare and accessory support services (including a daycare facility) from the existing campus at 580-590 Court Street. Current plans call for the building to be divided into several sections, including an 87,000-sf general office section, a 50,000-sf medical office section and a 10,000-sf child care section. Vehicular access to the site will continue to be provided via the two existing two-way site driveways (north and south) on the west side of Maple Avenue. The northerly and southerly driveways are separated by approximately 500-feet.

Figure 1 shows the location of the subject site with respect to the area roadway system, and it also shows the location of the nearby NHDOT short-term automatic traffic recorder count station on Maple Avenue.

Existing Traffic Volumes – Research at the NHDOT revealed that the closest short-term Automatic Traffic Recorder count station to the site is located on Maple Avenue approximately 240-feet south of the southerly site driveway. According to the NHDOT reports, this section of Maple Avenue carried an Annual Average Daily Traffic (AADT) volume of approximately 5,170 vehicles per day (vpd) in 2020, down from 6,794 vpd in 2019 (see Attachment 2).

These AADT estimates were derived by the NHDOT from a six-day traffic count conducted in 2017 and 2020 south of the subject site. Interesting to note, the more recent traffic count data collected in September 2020 clearly shows the impact of the Covid-19 pandemic.

Both the 2017 and 2020 data demonstrate that weekday traffic volumes on Maple Avenue typically reach peak levels from 4:00 to 5:00 and/or 5:00 to 6:00 PM, thus corresponding to the typical commuter periods. The diagrams on Page 3 summarize the daily and hourly variations in traffic demand along Maple Avenue, west of the subject site (see Attachments 3-5).



 = AUTOMATIC TRAFFIC RECORDER LOCATION (NHDOT)

2094A



Figure 1

Site Location

Traffic Memorandum, Proposed Cheshire Medical Expansion, Keene, New Hampshire

Trip Generation - To estimate the quantity of vehicle-trips that was generated by the former insurance company and will be generated by the proposed relocation of specific CMC facilities, Pernaw & Company, Inc. considered several standard trip generation rates and equations published by the Institute of Transportation Engineers (ITE)¹. For the existing insurance building, ITE Land Use Code 715 (Single Tenant Office Building) is the most applicable category. The gross floor area was used as the independent variable in this case (see Attachment 6).

To estimate the quantity of vehicle-trips associated with the CMC relocation, a combination of several ITE trip rates/equations were utilized for the medical office component (LUC 720), the administration offices (LUC 710), and child care center (LUC 565). Initially, the gross floor areas were used as the independent variables for all building components, and these results are summarized in Table 1. The second set of projections (Table 2) utilized the number of employees as the independent variable for the medical office component. In this case, CMC plans on a medical staff of 81 persons in the 50,000-sf medical office section. It should be noted that the employee density (employees/1,000 sf) in the medical section is much lower than is reflected in the ITE database. While both ITE-based estimates are deemed credible, we expect that the Table 2 estimates more closely reflect the actual conditions in Keene.

In both trip estimates, the child care center traffic will come from those working at 62 Maple Avenue and those working at the Court Street campus. Use of the child care facility by Maple Avenue employees is accounted for in the office trips. Use of the child care facility by Court Street employees represents additional trips entering/existing the Maple Avenue site. According to CMC, the Court Street campus will account for approximately half of the child care trips.

The trip generation analysis is summarized on Table 1 and shows that the proposed Cheshire Medical Center Expansion will generate approximately 74 vehicle-trips (52 arrivals, 22 departures) during the worst-case weekday PM peak hour period (see Attachment 7). The trip generation analysis summarized on Table 2 shows that there will be a net reduction in peak hour trips (-18 trips), when compared with the former use of the site (see Attachment 8).

¹ Institute of Transportation Engineers, *Trip Generation*, tenth edition (Washington, D.C., 2017).

Table 1

ITE Trip Generation Summary A
(Independent variable: gross floor area)

	Former Insurance Company ¹	Proposed Medical Center				Net Change
		Medical Offices ²	Admin. Offices ³	Childcare ⁴	Total	
Weekday (24 Hour)						
Entering	827 veh	917 veh	464 veh	119 veh	1500 veh	673 veh
Exiting	<u>827 veh</u>	<u>917 veh</u>	<u>464 veh</u>	<u>119 veh</u>	<u>1500 veh</u>	<u>673 veh</u>
Total	1654 trips	1834 trips	928 trips	238 trips	3000 trips	1346 trips
AM Peak Hour						
Entering	235 veh	94 veh	93 veh	29 veh	216 veh	-19 veh
Exiting	<u>29 veh</u>	<u>27 veh</u>	<u>15 veh</u>	<u>26 veh</u>	<u>68 veh</u>	<u>39 veh</u>
Total	264 trips	121 trips	108 trips	55 trips	284 trips	20 trips
PM Peak Hour						
Entering	38 veh	48 veh	16 veh	26 veh	90 veh	52 veh
Exiting	<u>216 veh</u>	<u>124 veh</u>	<u>84 veh</u>	<u>30 veh</u>	<u>238 veh</u>	22 veh
Total	254 trips	172 trips	100 trips	56 trips	328 trips	74 trips

¹ ITE Land Use Code 715 - Single Tenant Office Building (147,000 sf)

² ITE Land Use Code 720 - Medical-Dental Office Building (50,000 sf)

³ ITE Land Use Code 710 - General Office Building (87,000 sf)

⁴ ITE Land Use Code 565 - Day Care Center (10,000 sf) - 50% work at Maple Street campus, 50% work at Court Street campus

Table 2

ITE Trip Generation Summary B
(Independent variables: gross floor area & employees for medical use)

	Former Insurance Company ¹	Proposed Medical Center				Net Change
		Medical Offices ²	Admin. Offices ³	Childcare ⁴	Total	
Weekday (24 Hour)						
Entering	827 veh	353 veh	464 veh	119 veh	936 veh	109 veh
Exiting	<u>827 veh</u>	<u>353 veh</u>	<u>464 veh</u>	<u>119 veh</u>	<u>936 veh</u>	<u>109 veh</u>
Total	1654 trips	706 trips	928 trips	238 trips	1872 trips	218 trips
AM Peak Hour						
Entering	235 veh	37 veh	93 veh	29 veh	159 veh	-76 veh
Exiting	<u>29 veh</u>	<u>11 veh</u>	<u>15 veh</u>	<u>26 veh</u>	<u>52 veh</u>	<u>23 veh</u>
Total	264 trips	48 trips	108 trips	55 trips	211 trips	-53 trips
PM Peak Hour						
Entering	38 veh	27 veh	16 veh	26 veh	69 veh	31 veh
Exiting	<u>216 veh</u>	<u>53 veh</u>	<u>84 veh</u>	<u>30 veh</u>	<u>167 veh</u>	-49 veh
Total	254 trips	80 trips	100 trips	56 trips	236 trips	-18 trips

¹ ITE Land Use Code 715 - Single Tenant Office Building (147,000 sf)

² ITE Land Use Code 720 - Medical-Dental Office Building (81 employees)

³ ITE Land Use Code 710 - General Office Building (87,000 sf)

⁴ ITE Land Use Code 565 - Day Care Center (10,000 sf) - 50% work at Maple Street campus, 50% work at Court Street campus

Findings & Conclusions:

1. Access to the subject site on Maple Avenue will continue to be provided via two two-way site driveways (north and south) that will intersect the west side of Maple Avenue approximately 400-feet and 900-feet north of the Maple Avenue/Park Avenue intersection. Both site driveway approaches to Maple Avenue are delineated with two departure lanes: an exclusive left-turn lane and an exclusive right-turn lane.
2. According to data collected at the NHDOT count station that is located approximately 240-feet south of the southerly site driveway intersection, this section of Maple Avenue carried an average weekday traffic volume of approximately 5,170 vehicles per day in 2020. The highest hourly traffic volumes occurred from 4:00 to 5:00 or 5:00 to 6:00 PM on weekdays.
3. The initial trip generation analysis, based on gross floor areas in the existing building, indicates that the proposed CMC uses (medical and administration office with child care facility) will generate approximately +74 additional vehicle-trips during the PM peak hour when compared with the former insurance company use.

A more site-specific trip generation estimate that is based on the actual number of employees that will occupy the medical office space (rather than gross floor area as the independent variable), indicates that the overall CMC site will generate fewer trips during the worst-case peak hour periods, i.e., resulting in trip reductions.

4. STOP sign control (MUTCD #R1-1) should be installed on both site driveway approaches to Maple Avenue. New pavement markings, in the form of a 12–24-inch white stop line and a short section of double-yellow centerline (to separate inbound and outbound vehicles) should also be installed on both site driveway approaches.

To summarize, with the anticipated change in weekday PM peak hour trips ranging from -18 to +74 vehicles (over a 60-minute period) resulting from the change from Liberty Mutual to CMC, it is reasonable to conclude that there will not be a significant change in traffic operations at the two site driveway intersections on Maple Avenue. Excellent sight distances exist at both existing site driveway intersections, and each driveway is delineated with two departure lanes. Our only recommendation to CMC and the City of Keene is to install STOP sign control on both minor approaches to Maple Avenue, and install new pavement markings on the driveway.

CC: Jason Reimers, Esquire
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Attachments

