



City of Keene Planning Board

AGENDA

Monday, May 22, 2023

6:30 PM

City Hall, 2nd Floor Council Chambers

- I. **Call to Order** – Roll Call
- II. **Minutes of Previous Meeting** – April 24, 2023
- III. **Final Vote on Conditional Approvals**
- IV. **Public Hearings**
 1. **SPR-967, Modification #7A – Site Plan – Railroad Land Parking Lot Landscaping Modifications – 0 Cypress St** - Applicant and owner Railroad Street Condominium Association proposes to remove and replace seven trees with thirty-four shrubs on the property at 0 Cypress St (TMP #574-041-000). The site is 5.54 ac and is located in the Downtown Core District.
 2. **S-03-23 – Conservation Residential Development Subdivision & SWP-CUP-02-23 – Surface Water Protection Conditional Use Permit – 19 Whitcomb’s Mill Rd** – Applicant and owner Sandra R. Henry Trust proposes to subdivide the 12.42 ac parcel located at 19 Whitcomb’s Mill Rd (TMP #237-018-000) into 9 lots, including 8 residential building lots that range in size from 0.38 to 0.77 ac and one open space lot that is 6.83 ac in size. Four lots are proposed to be developed as duplexes and four lots are proposed to be developed as single family homes. A new dead-end road is proposed to provide access to seven of the residential lots. Access to the 8th residential lot is proposed from Whitcomb’s Mill Rd. A waiver is requested from Sec. 19.3.5.A.3 of the Land Development Code regarding the requirement that all structures shall be accessed from internal streets. The site is located in the Low Density 1 District.
 3. **SPR-06-23 – Site Plan – Roosevelt School Housing – 438 Washington St** – Applicant Monadnock Affordable Housing, on behalf of owner Community College System of New Hampshire, proposes to renovate the existing ~13,507 sf, 2-story school building; construct a ~8,548 sf 2-story addition; and construct a ~12,646 sf 2-story building with associated site improvements to create a 60 unit multi-family housing development on the property at 438 Washington St. (TMP #531-054-000). A waiver is requested from Sec. 20.14.3.D of the Land Development Code regarding the requirement that all off-street parking be screened and located to the side or rear of buildings. This site is 2.4 ac and is located in the Low Density District.
- V. **Staff Updates**
- VI. **New Business**
- VII. **Upcoming Dates of Interest**
 - Joint Committee of the Planning Board and PLD – June 12, 6:30 PM
 - Planning Board Steering Committee – June 13, 11:00 AM
 - Planning Board Site Visit – June 21, 8:00 AM – To Be Confirmed
 - Planning Board Meeting – June 26, 6:30 PM

1 **City of Keene**
2 **New Hampshire**

3
4
5 **PLANNING BOARD**
6 **MEETING MINUTES**
7

8 **Monday, April 24, 2023**

6:30 PM

**Council Chambers,
City Hall**

Members Present:

David Orgaz, Vice Chair
Mayor George S. Hansel
Roberta Mastrogiovanni
Armando Rangel
Harold Farrington
Ryan Clancy
Randyn Markelon, Alternate

Staff Present:

Jesse Rounds, Community Development
Director
Mari Brunner, Senior Planner

Members Not Present:

Gail Somers, Alternate
Tammy Adams, Alternate
Kenneth Kost, Alternate
Councilor Michael Remy
Emily Lavigne-Bernier

9
10 **I) Call to Order – Roll Call**
11

12 Vice Chair Orgaz called the meeting to order at 6:30 PM and a roll call was taken. Randyn
13 Markelon was invited to join the session tonight.

14
15 **II) Election of Chair, Vice Chair, & Steering Committee**
16

17 A motion was made by Mayor George Hansel to nominate David Orgaz as Chair of the Board.
18 The nomination was seconded by Armando Rangel

19
20 Harold Farrington nominated himself as Chair of the Board. The nomination was seconded by
21 Mayor Hansel.

22
23 David Orgaz declined his nomination for Chair.

24
25 The motion to nominate Harold Farrington as Chair carried on a unanimous vote. A motion was
26 made by Mayor George Hansel to nominate David Orgaz as Vice-Chair of the Board. The
27 nomination was seconded by Ryan Clancy and was unanimously approved.
28

29 A motion was made by Mayor George Hansel to nominate Roberta Mastrogiovanni as the third
30 member of the Steering Committee. The motion was seconded by David Orgaz and was
31 unanimously approved.

32
33 Chair Farrington thanked his fellow Board members for the confidence placed in him, in
34 nominating him Chair of the Board. He acknowledged staff for their work and indicated he would
35 lean on them for their guidance and also acknowledged Chair Russell-Slack's service on the Board.

36
37 **III) Minutes of Previous Meeting – March 27, 2023**

38
39 A motion was made by Mayor George Hansel to approve the March 27, 2023 meeting minutes as
40 presented. The motion was seconded by David Orgaz and was unanimously approved.

41
42 **IV) Extension Requests**

43
44 **1. S-04-22 - Conservation Residential Development Subdivision & SPR-04-22 – Site**
45 **Plan – 0 Drummer Rd – Applicant and owner C. Eric Farris requests an extension**
46 **to the deadline to satisfy the precedent conditions of approval for the 6-lot CRD**
47 **subdivision, S-04-22, and site plan for the construction of 5 multi-family buildings,**
48 **SPR-04-22, for the property located at 0 Drummer Rd (TMP# 515-015-000). The**
49 **parcel is 13.1-ac and is located in the Low Density District.**

50
51 Ms. Brunner addressed the Board and stated that the Applicant for this project was not present
52 today and referred to their extension request letter on Page 9 of the Board's packet. She indicated
53 that this is their first extension request to extend the timeframe for them to meet their precedent
54 conditions of approval, which will need to be met before the Board can issue a final approval for
55 this application. Ms. Brunner went on to say that after the Applicant received conditional
56 approval, he heard about the Invest NH funding and he is also looking to participate in the Low
57 Income Housing Tax Credit program. Part of this proposal is to provide affordable housing and
58 he needs time to work through these details.

59
60 A motion was made by Mayor George Hansel to grant a 180-day extension to meet the conditions
61 of approval for S-04-22 and SPR-04-22. The motion was seconded by David Orgaz and was
62 unanimously approved.

63
64 **2. SPR-11-16, and Modification #10 – Site Plan - Covenant Living of Keene - 95, 100,**
65 **& 118 Wyman Rd – Applicant SVE Associates, on behalf of owner Covenant Living**
66 **of Keene, requests an extension to the deadline to satisfy the precedent conditions**
67 **of approval for site plan SPR-11-16, Modification #10 for modifications to**
68 **landscaping and pedestrian infrastructure on the properties at 95 Wyman Rd**
69 **(TMP #221-019-000), 100 Wyman Rd (TMP #221-018-000), and 118 Wyman Rd**
70 **(TMP #210-010- 000). The properties are a combined 67 acres in size and are**
71 **located in the Rural District.**

72

73 Mr. Greg Burdett, Executive Director of Covenant Living, addressed the Board and stated that
74 they are working with Staff on satisfying conditions of approval #3-4 related to the installation
75 of pedestrian infrastructure on the Covenant Living site, which is taking longer than expected,
76 and this is the reason for the extension request.
77

78 A motion was made by Mayor George Hansel to grant a 180-day extension for SPR-11-16,
79 Modification #10. The motion was seconded by David Orgaz and was unanimously approved.
80

81 **V) Final Vote on Conditional Approvals**
82

83 Chair Farrington asked staff whether there were any applications tonight that are ready for a final
84 vote. Ms. Brunner stated that there is one application that is ready for a final vote – subdivision
85 application, S-08-22, for a two-lot subdivision of the property located at 284– 88 Hurricane Road.
86 Ms. Brunner explained that the Board conditionally approved this application in August 2022 and
87 there were four conditions of approval, all of which have been met. These conditions included
88 having the owners sign the final plan, the submittal of four full-sized paper copies and two mylar
89 copies of the final plan, and the submittal of a check in the amount of \$51 to cover the cost of
90 recording the final plan at the Registry of Deeds, the submittal of a revised plan showing the
91 location of all rights-of-way, and an affidavit signed by the right-of-way holders and property
92 owners to be recorded with the final subdivision plot at the Cheshire County Registry of Deeds.
93

94 A motion was made by Mayor George Hansel that the Planning Board issue final approval for S-
95 08-22. The motion was seconded by David Orgaz and carried on a unanimous vote.

96 **VI) Boundary Line Adjustment**
97

98 **3. S-02-23 – Boundary Line Adjustment – 190 & 196 South Lincoln St - Applicant**
99 **Hans Porschitz, on behalf of owners Jennifer Whitehead & Aaron Cooper,**
100 **proposes a boundary line adjustment between the properties at 190 & 196 South**
101 **Lincoln St (TMP #s 572-004-000 & 587-001-000). This adjustment will result in the**
102 **transfer of ~261 sf from the 0.13 ac parcel at 190 South Lincoln St to the 0.11 ac**
103 **parcel at 196 South Lincoln St. Both properties are located in the Medium Density**
104 **District.**

105
106 **A. Board Determination of Completeness**
107

108 Jesse Rounds, the Community Development Director, stated that the Applicant has requested
109 exemptions from submitting a drainage report, traffic analysis, soil analysis, and all other technical
110 reports. Staff have determined that the requested exemptions would have no bearing on the merits
111 of the application and recommend that the Board accept the application as “complete.”
112

113 A motion was made by Mayor George Hansel to accept the BLA application, S-02-23, as
114 “complete.” The motion was seconded by David Orgaz and was unanimously approved.
115

116 **B. Public Hearing**
117

118 Mr. Hans Porschitz, the project applicant, addressed the Board. Mr. Porschitz stated that he was
119 addressing the Board on behalf of Jennifer Whitehead, the owner of the property at 196 South
120 Lincoln Street, and Aaron Cooper, the former owner of the property at 190 South Lincoln Street.
121 The new owners of 190 South Lincoln Street are Emily Lavigne-Bernier and Casey Bernier. Mr.
122 Porschitz stated that the request is to adjust the lot line between the two parcels to reflect the actual
123 use of the two properties. He indicated that this mis-alignment was discovered last summer when
124 they were doing some work on their property.
125

126 Staff comments were next.
127

128 Mr. Rounds addressed the Board and stated that this is a simple request. It is a request to transfer
129 261 sf of land by moving the side lot line that separates these two properties. At the Zoning Board
130 of Adjustment meeting on March 6th, 2023, Mr. Porschitz requested a variance on behalf of the
131 property owners to permit a smaller lot size than is allowed in the Medium Density District. In
132 addition, there were two other variances requested at that time - one was to allow the garage on
133 the property to be within the setback and the second variance was to allow a driveway to be within
134 three feet of the property line. All three variances were approved.
135

136 Mr. Rounds noted that as mentioned by Mr. Porschitz, there is garden that currently crosses the
137 property line and this lot line adjustment would resolve this issue.
138

139 Mr. Rounds stated that from staff's perspective, there were no concerns about this proposal. He
140 also noted that staff felt that this change would promote safe and orderly development of the City
141 and protect abutters from hazards, unsightliness, nuisances, and detriments to property values.
142

143 Mr. Clancy asked who the current owner of the property at 190 South Lincoln Street was. Mr.
144 Rounds stated that it is Emily Lavigne-Bernier and her partner. Mr. Clancy clarified that having
145 Aaron Cooper listed as the property owner on the application would not be an issue. Mr. Rounds
146 answered in the negative.
147

148 The Chair asked for public comment. With no comment from the public, the Chair closed the
149 public hearing.
150

151 C. Board Discussion and Action 152

153 A motion was made by Mayor George Hansel that the Planning Board approve S-02-23 for a
154 boundary line adjustment between the properties located at 190 South Lincoln St. (TMP# 572-
155 004-000) and 196 South Lincoln St. (TMP# 587-001-000) as shown on the plan identified as
156 "Boundary Line Adjustment Plat of Map-587 Lot-1 & Map 572 Lot-4 196 South Lincoln St and
157 190 South Lincoln St Keene, New Hampshire" prepared by Graz Engineering at a scale of 1" = 15
158 feet on November 2, 2022 and last revised on April 7, 2023, with the following conditions
159 precedent prior to final approval and signature of the plans by the Planning Board Chair:
160

- 161 1. Submittal of four (4) full-sized paper copies, two (2) mylar copies, and a digital copy of
162 the final plan.
- 163 2. Owners' signatures appear on the plan.

- 164 4. Submittal of a check in the amount of \$51.00 made out to the City of Keene to cover the
165 cost of recording the final plat.
166 5. Inspection of lot monuments by the Public Works Director or their designee following their
167 installation or the submittal of a security in an amount deemed satisfactory to the Public
168 Works Director to ensure that the monuments will be set.”
169

170 The motion was seconded by David Orgaz and was unanimously approved.
171

172 **VII. Staff Updates**
173

174 Ms. Brunner stated that there are a few Certificates of Adoption for Board members to sign to
175 certify that the Board adopted amendments to its Regulations. The first one is for the amendments
176 to the subdivision regulations that the Board adopted in February. The second is for the changes
177 to the Conservation Residential Development subdivision regulations.
178

179 Ms. Brunner went on to say that there will be a meeting regarding the Community Power Program
180 on April 25th at 6:00 pm at Heberton Hall. On May 2nd at 6:00 pm, there will be another in-person
181 meeting with a Zoom option.
182

183 **VIII. New Business**
184

185 None
186

187 **IX. Upcoming Dates of Interest**

- 188 • Joint Committee of the Planning Board and PLD – May 8, 6:30 PM
189 • Planning Board Steering Committee – May 9, 11:00 AM
190 • Planning Board Site Visit – May 17, 8:00 AM – To Be Confirmed
191 • Planning Board Meeting – May 22, 6:30 PM
192

193 There being no further business, Chair Farrington adjourned the meeting at 7 PM.
194

195 Respectfully submitted by,
196 Krishni Pahl, Minute Taker
197

198 Reviewed and edited by,
199 Megan Fortson, Planning Technician

STAFF REPORT

SPR-967, Modification #7A – Site Plan Review – Railroad Land Landscaping Modifications – 0 Cypress St

Request:

Applicant and owner Railroad Street Condominium Association, proposes to remove and replace six trees with thirty-one shrubs on the property at 0 Cypress St (TMP #574-041-000). The site is 5.54 ac and is located in the Downtown Core District.

Background:

The subject parcel of this application is the former railroad land located at 0 Cypress St (TMP #574-041-000), which is now owned by the Railroad Street Condominium Association. The parcel is 5.54 acres in size and is located to the east of Main Street in the Downtown Core District. This parcel contains a variety of buildings and uses ranging from the Monadnock Food Co-op, to the Courtyard by Marriott hotel, offices for Southwestern



Figure 1. Aerial imagery of the railroad property located at 0 Cypress St (TMP #574-041-000).

Community Services, clinic space for the hospital, residential living units, and many other uses. The development of this property was originally approved by the Planning Board in June 2006 as part of SPR-967. Several subsequent modifications have been made to the original site plan for this development to allow for changes to the buildings on the property and the site itself. Figure 1 above shows the full extent of this parcel.

As part of this application, the Applicant is proposing to replace seven trees that have already been removed with 34 Dwarf Inkberry shrubs in two existing interior parking lot landscaping islands on the eastern portion of the site along Community Way. The landscaping on this portion of the site was approved as part of the original site plan application in 2006. City Staff became aware that the trees had been removed in January 2023 and let the property owner know that they would either need to be replaced in the approved locations or a site plan modification would need to be submitted.

Section 20.5.5 of the LDC states that minor revisions to approved landscaping plans can be approved by the Community Development Director or their designee, as long as the Applicant can demonstrate that there will be no reduction in the quantity or size (at maturity and planting) of plant material, that there will be no change to the approved location of plant materials, and that the proposed plants are of the same general category (e.g. shade, ornamental, evergreen) as the approved plants. Given that the Applicant is proposing to change the category and number of plants that are proposed to be installed in place of the trees that were removed, this request meets the threshold for review by the Planning Board.

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Completeness:

The applicant has requested exemptions from submitting a grading plan, lighting plan, elevations, and all technical reports. After reviewing each request, staff recommend that the Board grant the requested exemptions as they have no bearing on the merits of the application and accept the application as “complete.”

Departmental Comments:

There were no departmental comments on this application.

Application Analysis: The following is a review of the standards relevant to this application.



Figure 2. Snippet of the approved landscaping plan from SPR-967 with the location of the seven trees that were removed along Community Way circled in red.

9.4.5.A – Parking lots of 10+ spaces. “For parking lots of 10 or more parking spaces, either 1 tree at least 3-in diameter as measured 6-in from the ground after planting, or groupings of 3 or more trees at least 6-ft tall or 2-in diameter as measured 6-in above grade after planting, shall be required at the ratio of 1 tree per 10 parking spaces.”

The Applicant has submitted an existing conditions exhibit showing that there are currently 172 parking spaces on the property and 33 remaining trees left on the site following the removal of seven trees. This plan is included as an attachment to this staff report. This number of parking spaces would require that 18 trees be planted on the site. Given that the Applicant has planted more than the minimum required number of trees, this standard appears to be met.

20.5 - Landscaping. The Applicant is proposing to replace seven existing trees that were removed in two interior landscaping islands on the eastern portion of the site with 34 Dwarf Inkberry shrubs. Figure 2 shows an aerial view of the trees that were removed. Figures 3 & 4 show Google Street View imagery of the trees that were removed and Figure 5 shows one of the stumps that was left behind following the removal of the trees. The narrative that was submitted by the Applicant states that these trees never thrived and were removed because of this. In the narrative, the Applicant states that one possible reason that the trees failed to thrive could potentially be that the underlying surface of the former rail yard was not conducive to the

STAFF REPORT

growth and development of the trees. The narrative goes on to state that members of the condo association have noticed that Dwarf Inkberry shrubs have thrived in other areas of the site. Example photos of these shrubs are included as an attachment to this staff report.



Figure 3. Google Street View imagery showing five of the trees that were removed. (Imagery is from November 2021.)



Figure 4. Google Street View imagery showing the other two trees that were removed. (Imagery is from November 2021.)

During correspondence with City Staff, the Applicant noted that the members of the condo association have discussed whether the trees that were removed should be replaced with new trees or if replacing them with shrubs as currently proposed is sufficient. He explained that there has been no consensus amongst condo members and said that some members would prefer trees while others would prefer bushes that they believe would grow. The Applicant has also noted that he does not believe that salt or other roadside pollution played a role in the decline of the trees that were removed, but rather he believes that the soil conditions under the top 12-18” of soil provided are not suitable for the sustained growth of large trees. He explained that the subject parcel is an old rail yard that had little native soil present prior to its development. He also noted that there are other trees on the property that have been identified as being in distress that the condo association is looking to save.

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Section 20.5.2 of the Land Development Code (LDC) outlines the landscaping installation requirements, including the requirement that trees be planted utilizing the best available practices to develop essential root structure; that plant materials be installed in a soil of sufficient volume, composition, and nutrient balance; that trees installed in areas of non-native or compacted soil shall be excavated to enable the placement of 300 cubic ft of native soil; and that protective measures (such as temporary fencing) be installed to protect the root masses of existing vegetation.



Figure 5. A photo of one of the stumps that was left behind following the removal of the trees.

The Applicant has submitted a proposed landscaping plan that includes a landscaping detail showing how the proposed Dwarf Inkberry shrubs will be installed. The planting table on the landscaping plan shows that these plants will be 24" tall by 18" wide at the time of planting and will grow to a mature height of 3-4' and mature width of 4-6'. The Board may want to consider making the submittal of a security to cover the cost of the landscaping and its installation a precedent condition of approval to ensure that the landscaping will survive and will be replaced if it does not survive.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

“Approve SPR-967, Modification #7A as shown on the plan identified as, “Proposed Plantings, SCS Railroad St. Condo, Southwestern Community Services, 63 Community Way, Keene, NH” prepared by SVE Associates at a scale of 1 inch = 10 feet on March 24, 2023 and last revised on April 28, 2023, with the following conditions precedent prior to final approval and signature by the Planning Board Chair:

- 1. Owner’s signature appears on the final plan.*
- 2. Submittal of five full-sized paper copies and one digital copy of the final plan.*
- 3. Submittal of a security to cover the cost of landscaping in a form and amount acceptable to the Community Development Director or their designee.”*



City of Keene, NH Site Plan Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION	
PROJECT NAME: Railroad Land Condominium Landscape Upgrade	TYPE OF APPLICATION BEING SUBMITTED: <input type="checkbox"/> MAJOR PROJECT APPLICATION <input checked="" type="checkbox"/> MINOR PROJECT APPLICATION
PROJECT ADDRESS(ES): 63 Community Way	
EXISTING OR PREVIOUS USE: Commercial Condominium	PROPOSED USE: Commercial Condominium
GROSS FLOOR AREA OF NEW CONSTRUCTION (in square feet) 0 (Zero)	GROSS FLOOR AREA OF EXISTING BUILDINGS/STRUCTURES (in square feet) N/A
AREA OF PROPOSED NEW IMPERVIOUS SURFACES (in square feet) 0 (Zero)	TOTAL AREA OF LAND DISTURBANCE (in square feet) 250+/- SF

SECTION 2: CONTACT INFORMATION	
PROPERTY OWNER	APPLICANT
NAME/COMPANY: Railroad Land Condominium Association	NAME/COMPANY: Keith F. Thibault
MAILING ADDRESS: P.O. Box 603 Keene, NH 03431	MAILING ADDRESS: Same
PHONE: (603)719.4208 or (603)209-1652	PHONE: Same
EMAIL: kthibault@scshelps.org	EMAIL: Same
SIGNATURE: Keith F. Thibault <small>Digitally signed by Keith F. Thibault Date: 2023.03.29 20:50:12 -04'00'</small>	SIGNATURE: Keith F. Thibault <small>Digitally signed by Keith F. Thibault Date: 2023.03.29 20:50:39 -04'00'</small>
PRINTED NAME: Keith F. Thibault	PRINTED NAME: Same

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY:	TAX MAP PARCEL #(s): 574.041-000000000	
MAILING ADDRESS:	-----	
PHONE:	PARCEL SIZE: 5.54 acres	DATE STAMP:
EMAIL:	ZONING DISTRICT: Downtown Core	
SIGNATURE:	PROJECT #: SPR-967, Mod. 7A	
PRINTED NAME:		



Southwestern Community Services

People helping people in Cheshire and Sullivan Counties since 1965

To: City of Keene Planning Board

From: Keith F. Thibault, cdo, Southwestern Community Services

Date: April 12, 2023

Subject: Railroad Land Condo Association Landscaping Upgrade – Narrative

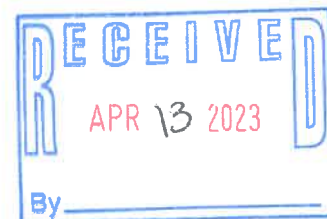
Thank you for the opportunity to present this narrative and accompanying Site Plan Application for landscaping upgrades within the downtown Railroad Land Commercial Condominium. We are looking to replace a small number of trees with a different form of landscaping.

The trees that were planted along this narrow parking/traffic island have never thrived. One theory is that the underlying surface of this former rail yard was not conducive to tree growth and development.

What we have observed, however, is that the Dwarf Inkberry plantings in very similar areas have thrived. I have provided a couple of pictures to exemplify this. We intend to replace the six trees removed with over thirty Inkberry plantings in this area.

Thanks again for your assistance with this request. Please do not hesitate to contact me with any questions or concerns. I can be reached by email at kthibault@scshelps.org or by phone at 603.719.4208.

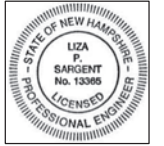
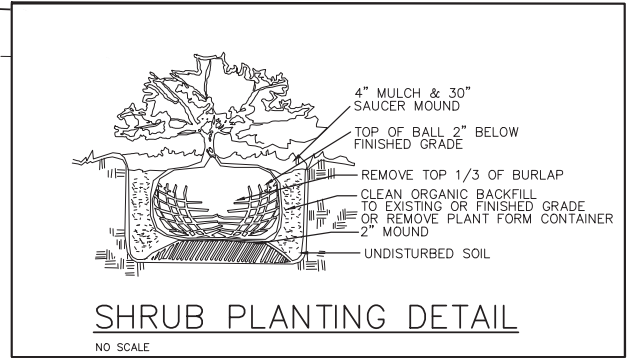
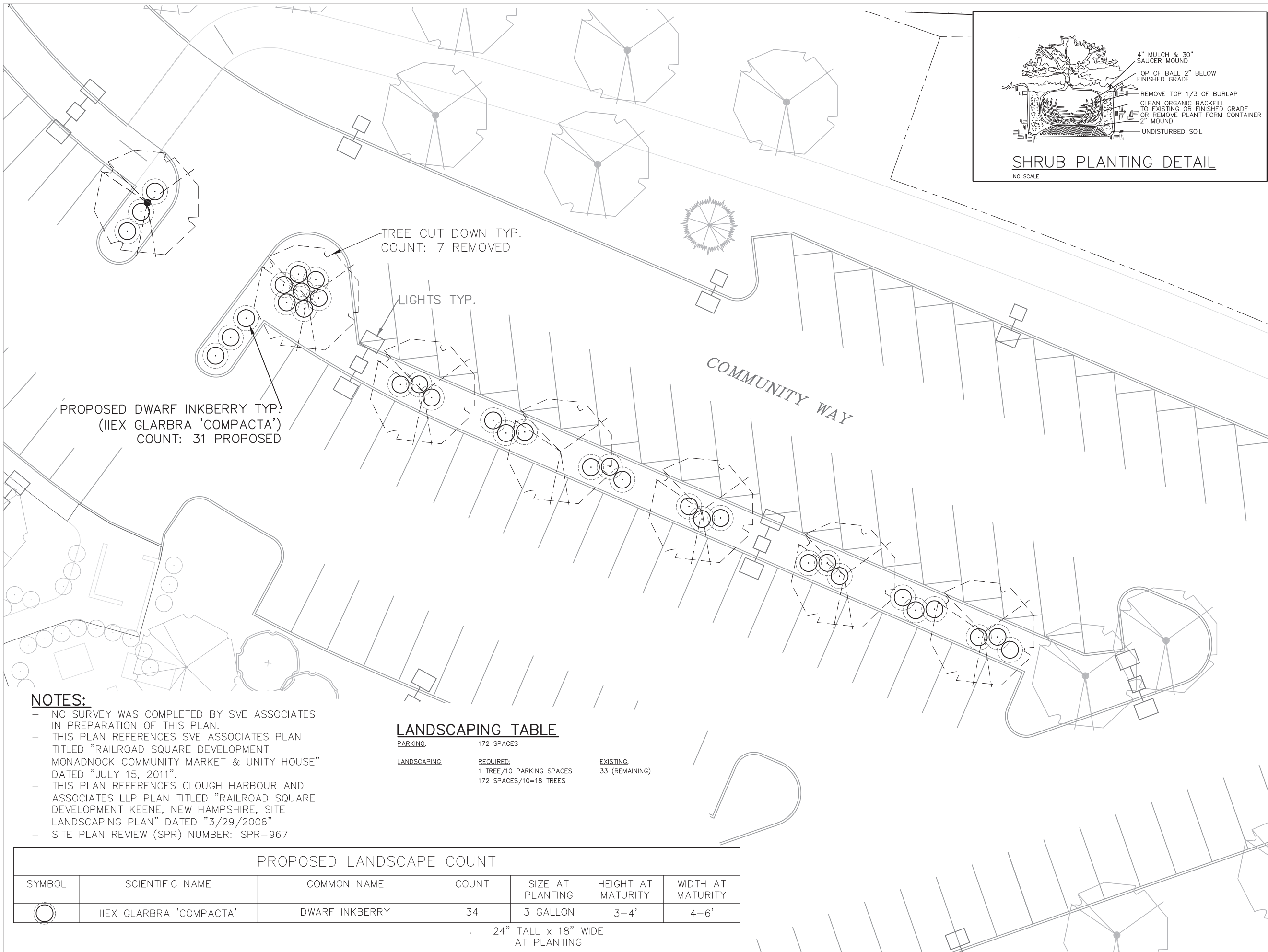
CC: Beth Daniels, CEO Southwestern Community Services



SPR 967, Mod. 7A



Drawing name: P:\Project\NH PROJECTS\K2759 SCS - Railroad St. Condo.Dwg\Design\K2759 Trees.dwg May 12, 2023 - 10:50am



Liza Sargent 5/12/23
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

NO.	REVISION	DATE	DWN	CHK
1	ADDED MATURE SIZING & DRIP LINE	19-APR-23	LPS	LPS
2	SHRUB PLANTING DETAIL	28-APR-23	LPS	LPS
3	PB STAFF COMMENT	12-MAY-23	AJG	LPS

SVE ©2023
 Engineering
 Planning
 Landscape Architecture
 Surveying

SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

PROPOSED PLANTINGS
 SCS RAILROAD ST. CONDO
 SOUTHWESTERN COMMUNITY SERVICE
 63 COMMUNITY WAY
 KEENE, NEW HAMPSHIRE

0 5 10 20
 GRAPHIC SCALE 1" = 10'

PROJ. #:
 K2759
 DATE:
 24-MAR-23
 SHEET
 DRAWN: AJG
 CHECKED: LPS
 13 of 105 1/1

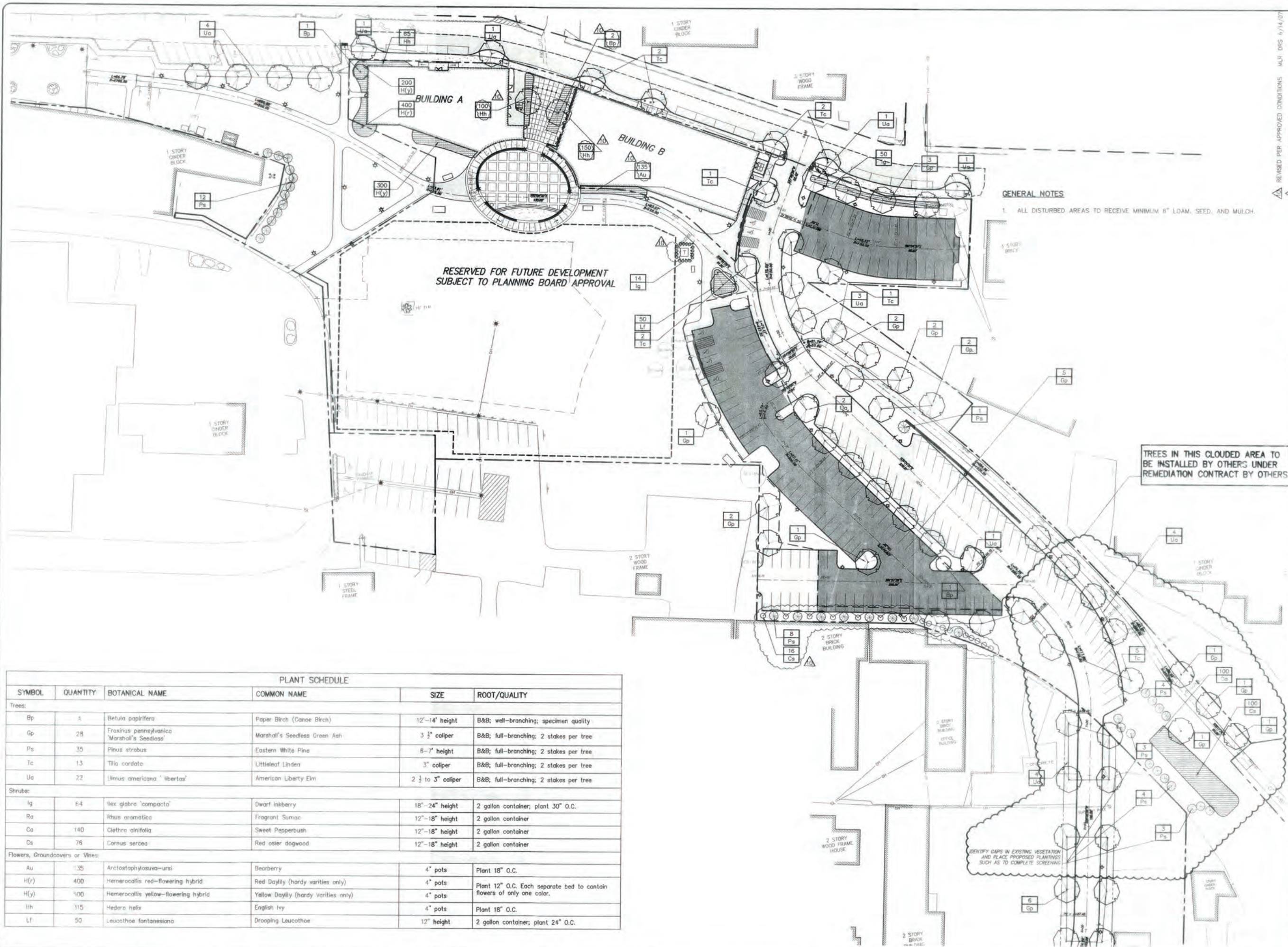
- NOTES:**
- NO SURVEY WAS COMPLETED BY SVE ASSOCIATES IN PREPARATION OF THIS PLAN.
 - THIS PLAN REFERENCES SVE ASSOCIATES PLAN TITLED "RAILROAD SQUARE DEVELOPMENT MONADNOCK COMMUNITY MARKET & UNITY HOUSE" DATED "JULY 15, 2011".
 - THIS PLAN REFERENCES CLOUGH HARBOUR AND ASSOCIATES LLP PLAN TITLED "RAILROAD SQUARE DEVELOPMENT KEENE, NEW HAMPSHIRE, SITE LANDSCAPING PLAN" DATED "3/29/2006"
 - SITE PLAN REVIEW (SPR) NUMBER: SPR-967

LANDSCAPING TABLE

PARKING:	172 SPACES	
LANDSCAPING	REQUIRED: 1 TREE/10 PARKING SPACES 172 SPACES/10=18 TREES	EXISTING: 33 (REMAINING)

PROPOSED LANDSCAPE COUNT						
SYMBOL	SCIENTIFIC NAME	COMMON NAME	COUNT	SIZE AT PLANTING	HEIGHT AT MATURITY	WIDTH AT MATURITY
	IIEX GLARBRA 'COMPACTA'	DWARF INKBERRY	34	3 GALLON	3-4'	4-6'

24" TALL x 18" WIDE AT PLANTING



GENERAL NOTES
 1. ALL DISTURBED AREAS TO RECEIVE MINIMUM 6" LOAM, SEED, AND MULCH.

TREES IN THIS CLOUDED AREA TO BE INSTALLED BY OTHERS UNDER REMEDIATION CONTRACT BY OTHERS

IDENTIFY GAPS IN EXISTING VEGETATION AND PLACE PROPOSED PLANTINGS SUCH AS TO COMPLETE SCREENING

PLANT SCHEDULE

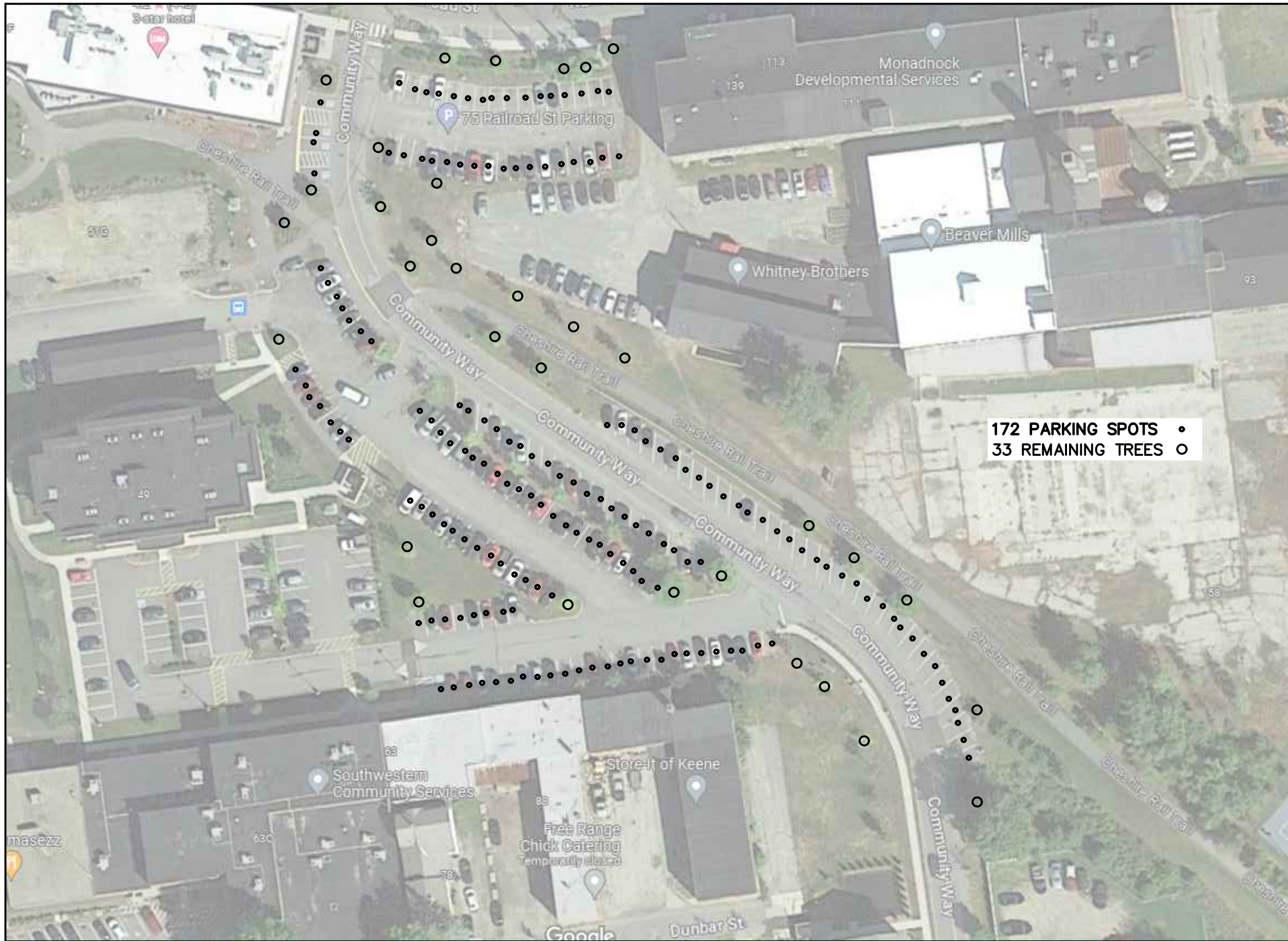
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT/QUALITY
Trees:					
Bp	4	<i>Betula papyrifera</i>	Paper Birch (Canoe Birch)	12'-14' height	B&B; well-branching; specimen quality
Gp	28	<i>Fraxinus pennsylvanica</i> 'Marshall's Seedless'	Marshall's Seedless Green Ash	3 3/4" caliper	B&B; full-branching; 2 stakes per tree
Ps	35	<i>Pinus strobus</i>	Eastern White Pine	6-7' height	B&B; full-branching; 2 stakes per tree
Tc	13	<i>Tilia cordata</i>	Littleleaf Linden	3" caliper	B&B; full-branching; 2 stakes per tree
Ua	22	<i>Ulmus americana</i> 'libertas'	American Liberty Elm	2 3/4 to 3" caliper	B&B; full-branching; 2 stakes per tree
Shrubs:					
Ig	64	<i>Ilex glabra</i> 'compacta'	Dwarf Inkberry	18"-24" height	2 gallon container; plant 30" O.C.
Ra		<i>Rhus aromatica</i>	Fragrant Sumac	12"-18" height	2 gallon container
Co	140	<i>Clethra alnifolia</i>	Sweet Pepperbush	12"-18" height	2 gallon container
Cs	76	<i>Cornus sericea</i>	Red osier dogwood	12"-18" height	2 gallon container
Flowers, Groundcovers or Vines:					
Au	135	<i>Arctostaphylos-ursi</i>	Baoberry	4" pots	Plant 18" O.C.
H(r)	400	<i>Hemerocallis</i> red-flowering hybrid	Red Daylily (hardy varieties only)	4" pots	Plant 12" O.C. Each separate bed to contain flowers of only one color.
H(y)	500	<i>Hemerocallis</i> yellow-flowering hybrid	Yellow Daylily (hardy varieties only)	4" pots	Plant 12" O.C. Each separate bed to contain flowers of only one color.
Hh	315	<i>Hedera helix</i>	English Ivy	4" pots	Plant 18" O.C.
Lf	50	<i>Leucothoe fontanesiana</i>	Drooping Leucothoe	12" height	2 gallon container; plant 24" O.C.

REVISIONS PER APPROVED CONDITIONS MAR 08S 6/14/07
 ISSUE FOR CONSTRUCTION MAR PUS 5/22/07

No.	Submitter / Revision	Appr. By	Date
1	ISSUED FOR SITE PLAN REVIEW	MAR PUS	3/29/06
2	REVISED PER CITY COMMENTS	MAR PUS	4/10/06
3	REVISED PER CITY COMMENTS	MAR PUS	4/18/06
4	REMOVE BUILDING C	MAR PUS	6/20/06
5	REVISE BME PATH PER INDOT REVIEW	MAR PUS	8/22/06
6	REVISE BUILDING B FOOTPRINT	MAR PUS	11/22/06
7	ISSUED FOR BID	MAR PUS	12/22/07



RAILROAD SQUARE DEVELOPMENT
 KEENE, NEW HAMPSHIRE
 SITE LANDSCAPING PLAN



172 PARKING SPOTS •
33 REMAINING TREES ○

NO.	REVISION	DATE	DWN	CHK	LPS
1	PB STAFF COMMENT	12MAY23	AUG		

SVE © 2023
 Engineering
 Planning
 Landscape Architecture
 Surveying

SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 413.774.6698
 F 413.773.0875
 www.sveassoc.com

SPR-967 EX CONDITIONS
 SCS RAILROAD ST. CONDO
 SOUTHWEST COMMUNITY SERVICE
 63 COMMUNITY WAY
 KEENE, NEW HAMPSHIRE

NO SCALE

PROJ. #: K2759
 DATE: 24-MAR-23
 SHEET EXHIBIT 1
 DRAWN: AJG

Keith Thibault

From: Keith Thibault
Sent: Thursday, April 13, 2023 1:04 PM
To: Keith Thibault

Example Photos of Dwarf Inkberry Plants on the Railroad Land Property



Keith...

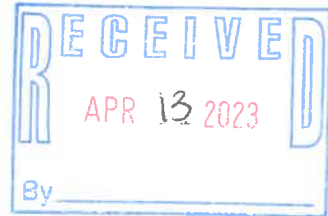
RECEIVED
APR 13 2023
By _____
SPR 9167, Mod. 7A

Keith Thibault

From: Keith Thibault
Sent: Thursday, April 13, 2023 1:15 PM
To: Keith Thibault



Keith...



SPR-967, Mod. 7A

STAFF REPORT

S-03-23 – Conservation Residential Development Subdivision and SWP-CUP-02-23 – Surface Water Protection Conditional Use Permit – 19 Whitcomb's Mill Rd

Request: Applicant and owner Sandra R. Henry Trust proposes to subdivide the 12.42 ac parcel located at 19 Whitcomb's Mill Rd (TMP #237-018-000) into 9 lots, including 8 residential building lots that range in size from 0.38 to 0.77 ac and one open space lot that is 6.83 ac in size. Four lots are proposed to be developed as duplexes and four lots are proposed to be developed as single family homes. A new dead-end road is proposed to provide access to seven of the residential lots. Access to the 8th residential lot is proposed from Whitcomb's Mill Rd. A waiver is requested from Sec. 19.3.5.A.3 of the Land Development Code regarding the requirement that all structures shall be accessed from internal streets. The site is located in the Low Density 1 District.

Background:

The 12.42-acre tract of land that is the subject of this proposal is located on the west side of Whitcomb's Mill Road, approximately 0.15 miles north of NH Rt. 9. The site is currently undeveloped; however, it was historically cleared in some areas and used as a gravel pit. Adjacent land uses include residential properties to the north, agricultural properties to the west, the Langdon Place of Keene to the east, and the Cheshire Rail Trail to the south. The parcel has 762 feet of frontage along Whitcomb's Mill Road and is located in the Low Density 1 District.

Existing surface waters on the site include an intermittent stream that enters the property from the south and feeds into an ~1.9 acre forested wetland complex in the center of the property. The wetlands drain into White Brook, which runs along the northern parcel boundary. There are steep slopes (precautionary and prohibitive) located on the site; however, many of these slopes were created during the operation of the former gravel pit.

The applicant proposes to subdivide the parcel into nine lots, 8 of which would be residential lots that vary in size from ~0.38 to ~0.77 acres. The ninth lot would be reserved as open space and is ~6.83 acre in size.



Figure 1. Aerial image of the 19 Whitcomb's Mill property.

The proposal includes four single-family lots and four duplex lots that could be developed as either single family or duplex homes, for a total of up to 12 residential dwelling units. The Applicant proposes to construct a dead-end public road to provide access for seven of the residential lots. The 8th residential lot, which could be developed as either a single family home or a duplex, is proposed to have access directly from Whitcomb's Mill Road. A waiver is requested

STAFF REPORT

from Section 19.3.5.A.3.a of the Land Development Code regarding the requirement that all structures be accessed from interior streets.

The proposed new road, which roughly follows the location of the existing gravel driveway into the site, crosses through the 30-foot wetland buffer. The applicant has submitted a Surface Water Conditional Use Permit application, which has been referred to the Conservation Commission for review and comment at their meeting on Monday, May 15. Any comments or recommendations from the Conservation Commission will be shared with the Planning Board at the May meeting. In addition, due to the presence of precautionary and prohibitive slopes on the site, the applicant has requested a Hillside Protection Conditional Use Permit in case it is required for impacts to steep slopes on the site.

Completeness:

The Applicant requests exemptions from submitting a landscaping plan, lighting plan, building elevations, historic evaluation, screening analysis, and an architectural and visual appearance analysis. After reviewing each request, staff recommend that the Board grant the requested exemptions as they have no bearing on the merits of the application and accept the application as "complete."

Departmental Comments:

Engineering:

- Please provide a percolation test for the proposed on-site stormwater basin.
- Inverts and pipe size at SMH#1 should be confirmed prior to submission of the connection permit to NHDES.
- Please be aware that you will need to submit the calculated sewer flow for the proposed development and a copy of the NHDES connection permit.
- Please be aware that trees are required every 50' on both sides of a street (public or private).
- All new public roads required to have sidewalks at least on one side of the street and street lighting, excluding Rural District.
- Per Section 22.3.4 of the LDC, dead-end streets cannot be longer than 750 ft.
- Per Section 22.3.13 of the LDC, installation of telecommunications infrastructure is required for all new roads.

Fire:

- Please describe how this proposal meets the requirements of Section 19.2.7 "Fire Protection and Water Supply" of the LDC.
- Fire ponds are not a reliable water source for firefighting purposes due to issues such as freezing over during winter months and running dry during droughts. Acceptable alternatives include a water main connection at street level or a cistern under certain conditions.
- As this is a dead end road, please demonstrate fire apparatus turnaround for the largest fire apparatus operated by KFD. Please contact the Fire Department to obtain specifications.
- Please be aware that a dead end road may need multiple access road.

Code Enforcement & Zoning:

- Please show the required frontage for Lot 8. (*Note: this comment has been addressed*)

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- The narrative states that seven of the eight proposed building lots will have frontage and access from a private road; however, the zoning code requires frontage on a public road. Please, revise the proposal to show a public road, or alternatively, you may seek a variance from the ZBA to permit access to the new lots from a private road. (*Note: The applicant has revised the application to propose a public road*)
- Are any “Precautionary” or “Prohibitive” slope areas present on the site? If so, please show these areas on the plan, and provide the area of precautionary slopes and the area of prohibitive slopes that will be impacted by the proposed development, if any.
- Please be aware that building permits will be required.

Application Analysis –Subdivision Regulations: The following is a review of the applicable subdivision regulations in Section 19.2 and the CRD Subdivision regulations in Section 19.3.

19.2.1 Lots - All proposed lots appear to meet the requirements of the zoning regulations and CRD dimensional standards and will have frontage on either an existing Class V road or a street within an approved subdivision plan. This standard appears to be met.

19.2.2 Character of Land for Subdivision - The land proposed to be subdivided is not located in a flood hazard area. There are some man-made steep slopes present on the site that are proposed to be regraded as part of this proposal. This standard appears to be met.

19.2.3 Scattered or Premature Development - The proposed development is located off of an existing city street in an area of the city that is zoned for residential development. Staff have no concerns about the potential impact of this development on the capacity of the school system, adequacy of access streets, and availability of other public services. Fire access to the site is restricted due to the weight and capacity limits of the one-lane bridge over White Brook. Emergency access will be provided from the south via NH Route 9

19.2.4 Preservation of Existing Features – All significant existing features have been identified and are discussed later on in this staff report under CRD design criteria A.

19.2.5 Monumentation – This standard states that “The owner or developer shall provide permanent reference monuments in accordance with Article 22 of this LDC.” Section 22.3.2 of the LDC states, “*Final subdivision plans shall not be signed and recorded until after the monuments have been installed by the developer and verified by the Public Works Director, or security in an amount deemed satisfactory to the Public Works Director is posted ensuring the monuments will be set.*” Staff recommend that the Board include a condition of approval to require inspection of lot monuments by the Public Works Director or their designee following their installation or the submittal of a security in an amount deemed satisfactory to the Public Works Director to ensure that the monuments will be set.

19.2.6 Special Flood Hazard Areas – There are no special flood hazard areas located on any of the proposed developable lots. This standard is not applicable.

19.2.7 Fire Protection and Water Supply – This standard states that, for private fire protection water supply systems when it is infeasible or economically unreasonable to connect a fire hydrant to a public water main as determined by the Planning Board, the private fire protection water supply systems may include the following:

STAFF REPORT

- "2. For single-family dwellings, underground cisterns and associated dry hydrants that meet the standards of NFPA 1142. The location, design, and provisions for ownership, maintenance, and all season access to the cistern and supporting facilities shall conform to the Keene Fire Department hydrant specifications.*
- 3. Individual residential sprinkler systems meeting the standards of NFPA 13D or NFPA 13R may be installed; however, in no case may the installation of such a system be made a requirement of approval.*
- 4. Any other public or private fire protection water supply system approved by the Fire Chief and determined by the Planning Board to provide a similar or greater level of fire protection than the options provided in (1) and (2) above."*

The Applicant states in the project narrative that *"Fire protection for the proposed new homes will be provided with individual home fire sprinkler systems. The applicant reserves the right to construct a fire pond within the existing wetland, subject to necessary permits and approvals including a NHDES wetlands permit and a waiver from the Keene Planning Board."* Fire Department staff have indicated that a fire pond would not be an acceptable form of fire protection; however, individual sprinkler systems or an underground cistern and associated dry hydrants that meet the standards of NFPA 1142 would be acceptable. At the time of this staff report, this issue was still under discussion between staff and the applicant. Staff will provide a recommendation regarding fire protection at the Planning Board meeting on May 22.

19.2.8 Utilities – The applicant proposes to extend the existing sewer line located on the Langdon Place of Keene property to Whitcomb's Mill Road and down the length of the proposed new road in order to provide sewer service to the new lots. The City of Keene has an easement on the Langdon Place of Keene property that allows for this extension to occur. Private wells are proposed to provide domestic water service. This standard appears to be met.

19.3.2 Dimensional Standards – The CRD Dimensional requirements for the Low Density 1 District are shown in Table 1 in the "Required" column, and the proposed dimensions of the tract and new lots are shown in the "Proposed" column. The tract of land that is the subject of this proposal and all of the proposed new lots appear to meet the minimum dimensional requirements.

The maximum number of dwelling units allowed within the CRD subdivision is determined by dividing the total area of the tract by the density factor per dwelling unit, which is 1 acre for the Low Density 1 District. Based on this calculation, the maximum number of dwelling units that could be permitted for this property is 12 units (12.42 ac/1 ac = 12). The Applicant proposes to create 8 lots, four of which could be developed into duplexes for up to 12 units total.

With respect to open space, the applicant proposes to permanently reserve 6.83 acres as open space, or 55% of the tract (50% required). In the project narrative, the applicant notes that the open space lot will be used for passive recreation and will be managed by a Homeowner's Association (HOA).

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Table 1. Dimensional requirements for CRD subdivision applications for the Low Density 1 District without city water.

			Required	Proposed
Tract	Perimeter building setback	Min tract size	5 acres	12.42 ac
		Min tract frontage	100 ft	762 ft
		From external roads	30 ft	30 ft
		From other tract boundaries	20 ft	20 ft
Lot	Min. Lot Area		16,000 sf	16,338 sf
	Min Road Frontage		40 ft	40 ft
	Min Lot Width at Building Line		75 ft	N/A*
	Min Front Setback		15 ft	15 ft
	Min Rear Setback		20 ft	20 ft
	Min Side Setback		10 ft	10 ft
	Max Building Coverage		35%	N/A*
	Max Impervious Coverage		40%	N/A*

*These dimensional requirements will be reviewed at the time a building permit is submitted.

19.3.3. Permitted Uses

The CRD Subdivision regulations allow single-family and two-Family dwellings in the Low Density 1 District. While no development is currently proposed, the Applicant proposes to create 8 residential lots, four of which could be developed as duplexes. The Applicant notes in the project narrative that the parcel reserved as open space will be used for passive recreation. Allowed open space uses include conservation, agriculture, forestry, and passive recreation.

19.3.5 Design Criteria

- A. General Criteria. This section states that all development shall be located outside of primary conservation areas, and shall minimize impact to any identified secondary conservation areas. Identified primary conservation areas for this property include surface waters and their buffers (intermittent stream, wetlands complex, and White Brook) and the floodway associated with White Brook. Steep slopes were also identified on the topographical survey; however, after conducting a site visit on May 11, the City Engineer has determined that these areas consist of stockpiled materials left over from previous uses on the site and are not natural features subject to the Hillside Protection Overlay District. The applicant submitted a Hillside Protection Conditional Use Permit (CUP) in case it is necessary to allow for regrading these steep areas; however, the City Engineer and Zoning Administrator have determined that a Hillside Protection CUP is not required for this proposal.

All of the surface waters and the floodway are located on the proposed open space lot with the exception of a small area of wetlands that are within the right of way of the proposed road. The applicant has submitted a Surface Water Protection CUP application for this impact. The 30-foot surface water buffer is located on several of the proposed residential lots, including Lots 1, 2, 6, 7, & 8. Any development that occurs on those lots will need to comply with the City's Surface Water Protection Overlay District.

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Secondary conservation areas on the site include the potential presence of a threatened species (the fringed gentian), an historic site (sawmill constructed in 1785), and stone walls located along the length of the western parcel boundary and sections of the eastern parcel boundary along Whitcomb's Mill Road. The applicant notes in the project narrative that the site was inspected by a botanist, and no evidence of the fringed gentian was found. The historic site and the stone walls are located within the open space land.

This standard also states that all structures shall be accessed from interior streets, rather than from roads bordering the perimeter of the tract. In addition, this section states *"in the event that a waiver of this standard is granted, shared driveways shall be incorporated where feasible."* The Applicant requests a waiver from this standard for Lot 8, which is proposed to have access from Whitcomb's Mill Road. The applicant notes in the project narrative that if Lot 8 is developed as a duplex, it will have a shared driveway. A driveway permit would be issued by the City Engineer's office at the time that development is proposed.

The written waiver request is included in the project narrative attached to this staff report . In making a determination whether or not to grant this waiver request, the Board should find by a majority vote that the criteria outlined in Section 25.10.14 of the LDC have been met:

- "1. Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations; and,*
- 2. Granting the waiver will not increase the potential for creating adverse impacts to abutters, the community or the environment; and,*
- 3. Consideration will also be given as to whether strict conformity with the regulations would pose an unnecessary hardship to the applicant."*

- B. Open Space Standards. These standards state that the area of land designated as open space shall not be used to site individual lots, construction of buildings, facilities for accessory uses, roads and other areas for vehicular traffic. This section further states that the open space reserve should not be fragmented, should be located adjacent to other open space or protected lands when possible, and should be reasonably accessible from each proposed lot.

The proposed open space lot is proposed to be located roughly in the center of the tract of land where the wetlands complex is located. The applicant also proposes to include a buffer strip around the outer edge of the tract in the open space land. The applicant notes that no development is proposed on the open space parcel, and that this parcel will only be used for passive recreation. However, the narrative also states that *"The applicant reserves the right to construct a fire pond within the existing wetland, subject to necessary pennits and approvals."* Construction of a fire pond in the open space parcel would not be an allowed use, and would require a waiver issued by the Planning Board. The open space lot could be accessed directly from each proposed house lot, from the adjacent rail trail via a proposed gravel path, or from Whitcomb's Mill Road.

- C. Open Space Ownership & Maintenance. This section requires that all land designated as open space shall not be further subdivided, and shall remain as open space in perpetuity. In addition, all designated open space must be permanently protected by covenants or easements, shall be deeded to and maintained by a Homeowners Association, a non-profit

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organization, or some other entity as approved by the Planning Board or its designee, and shall be held, managed and maintained by the developer until such time as they are transferred to the designated entity.

The applicant states in the project narrative that the open space land will be owned and managed by the Whitcomb's Mill Estates Homeowners Association. In accordance with Section 25.10.9.C of the Land Development Code, the applicant will be required to submit written documentation of any legal instruments required for the management of the designated Open Space land, and such documents will be subject to the review and approval of the City Attorney prior to signature by the Planning Board Chair. Staff have included this as a condition of approval in the recommended motion.

Application Analysis – Site Development Standards: The following is a review of the Site Development standards relevant to this application.

- 20.2 **Drainage & Stormwater Management:** Stormwater runoff from the new road is proposed to be directed into vegetated swales that will treat runoff and allow it to infiltrate into the ground. The cul-de-sac is proposed to be curbed, and stormwater runoff from this area will be directed into a stormwater detention basin. This detention basin will have an emergency overflow into the existing wetland. The applicant submitted a drainage report, which compares peak stormwater runoff for a 25-year rainfall event (4.88 inches) for pre- and post-development conditions. This report concludes that the proposed new road will not significantly change stormwater runoff post development.
- 20.3 **Sediment & Erosion Control:** The applicant proposed to use perimeter controls including silt fencing and a stabilized construction entrance to prevent sedimentation and siltation from leaving the site during construction. The location of the silt fencing is shown on the plan set, and a detail for the stabilized construction entrance is shown on Sheet C-7 of the plan set. This standard appears to be met.
- 20.4 **Snow Storage & Removal:** Snow is proposed to be stored around the perimeter of the road. If the road is accepted by City Council as a public road, snow removal will be handled by the City of Keene. This standard appears to be met.
- 20.5 **Landscaping:** No landscaping is proposed. The applicant intends to request a waiver from City Council from Section 22.3.16 of Article 22 of the Land Development Code, which requires at least one deciduous tree of at least 2-in caliper at planting every 50-ft on each side of any new street.
- 20.6 **Screening:** The applicant proposes to screen the development from Whitcomb's Mill Road and adjacent land uses with existing mature forest canopy that will be preserved as a buffer around the development and included in the open space lot. This standard appears to be met.
- 20.7 **Lighting:** No lighting is proposed. The applicant intends to request a waiver from City Council from Section 22.3.8 of Article 22 of the Land Development Code, which requires streetlights at all intersections and along the length of proposed public streets in all residential zoning districts.

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20.8 Sewer & Water: See "Utilities," above.

20.9 Traffic & Access Management: Access to seven of the eight developable lots within the development is proposed to be provided by a new dead-end public road. The applicant intends to seek a number of waivers from City Council for the design of this road, including the following sections of Article 22 of the Land Development Code:

- 22.3.4 to allow a dead end street that is greater than 750 feet in length
- 22.3.7 to allow a new residential street without a sidewalk
- 22.3.8 to allow a new residential street without street lighting
- 22.3.13 to allow a new street without installing telecommunications infrastructure
- 22.3.16 to allow a new street without street trees

Staff recommend a that approval of this application be conditioned upon the applicant obtaining all required waivers from City Council for the proposed street design, as well as initial acceptance of the layout of the new street and submittal of a security for the construction of the street prior to final approval. If the applicant is denied any of the required waivers, the street design and subdivision plan may need to be modified to meet city code. Subsequent to final approval, staff recommend a condition of approval for final acceptance of the new street by City Council after construction of the street is complete.

Access to Lot 8 is proposed to be provided directly from Whitcomb's Mill Road. The issuance of a driveway permit for this property would be handled through the City Engineer's Office. In the event that a duplex is constructed, the lot will utilize a shared driveway.

With respect to traffic generation, the applicant submitted a traffic analysis which states that 8 detached single family homes and 4 attached single family homes (i.e. two duplexes) would generate a total of 106 trips per day. This analysis concludes that the overall development is expected to generate approximately 8 vehicle-trips (1 arrival, 7 departures) during the AM peak hour period, and 10 vehicle-trips (6 arrivals, 4 departures) during the worst-case PM peak hour period. City Engineering staff did not express any concerns about this level of traffic generation, or its impact on the surrounding street network and nearby intersections and bridges. However, it should be noted that the one-way bridge on Whitcomb's Mill Road has weight limits and is not planned to be replaced. Any heavy equipment and/or heavy duty vehicles will be required to access the site from the south via NH Route 9.

20.10 Filling & Excavation: No filling or excavation is proposed within the wetlands or other surface water areas. Excavation / regrading of previously stockpiled materials associated with the former gravel pit is proposed in the area of the cul-de-sac and on Lot 5 to create a buildable area and stabilize man-made steep slopes that were created at the edge of the former gravel pit excavation area. The applicant notes that ~1200 cubic yards of material will be hauled to or from the site.

20.11 Surface Waters & Wetlands: The existing wetland system has been delineated by a certified wetlands scientist and identified as primary conservation areas. Nearly all of the wetlands on the parent parcel will be captured within the new open space lot. The required

STAFF REPORT

30 foot wetland buffer for these wetlands is shown on the plan. No development is proposed within the wetland buffer area.

Pursuant to Section 11.6 of the LDC, this proposal requires a Surface Water Protection Conditional Use Permit. The applicant has submitted a Surface Water CUP application, which is included as an attachment to this report. This application has been referred to the Conservation Commission for review at their meeting on Monday, May 15. Any feedback or recommendations from the Conservation Commission will be shared with the Planning Board at the May 22 Planning Board meeting.

20.12 Hazardous or Toxic Materials: This standard is not applicable.

20.13 Noise: The applicant states in the project narrative that no excessive noise will result from this proposal. This standard appears to be met.

20.14 Architecture & Visual Appearance: This standard does not apply as there is no development proposed at this time.

Recommended Motions: Recommended language for motions on this application will be provided at the May 22 Planning Board meeting.



City of Keene, NH

Conservation Residential Development (CRD) Subdivision Application

Conservation Residential Development (CRD) subdivisions are those consisting of 3 or more proposed lots and the layout and construction of a new road, where the existing parcel to be subdivided is located in either the Rural, Low Density, or Low Density-1 zoning districts, and meets the minimum lot size requirements specified in Article 19 of the Land Development Code (LDC).

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keene-nh.gov

SECTION 1: PROJECT INFORMATION	
PROJECT NAME: CRD Whitcomb's Mill Estates	NUMBER OF LOTS PROPOSED:
PROJECT ADDRESS(ES): 19 Whitcombs Mill Road	
SECTION 2: CONTACT INFORMATION	
NAME/COMPANY: Sandra R Henry Trust	NAME/COMPANY: Same as Owner
MAILING ADDRESS: PO Box 9 Keene NH 03431-0009	MAILING ADDRESS:
PHONE: 603-731-0555	PHONE: 603 731 6243
EMAIL: srhenry26@yahoo.com	EMAIL:
SIGNATURE: <i>Sandra R Henry</i>	SIGNATURE: <i>Sandra R Henry</i>
PRINTED NAME: SANDRA R. HENRY	PRINTED NAME:
NAME/COMPANY: James Phippard/Bickstone Land Use Consultants LLC	TAX MAP PARCEL #(S): 237-018-000-000-000
MAILING ADDRESS: 185 Winchester St Keene NH 03431	
PHONE: 603-357-0116	TRACT SIZE: 12.42 ac
EMAIL: jphippard@ne.rr.com	DATE STAMP:
SIGNATURE: <i>James Phippard</i>	ZONING DISTRICT: LD-1
PRINTED NAME: James P Phippard	PROJECT #: S-03-23





PROJECT NARRATIVE

12- UNIT CRD WHITCOMB'S MILL ROAD KEENE, NH

**April 14, 2023
Revised May 10, 2023**

SR Henry Trust is the owner of 12.42 acres of land on the west side of Whitcomb's Mill Road. The property is zoned LD-1 and is TMP 237-018-000. It has 762 feet frontage on Whitcomb's Mill Road and has access to city sewer via an easement to the existing city sewer across Whitcomb's Mill Road on the Langdon Place of Keene property. Private drinking water wells will be installed for each of the dwelling units. Overhead power and cable TV lines will be installed along the road with underground services extended into each house lot.

This property abuts the Cheshire Rail Trail along its south side. An active farm abuts the property to the west. Single family residential properties abut the property to the north, and to the east, and across Whitcomb's Mill Road is Langdon Place of Keene, a senior living facility.

A new city street (Brookfield Lane) will be constructed to provide access to four single family house lots and three duplex lots. A fourth duplex lot will be proposed along the existing frontage at Whitcomb's Mill Road which will require a waiver for a driveway directly from Whitcomb's Mill Road, rather than the proposed new road. Each single family house lot will be greater than 16,000 sf in size. The duplex lots will be greater than 32,000 sf in size.

Approximately 6.87 acres of open space land will be permanently preserved as part of this proposal. The open space includes a forested wetland area of approximately 1.9 acres and land along White Brook. A continuous forested strip varying in width from 20 feet to over 100 feet will be preserved in its natural state except for one driveway to Whitcomb's Mill Road and a planned footpath connection to the Cheshire Rail Trail.

CRD Dimensional Requirements for the LD-1 district without city water are summarized below:

Land	REQUIRED	PROVIDED
Min. Tract Size	5 acres	12.42 acres
Min Tract Frontage	100 feet	762 feet
Min. Lot Area	16,000 sf	>16,000 feet
Min. Road Frontage	40 feet	>40 feet
Min. Lot Width at Building Line	75 feet	>75 feet
Min. Front Setback	15 feet	15 feet
Min. Rear Setback	20 feet	20 feet
Min. Side Setback	10 feet	10 feet
Max. Building Coverage	35%	N/A
Max. Impervious Coverage	40%	N/A
Density, LD-1 w/o city water	1 acre per lot @ 12.42 acres	Up to 12 units on 8 lots (4 duplex units and 4 single family units)

Primary and Secondary Conservation Areas on the Tract

Primary conservation areas include White Brook which exists along the north side of this tract. There is also a forested wetland of 1.9 acres which is located primarily in the center of the lot. This area is fed by an intermittent stream coming from the south, under the Cheshire Rail Trail and discharging into the wetland area which ultimately discharges to White Brook.

Secondary conservation areas within the forested open space include a potential historic site along the brook which was believed to be the location of a sawmill constructed in 1785 by a man named Holbrook which was eventually owned by a Whitcomb. Thus, the name Whitcomb’s Mill Road. The NH Natural Heritage Bureau has also identified a threatened plant species, the fringed gentia which was believed to exist on or near this site in a wetland area at one time. We found no evidence of the fringed gentia during a site inspection by a local botanist. There are steep slopes along the south and west property lines that were created by the gravel pit operation. These areas will be part of the permanent open space and will not be disturbed.

Open Space Land

The 6.87 acre open space land includes a wetland in the center of the property and the forested perimeter land surrounding the proposed house lots. The open space land will be owned by the Whitcomb’s Mill Estates Homeowners Association. The open space land shall be used for passive recreation only including hiking, walking, fishing, snow shoeing, sledding, and other passive recreational uses. No motorized vehicles will be allowed except as necessary for maintenance. No tree cutting will be allowed except for dead or damaged trees which pose a safety hazard.

The applicant is proposing to construct a gravel footpath through a portion of the open space for a connection to the Cheshire Rail Trail at the southeast corner of the property, subject to approval of a license from the State of NH to allow the connection.

Fire protection for the proposed new homes will be provided with individual home fire sprinkler systems. The applicant reserves the right to construct a fire pond within the existing wetland, subject to necessary permits and approvals including a NHDES wetlands permit and a waiver from the Keene Planning Board. Each house lot has direct access to the open space land. A copy of the Open Space Covenants will be provided in the future.

Permitted Uses

Single family dwellings and two-family dwellings are permitted uses in the LD-1 district under Table 19-3 in the LDC.

Design Criteria

This proposal includes eight new building lots, four of which will be large enough to accommodate a duplex. Four lots are sized to accommodate one single family dwelling. Access to the proposed new building lots will be from the proposed new road with the exception of the access to Lot 8. Lot 8 is large enough to support a duplex and the access to this lot is proposed to be from Whitcomb's Mill Road. The final location for this driveway will be subject to approval from City staff at the time a driveway permit application is filed for Lot 8.

Waiver Criteria

A waiver is requested from section 19.3.5.A.3 to allow a shared driveway directly from Whitcomb's Mill Road to Lot 8.

1. ***Specific circumstances relative to the subdivision, or conditions of the land in such subdivision, indicate that the waiver will properly carry out the spirit and intent of the regulations:*** It is not possible to bring a driveway from the new road to the building site on Lot 8 without crossing the wetland area, or without crossing Lot 7 in close proximity to the building site on Lot 7, or without cutting through the forested buffer between Lot 7 and Whitcomb's Mill Road. The least disruptive impact is to allow a driveway straight in from Whitcomb's Mill Road and onto Lot 8. In the event a duplex is proposed, this will be a shared driveway.
2. ***Granting the waiver will not increase the potential for creating adverse impacts to abutters, the community or the environment:*** This portion of Whitcomb's Mill Road is straight and has good line of sight in both directions. The driveway to the existing single family home across Whitcomb's Mill Road is located to the north and will not conflict with a proposed new driveway location to Lot 8. The addition of a residential driveway in this location will not result in excess traffic and will not create a safety hazard.
3. ***Consideration will also be given as to whether strict conformity with the regulations would pose an unnecessary hardship to the applicant.*** Denial of the waiver would result in the loss of two potential building sites for the applicant. The shortfall in income would force

the applicant to significantly raise the cost of the remaining building sites which could jeopardize the feasibility of the entire project.

Small portions of the building sites include areas within the wetland buffer. A Surface Water Conditional Use permit is required to allow these areas within the proposed building sites. An application for the SWCUP has been filed.

The applicant plans to petition Keene City Council to accept the proposed new road (Brookfield Lane) as a city street. Waivers of several city street design standards will be requested, including no curbing, no streetlights, and no street trees.



City of Keene, NH
**Surface Water Protection
 Conditional Use Permit (CUP) Application**

If you have questions about how to complete this form, please call 603/352-5442 or email: communityplanning@keene-nh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME:
CRB Whitcomb's Mill Estates

PROJECT ADDRESS:
19 Whitcomb's Mill Road

SECTION 2: CONTACT INFORMATION

NAME/COMPANY:
Sandra R Henry Trust

NAME/COMPANY:
Same as Owner

MAILING ADDRESS:
PO Box 9 Keene NH 03431-0009

MAILING ADDRESS:

PHONE:
603-731-0555

PHONE:

EMAIL:
shenry26@yahoo.com

EMAIL:

SIGNATURE:
Sandra R Henry

SIGNATURE:

PRINTED NAME:
SANDRA R HENRY

PRINTED NAME:

NAME/COMPANY:
James Phippard/Brickstone Land Use Consultants

TAX MAP PARCEL ID:
037-018-000-000-000

MAILING ADDRESS:
185 Winchester St Keene NH 03431

PARCEL SIZE: 12.42 ac DATE/TIME:

PHONE:
603-357-0116

ZONING DISTRICT:

EMAIL:
jphippard@ne.rr.com

LD-1

SIGNATURE:
James P Phippard

PROJECT #:
S03-238



PRINTED NAME:
James P Phippard

SWP-CUP 0223

Conditional Use Permit Narrative

12 Unit CRD

Whitcomb's Mill Road

Keene NH

May 01, 2023



S-03-23 B
SWP-CUP-02-23

Conditional Use Permit Standards

11.6.2 A – This proposed use will avoid encroachment into the Surface Water Protection Overlay District.

The proposed subdivision is designed to avoid and preserve the existing jurisdictional wetlands while creating buildable areas for up to 12 dwelling units. The jurisdictional wetlands will become part of the permanent open space. It was necessary to include several areas of the wetland buffer in order to provide the necessary land areas to meet minimum lot sizes required by zoning. Most of the wetland buffer areas on building lots lie within setback areas and cannot be built on.

11.6.2 B – Encroachment into the buffer area has been minimized to the maximum extent possible.

The proposed subdivision layout is the minimum encroachment possible which allows the creation of building sites for up to 12 dwellings.

11.6.2 C – The nature, design, siting and scale of the proposed use and the characteristics of the site will avoid the potential for adverse impacts to the surface water resource.

The surface water resources on this site include White Brook along the north side of the site, a forested wetland in the center of the site, and an intermittent stream at the southeast side of the site. Forested open space land provides a buffer to protect White Brook from the developed area. The jurisdictional wetlands in the center of the site and the intermittent stream will become part of the permanent open space and protected from development. A small footpath is planned running parallel to the intermittent stream for access to the Cheshire Rail Trail. The footpath will meander through the existing trees and will be outside the wetland buffer.

11.6.2 D – The surface water buffer area shall be left in a natural state to the maximum extent possible.

All of the proposed open space land is intended to be left in a natural state as much as possible. Open space covenants are included in the Home Owners Association (HOA) documents requiring this. A small area along the downhill side of the proposed stormwater basin will require removal of a few trees to complete the grading outside the basin.

11.6.2 E –

1. Size, character and quality of the surface water –

White Brook is a small perennial stream flowing from west to east along the northern side of the site. The stream joins Black Brook approximately one mile east of the site and becomes Ash Swamp Brook.

The subdivision site is a former gravel pit 12.42 acres in size. The site was stripped of vegetation in the 1950's and 1960's and the sands and gravels were removed. The center of the site was excavated down to groundwater and was left as a small sedimentation basin and served to protect White Brook from sedimentation. The site was never reclaimed and re-vegetated but was left to grow fallow. The jurisdictional wetland in the center of the site is approximately 1.9 acres in size and collects stormwater from land areas south of the site through an intermittent stream and a stone culvert under the Cheshire Rail Trail. The wetland area is forested with saplings, small trees and scrub shrubs.

2. Location and connectivity relative to other surface waters –

White Brook is a small perennial stream flowing from west to east along the northern side of the site. The stream joins Black Brook approximately one mile east of the site and becomes Ash Swamp Brook. The wetland area on the site is located immediately south of White Brook and discharges water to the stream. The wetland area receives stormwater from offsite to the south via the intermittent stream.

3. Ecological and hydrological functions of the surface water –

The primary function of the forested wetland is stormwater retention and removal of sediments and nutrients before discharging stormwater to White Brook. Secondary functions include wildlife habitat primarily for birds and small animals.

4. Topography, slopes, soils and vegetation within the resource –

Most of the site slopes gently downward to the north at slopes of 8% or less. There are very steep slopes along the south and west property lines left over from the gravel pit operation. The remaining soils on the site are remnants of the former gravel pit and are classified as 22C Colton gravelly sandy loam. The vegetation at the site is mostly small trees and scrub shrub which grew fallow after the gravel pit ceased operation.

5. Role of the buffer in mitigating soil erosion, sediment and nutrient transport, groundwater recharge, flood storage, and flow dispersion -

Most of the existing wetland buffer lacks adequate vegetation to effectively prevent soil erosion or to filter sediment and nutrients. Stormwater currently sheet drains through the buffer areas and into the existing wetland. The wetland buffers do not provide a significant source for groundwater recharge, flood storage or flow dispersion.

6. Wildlife habitat or travel corridor –

The forested wetland and the land areas next to White Brook do provide wildlife habitat and a travel corridor for animals following the stream. Birds and small animals frequent this area and will benefit from preservation of the wetland as permanent space.

7. Stormwater runoff and potential to impact the surface water

resource – Stormwater runoff from the proposed new road will be collected and directed to a stormwater basin constructed in an upland area near the cul-de-sac. The basin is sized for a 25 year design storm and designed to collect sediments within the basin. Water overflowing the basin will discharge to a vegetated slope and eventually to the forested wetland. A stormwater report prepared by SVE Associates is attached.

8. Sensitivity of surface water resource to changes in the buffer zone -

As the house lots are developed the buffer areas will be stabilized with loam and vegetation. This will improve the ability of the buffers in these locations to filter stormwater runoff and protect the wetlands.

WHITCOMB'S MILL ESTATES

19 Whitcombs Mill Road, KEENE, NEW HAMPSHIRE

OWNER & APPLICANT:

Sandra R. Henry Trust

P.O. BOX 9
KEENE, NH 03431

APPROVED BY THE APPLICANT:

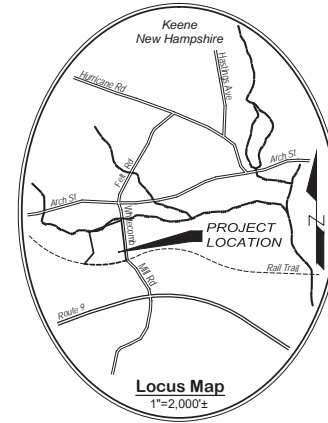
ON _____

INSPECTION PERMISSION: UPON APPROVAL OF THIS SITE PLAN, THE OWNER GRANTS PERMISSION FOR THE MEMBERS OR AGENTS OF THE KEENE PLANNING BOARD TO INSPECT THIS SITE AS NECESSARY.

APPROVED BY THE KEENE PLANNING BOARD

ON _____

CERTIFIED BY CHAIRMAN _____



INDEX OF PLANS

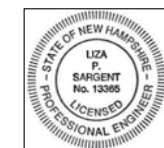
- N-1 NOTES AND LEGEND
 - *PLAN OF CRD SUBDIVISION (1" = 50')
 - *SUPPLEMENTAL SOILS AND TOPOGRAPHY PLAN (1" = 50')
 - S-1 EXISTING CONDITIONS PLAN (1" = 50')
 - C-1 SUBDIVISION PLAN (1" = 50')
 - C-2 PROPOSED ROAD PLAN (1" = 30')
 - C-3 PROPOSED SEWER PLAN (1" = 30')
 - C-4 PROPOSED SEWER PLAN (1" = 30')
 - C-5 PROPOSED SEWER PROFILE (1" = 30')
 - C-6 CONSTRUCTION DETAILS
 - C-7 CONSTRUCTION DETAILS
- *PLANS BY HUNTELY SURVEY & DESIGN, PLLC

Project K2740
PREPARED BY

Land Surveyor:
Huntley Survey & Design, PLLC
659 WEST ROAD
TEMPLE, NH 03084
www.huntleysurvey.com
PHONE (603) 924-1669

Civil Engineer:
SVE Associates
439 WEST RIVER ROAD
BRATTLEBORO, VT 05302
PHONE (802) 257-0561

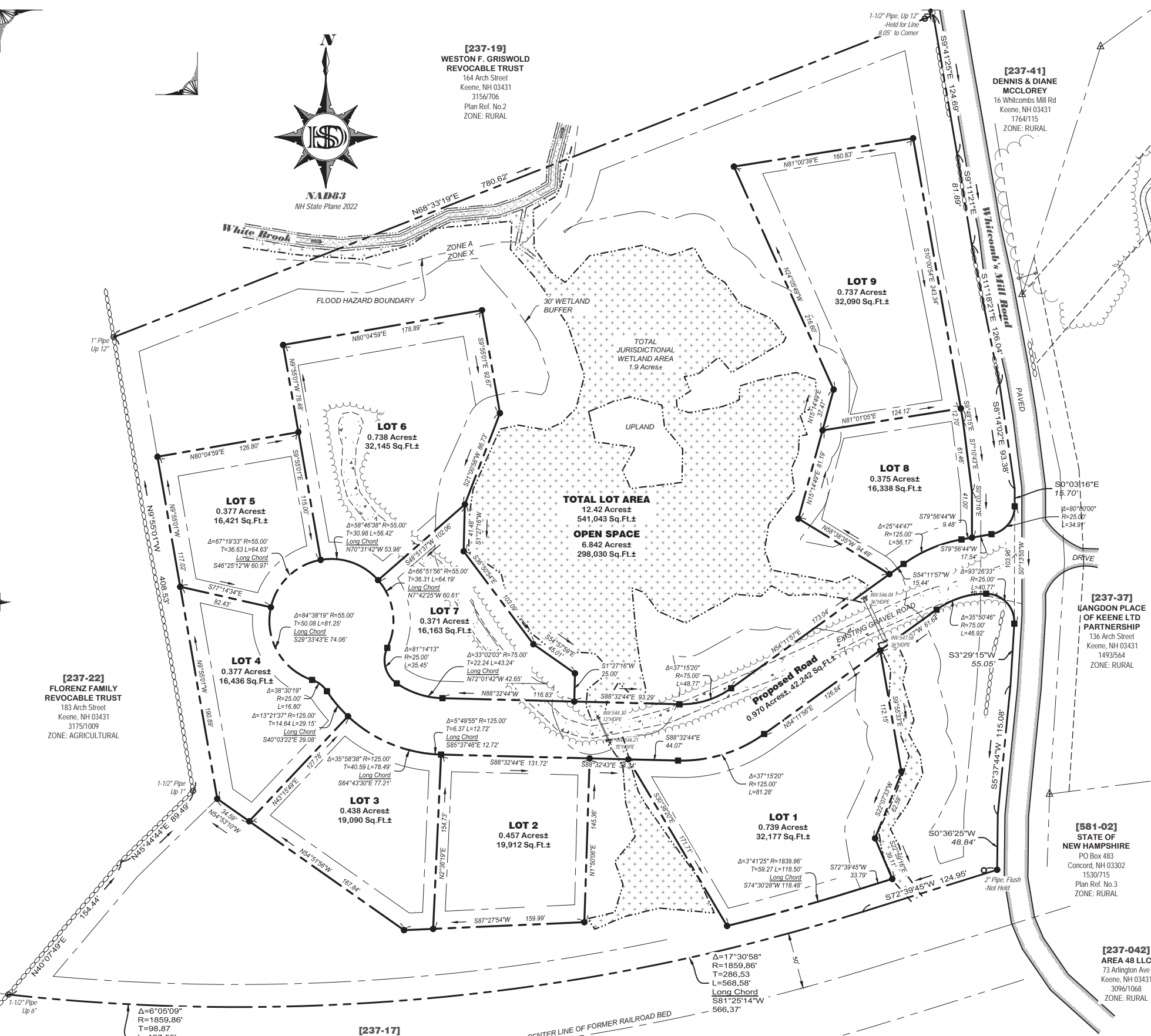
Development Consultant:
Brickstone Land Use Consultants
185 WINCHESTER ST.
KEENE, NH 03431
PHONE (603) 357-0116



Liza Sargent 5/4/23

LIZA P. SARGENT R.C.E. NUMBER: 13365 DATE

April 12, 2023
revised thru May 3, 2023

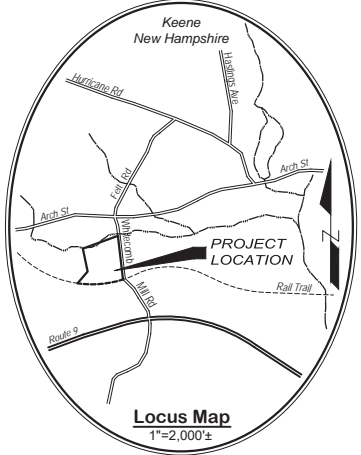


NO.	DATE	REVISION	BY

NO. DATE REVISION BY

[237-19]
WESTON F. GRISWOLD
REVOCABLE TRUST
 164 Arch Street
 Keene, NH 03431
 3156/706
 Plan Ref. No.2
 ZONE: RURAL

[237-41]
DENNIS & DIANE
MCCLUREY
 16 Whitcombs Mill Rd
 Keene, NH 03431
 1764/115
 ZONE: RURAL



ROW Notes

WHITCOMB MILLS ROAD - A CLASS V PUBLIC WAY. RE-SURVEYED 1836, Vol.1 Pg.53, 2 RODS WIDE. SIDELINES ARE SHOWN FROM A 16.5' OFFSET FROM THE TRAVELED WAY CENTERLINE AND CONFIRMED BY THE LOCATIONS OF STONEWALLS ALONG EITHER SIDE OF SAID ROAD.

Zoning Districts

LD-1 (LOW DENSITY 1)
REQUIREMENTS

MAX HEIGHT	# STORIES/#
LOT SIZE	1 ACRE
FRONTAGE	100/160' CUL-DE-SAC
LOT WIDTH	75'

BUILDING SETBACKS

FRONT	15'
SIDE	10'
REAR	20'

MAX BUILDING COVERAGE 30%
MAX IMPERMEABLE COVERAGE 35%

Overlay Districts

Surface Water Protection District:
 30' SETBACKS FROM SURFACE WATERS
 10' WITH CU PERMIT

Hillside Protection District:
 PRECAUTIONARY - SLOPES BETWEEN 15 & 25%: 20,000 SF MAXIMUM DISTURBANCE
 PROHIBITIVE - SLOPES 25% OR GREATER : NO BUILDING OR IMPROVEMENTS

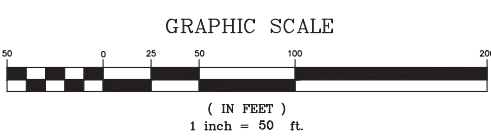
SEE CITY OF KEENE LAND DEVELOPMENT CODE CONCERNING ADDITIONAL REQUIREMENTS PERTAINING TO PARCEL.

Plan References

- REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS
- PRELIMINARY SUBDIVISION PLAN OF LAND, SANDRA R. HENRY TRUST, TAX MAP 237-LOT 18, 19 WHITCOMBS MILL ROAD, KEENE, NH, DATED MAY 29, 202, BY CHRISTOPHER PATON, PATON LAND SURVEYING (Obtained from Client and used with permission of Surveyor).
 - SUBDIVISION PLAN OF LAND OWNED BY WESTON & NANCY GRISWOLD, WHITCOMBS MILL ROAD, KEENE, NH, DATED APRIL 18, 1987, BY WAYNE MCCUTCHEON ASSOC. (CCRD)
 - RIGHT OF WAY AND TRACK MAP, FITCHBURG R.R. CO., OPERATED BY THE BOSTON & MAINE R.R., VALUATION SHEET V 39 NH/35.

Notes

- THE BEARINGS SHOWN ON THIS PLAN IS/ARE REFERENCED TO NAD83 NH STATE PLANE GRID, BASED THE DATUM STATED ON PLAN REFERENCE No.1.
- THE PERIMETER BOUNDARY LINES SHOWN ON THIS PLAN ARE SHOWN FROM PLAN REFERENCE No.1. INTERIOR LINES WERE CALCULATED BY THIS OFFICE.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM PLAN REFERENCE No.1. THEIR EXISTENCE AND LOCATIONS MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY CHRIS SPAULDING OF ECO ENVIRONMENTAL SOLUTIONS, LLC DURING THE MONTH OF APRIL, 2021 USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2.
- PORTIONS THE PARCEL(S) SHOWN ARE LOCATED IN ZONE A AND ARE WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 33005C0262E EFFECTIVELY DATED MAY 23, 2006.
- THE SUBDIVISION REGULATIONS OF THE CITY OF KEENE ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



Surveyor's Certification
 PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS PLAT WAS PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.



APPROVED BY THE KEENE PLANNING BOARD

BY _____ CHAIRMAN
 AND _____ SECRETARY
 ON _____

[581-02]
STATE OF NEW HAMPSHIRE
 PO Box 483
 Concord, NH 03302
 1530/715
 Plan Ref. No.3
 ZONE: RURAL

Owner of Record
SANDRA R. HENRY TRUST
 PO Box 9
 Keene, NH 03431

TOTAL AREA
 12.42 Acres±
 541,043 Sq.Ft.±
 764' Frontage

Plan of CRD Subdivision

LAND OF Sandra R. Henry Trust
 located at
 Tax Map 237 Lot 18
 19 Whitcombs Mill Road, Keene, Cheshire County, New Hampshire
 Book 2060, Page 599

Scale 1"= 50'

Surveyed See Note 1 Plan prepared 03/24/2023
 Project No. H23-007 Cad File No. H23-007 CRD.dwg

Owner Certification
 I CERTIFY THAT I AM THE CURRENT OWNER OF THE TRACTS SHOWN HEREON AND THAT I APPROVE OF THE SUBDIVISION.

OWNER'S SIGNATURE _____ DATE _____

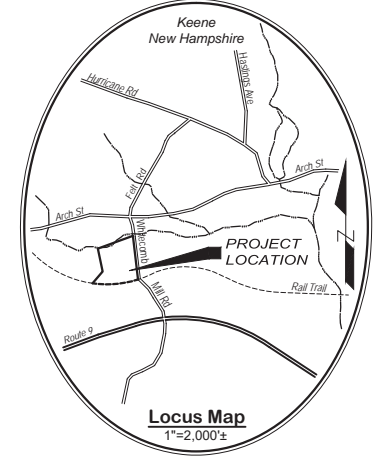
Symbol Legend

○	UTILITY POLE	○	STONE WALL
○	IRON PIN/PIPE	—	EDGE OF WATER
○	CAPPED 5/8" REBAR	—	TREE LINE
●	5/8" REBAR WITH CAP (SET)	—	EDGE OF PAVEMENT
■	4" X 4" GRANITE MONUMENT	—	EDGE OF GRAVEL
CCRD	CHESHIRE REGISTRY OF DEEDS	—	EDGE OF WETLANDS
[1-2-3]	TAX MAP PARCEL NUMBER	Ⓞ	SOILS TYPE KEY LETTER
12/3/456	DEED VOLUME & PAGE		

[237-016]
EASTWOOD PROPERTIES LLC
 43 Daniels Hill Road
 Keene, NH 03431
 2658/775
 ZONE: RURAL

[237-17]
STATE OF NEW HAMPSHIRE
 PO Box 483
 Concord, NH 03302
 1530/715
 Plan Ref. No.3
 ZONE: RURAL

NO.	DATE	REVISION	BY



Soils Key

22C	COLTON GRAVELLY SANDY LOAM	8-15% SLOPES
29B	GRAVEL PITS	

Zoning Districts
LD-1 (LOW DENSITY 1) REQUIREMENTS

MAX HEIGHT	# STORIES/#
LOT SIZE	1 ACRE
FRONTAGE	100/160' CUL-DE-SAC
LOT WIDTH	75'

BUILDING SETBACKS

FRONT	15'
SIDE	10'
REAR	20'

MAX BUILDING COVERAGE 30%
MAX IMPERMEABLE COVERAGE 35%

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 - TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LIDAR SURVEY AND MAPPING OBTAINED FROM <http://lidar.unh.edu/map/>. THE VERTICAL DATUM IS NAVD 88. CONTOUR INTERVAL IS TWO (2) FEET.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM PLAN REFERENCE No.1. THEIR EXISTENCE AND LOCATIONS MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
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 - SOILS LINES AND TYPES SHOWN HEREON WERE OBTAINED FROM NRCS WEB SOIL SURVEY ONLINE PROGRAM, SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT [HTTPS://WEBSOILSURVEY.SC.EGOV.USDA.GOV/](https://websoilsurvey.sc.egov.usda.gov/), ACCESSED MARCH 24, 2023.
 - THE SUBDIVISION REGULATIONS OF THE CITY OF KEENE ARE A PART OF THIS PLAT AND APPROVAL OF THIS PLAT IS CONTINGENT ON COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

Overlay Districts
Surface Water Protection District:
30' SETBACKS FROM SURFACE WATERS
10' WITH CU PERMIT

Hillside Protection District:
PRECAUTIONARY- SLOPES BETWEEN 15 & 25%: 20,000 SF
MAXIMUM DISTURBANCE
PROHIBITIVE - SLOPES 25% OR GREATER : NO BUILDING OR IMPROVEMENTS

SEE CITY OF KEENE LAND DEVELOPMENT CODE CONCERNING ADDITIONAL REQUIREMENTS PERTAINING TO PARCEL.

Surveyor's Certification
PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS PLAT WAS PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.



APPROVED BY THE KEENE PLANNING BOARD

BY _____ CHAIRMAN
AND _____ SECRETARY
ON _____

**Supplemental Soils and Topography Plan
Plan of CRD Subdivision**

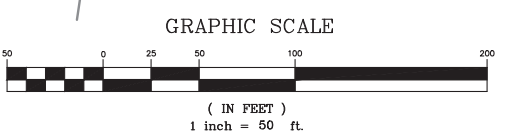
LAND OF
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located at
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Scale 1"= 50'

Surveyed See Note 1 Plan prepared 03/24/2023
Project No. H23-007 Cad File No. H23-007 CRD.dwg

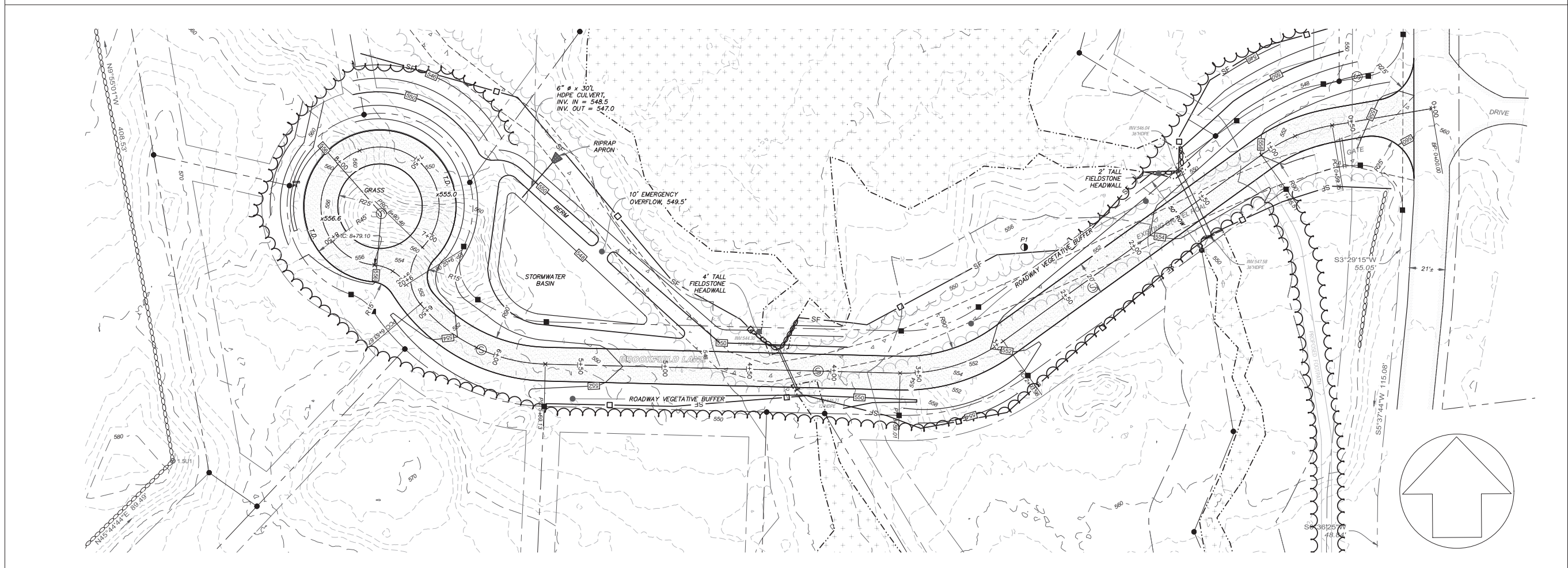
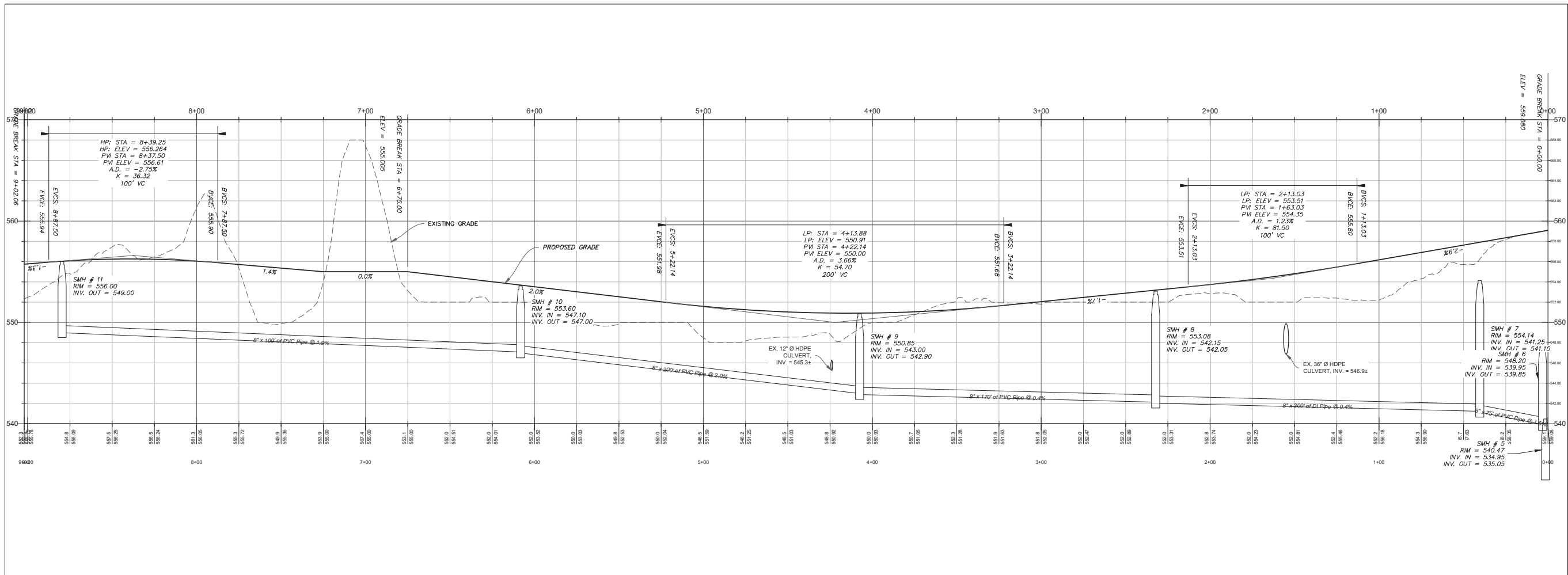
Huntley Survey & Design, PLLC
NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

NO.	DATE	REVISION	BY



Symbol Legend

○	UTILITY POLE	○	STONE WALL
○	IRON PIN/PIPE	—	EDGE OF WATER
●	CAPPED 5/8" REBAR	—	TREE LINE
●	5/8" REBAR WITH CAP (SET)	—	EDGE OF PAVEMENT
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■	TAX MAP PARCEL NUMBER	—	SOILS TYPE KEY LETTER
■	DEED VOLUME & PAGE		



Liza P. Sargent 5/4/23
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

PLANNER:

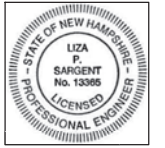
 Brickstone Land Use Consultants, LLC
 Site Planning, Permitting and Development Consulting
 155 Winchester Street, Keene, NH 03431
 Phone: (603) 357-0116

NO.	REVISION	DATE	CHK	LPS
1	PB STAFF COMMENTS	03-MAY-23		

Engineering
 Planning
 Landscape Architecture
 Surveying
 SVE Associates
 P.O. Box 1818
 439 West River Road
 Brattleboro, VT 05302
 T 802.257.0561
 F 802.257.0721
 www.sveassoc.com

PROPOSED ROAD PLAN
 WHITCOMB'S MILL ESTATES
 SANDRA R HENRY TRUST
 19 WHITCOMB'S MILL ROAD
 KEENE, NEW HAMPSHIRE

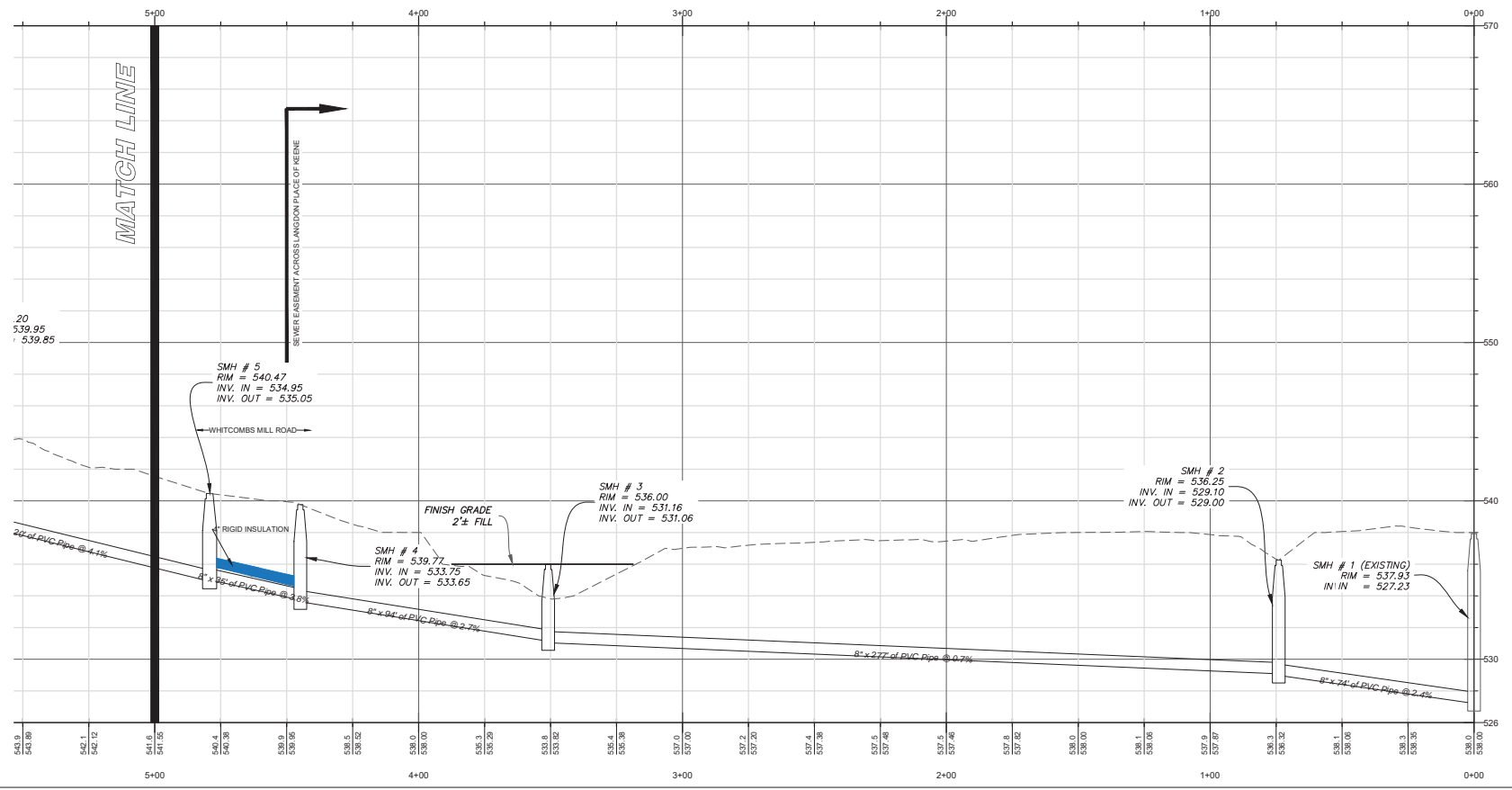
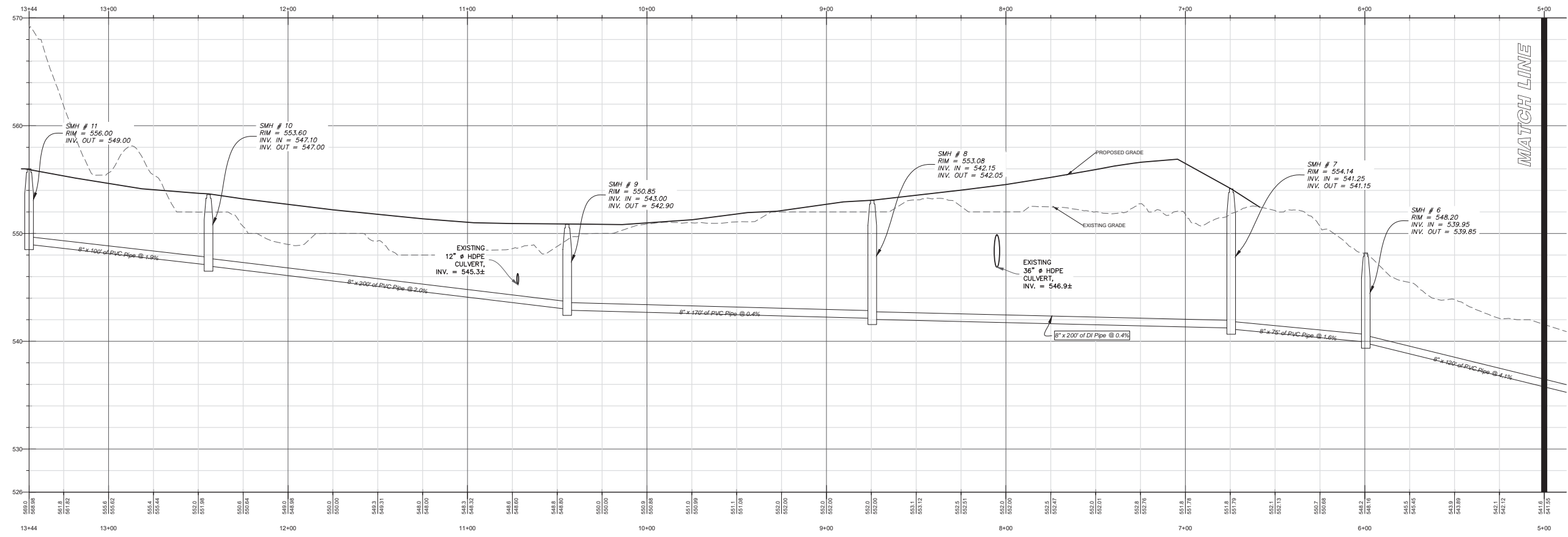
0 15 30 60
 HORIZONTAL GRAPHIC SCALE 1" = 30'
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 VERTICAL GRAPHIC SCALE 1" = 5'
 PROJ. # K2740
 DATE: 12-APR-23
 DESIGN: LPS SHEET
 DRAWN: AJG
 CHECKED: LPS
C-2
 42 of 105



Liza Sargent 5/4/23
 LIZA P. SARGENT DATE
 R.C.E. NUMBER: 13365

PLANNER:
Brickstone
 Land Use Consultants, LLC
 Site Planning, Permitting and Development Consulting
 185 Winchester Street, Keene, NH 03431
 Phone: (603) 357-0116

NO.	REVISION	DATE	DWN	CHK
1	PB STAFF COMMENTS	03-MAY-23	LPS	LPS



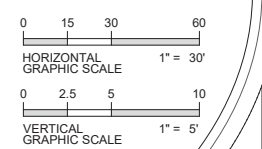
SVE ©2023

Engineering
 Planning
 Landscape Architecture
 Surveying

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 439 West River Road
 Brattleboro, VT 05302
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 F 802.257.0721
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PROPOSED SEWER PROFILE

WHITCOMB'S MILL ESTATES
 SANDRA R. HENRY TRUST
 19 WHITCOMB'S MILL ROAD
 KEENE, NEW HAMPSHIRE



PROJ. #:
K2740
 DATE:
 12-APR-23

DESIGN: LPS
 DRAWN: AJG
 CHECKED: LPS
C-5
 45 OF 105

MEMORANDUM

Ref: 2247A

To: James Phippard
Brickstone Land Use Consultants, LLC

From: Stephen G. Pernaw, P.E., PTOE

Subject: Proposed Conservation Residential Development
Keene, New Hampshire

Date: February 13, 2023

As requested, Pernaw & Company, Inc. has conducted this “trip generation analysis” for the proposed Conservation Residential Development (CRD) project that will be located on the west side of Whitcomb’s Mill Road in Keene, New Hampshire. The subject site is located directly across from the Langdon Place of Keene driveway (see Figure 1). Available traffic count data was also researched at the NHDOT. The purpose of this memorandum is to summarize the available count data and the trip generation analyses for the subject site. To summarize:

Proposed Development – The development proposal involves the construction of eight single-family dwelling units and two duplexes, for a total of 12 dwelling units (see Attachment 1). Vehicular access to/from eleven dwelling units will be provided via a new full-access private site access road that will intersect the west side of Whitcomb’s Mill Road directly across from the Langdon Place of Keene driveway. One dwelling unit will have driveway access via Whitcomb’s Mill Road. The private access road for the proposed units will be maintained by the Home Owners Association. Whitcomb’s Mill Road is a relatively narrow local road, and there is a one-lane bridge where it crosses over White Brook. The Whitcomb Mill Road approaches to NH9 and Arch Street operate under stop sign control.

Existing Traffic Volumes – Research at the NHDOT revealed that a short-term NHDOT traffic count was conducted on Whitcomb’s Mill Road approximately 550-feet to the north of the proposed private road in August 2021. This section of the Whitcomb’s Mill Road carried an estimated Annual Average Daily Traffic (AADT) volume of approximately 806 vehicles per day (vpd) in 2021, up slightly from 784 vpd in 2019. As an aside, the 2020 AADT (681 vpd) clearly shows the effects of the ongoing pandemic (see Attachment 2).

The 2021 hourly traffic volume data revealed that weekday volumes on Whitcomb’s Mill Road typically reached peak levels from 7:00 to 8:00 AM and from 5:00 to 6:00 PM (see Attachment 3). The diagrams on Page 3 summarize the daily and hourly variations in traffic demand on this section of the street. The historical count data summarized on Page 4 shows that the AADT traffic volumes in 2021 are significantly lower than occurred in 2015 (approximately half).



 = AUTOMATIC TRAFFIC RECORDER LOCATION (NHDOT)

NORTH 

2247A

Figure 1

Site Location

Traffic Evaluation, Proposed Conservation Residential Development, Keene, New Hampshire

Drainage Summary

for

Whitcomb's Mill Estates 19 Whitcomb's Mill Road, Keene, NH

**Prepared by SVE Associates
April 11, 2023
Revised May 3, 2023**

A comparison of peak stormwater runoff for the 25-year rainfall events in the post-development conditions was completed by SVE Associates using HydroCad 10.0 software. The storm event used in the model was Type III, 24-hour storm with the following rainfall depths for Keene, NH:

25 Year Event: 4.88 inches

OVERVIEW:

This project will consist of developing the 19 Whitcomb's Mill Road property, constructing a 20' wide, 900' long road, with cul-de-sac, constructing an extension of the City sewer main from the existing sewer manhole behind Langdon Place to the proposed cul-de-sac. Each lot will have its own individual drilled well for potable water.

EXISTING CONDITIONS:

The existing condition of this property is a former gravel pit, with an existing gravel access road and two existing culverts. There is a wetland complex, approximately 1.9 acres in size, that drains to White Brook. Currently stormwater runoff sheet flows generally from the south to the north, and the two wetlands on the south side of the existing gravel access road, flow through the existing 12" and 36" diameter culverts to the wetland on the north side of the access road, and eventually flow into White Brook.

PROPOSED CONDITIONS:

The proposed conditions, modeled in the "Post-Development" drainage model, consist of the proposed 20' wide road with cul-de-sac. Once developed, most of the stormwater runoff will sheet flow off the proposed access road and infiltrate into the existing ground. The cul-de-sac will be curbed and sheet flow to the proposed stormwater detention basin. Should the emergency overflow be utilized, the overflow will discharge overland for 40+/- feet before reaching the manmade wetland. Vegetated roadside buffers will be maintained within the right-of-way to treat stormwater runoff.

SVE Associates

Engineering * Surveying * Landscape Architecture * Planning
P.O. Box 1818, Brattleboro, VT 05302 Phone: (802) 257-0561 Fax (802) 257-0721 E-mail svek@sveassoc.com
P:\Project\NH PROJECTS\K2740 Brickstone-Whitcombs Mill Subdivision\Hydrocad\K2740 Drainage Summary PB.doc

	25 year	
	<i>Existing</i>	<i>Proposed</i>
	<i>Runoff (cfs)</i>	<i>Runoff (cfs)</i>
<i>Summary Node 100R</i>	0.38	0.94

CONCLUSION:

There will be no adverse impact to downstream abutters due to stormwater runoff from the proposed road. Overall, there is no significant change in stormwater runoff post development, the total runoff is less than 1 cfs from the site in the 25-year storm event.



SVE Associates

STAFF REPORT

SPR-06-23 – Site Plan – Roosevelt School Housing – 438 Washington Street

Request:

Applicant Monadnock Affordable Housing, on behalf of owner Community College System of New Hampshire, proposes to renovate the existing ~13,507 sf, 2-story school building; construct a ~8,548 sf 2-story addition; and construct a ~12,646 sf 2-story building with associated site improvements to create a 60 unit multi-family housing development on the property at 438 Washington St. (TMP #531-054-000). A waiver is requested from Sec. 20.14.3.D of the Land Development Code regarding the requirement that all off-street parking be screened and located to the side or rear of buildings. This site is 2.4 ac and is located in the Low Density District.

Background:

The Roosevelt School is located at 438 Washington Street, on the corner of Washington Street and Woodbury Street. The property is surrounded by residential uses on all sides. Formerly a public middle school, the property is currently owned by the Community College System of NH and used as office and classroom space.

The application proposes to redevelop the property into a 60-unit, multi-family development, owned and operated by Keene Housing. The proposal includes the demolition of the existing gymnasium, the renovation of the existing school building with a new addition, and the construction of a new free-standing building to the rear of the existing school building. Site improvements will include sidewalks, playground, community garden, new parking surface and area, landscaping, and underground utilities.

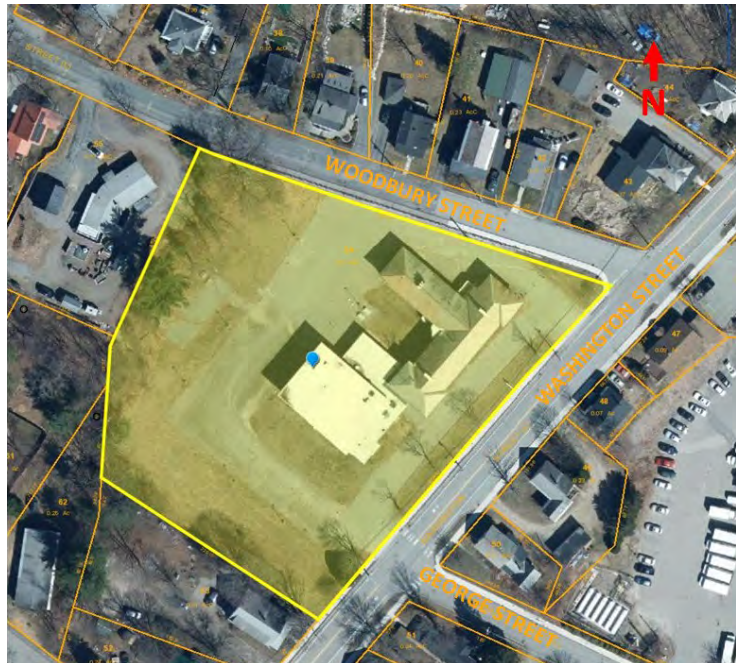


Fig 1: 438 Washington Street - Aerial

The development will be broken up into two phases. Phase one will consist of the demolition of the gymnasium, the renovation of the remaining school building, and the construction of an 8,548 sq. ft. 2-story building addition with 30 dwelling units. In addition to the renovation and addition, site improvements such as parking, driveways, dumpster enclosure, utilities, and stormwater management facilities will also be installed. Phase two will consist of the construction of a 12,676 sq. ft., 2-story building with 30 additional dwelling units. Staff became aware of the change in proposed phasing of this project the day the agenda packets were distributed to the Board. This is why the application notice and submitted materials differ from the described phasing above.

The proposal received two Variances from the Zoning Board of Appeals. The first Variance was to allow multi-family housing where multi-family housing is not a permitted use. The second Variance was to allow building lot coverage to exceed 35% of the lot area, impervious surface to exceed 45% of the lot area, and to provide less than 55% of the lot area as green/open space.

STAFF REPORT

A waiver is requested from Sec. 20.14.3.D of the Land Development Code regarding the requirement that all off-street parking be screened and located to the side or rear of buildings.

Completeness:

The applicant requests an exemption from submitting a screening analysis. After reviewing the request, staff has determined that exempting the applicant from submitting this information would have no bearing on the merits of the application and recommends that the Planning Board grant this exemption and accept the application as “complete.”

Application Analysis: The following is a review of the Planning Board development standards relevant to this application.

- 20.2 **Drainage:** The submitted drainage report states that proposed stormwater management controls will consist of a closed drainage system that includes catch basins, roof drains, and an underground infiltration vault. The vault is designed to overflow treated stormwater into the existing municipal stormwater system that runs along Washington Street. The report notes that the site is proposed to be raised 3 ft. – 4 ft. along the southern property line, however, the overall topography of the site will not be significantly altered and will not change stormwater patterns. The report concludes that peak stormwater flow will remain onsite and not impact off-site systems or downslope properties. It further states that the post-development peak flow rates and volumes will be less than the existing flow rates and volumes as a result of the proposed stormwater improvements. It appears that this standard has been met.
- 20.3 **Sediment & Erosion Control:** The Erosion Control Plan depicts the usage of tracking pads at the construction entrances and inlet protection around the existing and proposed catch basins. Sediment control logs are proposed along the southern and western property lines and along the Washington Street frontage to prevent silting off site. The plan also includes notes for temporary slope stabilization as needed during construction. It appears that this standard has been met.
- 20.4 **Snow Storage & Removal:** The applicant has a note on the Site Plan that snow on the site will be collected and hauled away as needed. It appears that this standard has been met.
- 20.5 **Landscaping:** The submitted Landscape Plan depicts the installation of 33 shade trees, 234 shrubs & bushes, and 68 perennials & annuals for a total of 525 plantings. Planting details have been submitted that appear to meet best practices. No invasive species are proposed to be installed on site. Protective fencing is shown around existing trees that will remain on the site. It appears that this standard has been met.
- 20.6 **Screening:** The submitted Landscape Plan depicts the usage of flowering evergreen shrubs along the Washington Street public right-of-way to provide screening for the proposed parking area and drive aisle. Sugar maples are proposed along the Woodbury Street public right-of-way and will provide screening for the development via the tree canopy due to the grade difference between the property and Woodbury Street.

A 6 ft. stockade fence is proposed along the southern property line to screen the parking area from the abutting residential property. The applicant states in their narrative that the fence and proposed evergreen shrubs will prevent light trespass from vehicle headlights onto the abutting property. The fence will continue to the western property line for additional screening to the western abutter. The existing woodland area will remain for additional screening.

STAFF REPORT

A dumpster enclosure is proposed to be located to the south of the proposed new building. The enclosure will be a 6 ft. stockade fence on a concrete slab with protective bollards. The enclosure will be large enough to accommodate two five-yard dumpsters. It appears that this standard has been met.

- 20.7 Lighting: The Light Plan depicts the proposal to install 8 pole mounted light fixtures and 23 wall mounted light fixtures. The pole mounted fixtures will be 15 ft. tall, and the wall mounted fixtures will be installed between 10 ft and 15 in height. All proposed fixtures will have a CRI of 80 and a color temperature of 3,000k. All fixtures are full cut-off LEDs. It appears that this standard has been met.
- 20.8 Sewer & Water: The applicant states in their narrative that they intend to utilize municipal water and sewer utilities located under Washington Street. A 4 in. domestic water service and 8 in. sewer service are proposed for each building. A separate 8 in. water service is proposed for fire protection and will feed into the proposed fire hydrant as well as the buildings for the proposed sprinkler system. An average sewer flow calculation has been submitted to Engineering for review and estimates that the redevelopment will generate 9,686 GPD of effluent into the City's sewer system. Engineering believes there is sufficient capacity in the existing sewer system to accommodate the proposed flow. It appears that this standard has been met.
- 20.9 Traffic & Access Management: The proposed development intends to utilize the two existing site access points along Washington Street. The northern site access point will operate as an enter only pattern and the southern site access, across from George Street, will operate as both an entrance and exit pattern. The submitted Traffic Study states that the proposed development will generate approximately 60 more vehicle trips over a 24-hour period, however, both the AM and PM peak hour trips will be less than the previous community college use. The proposed development will generate 34 AM trips and 28 PM trips during their respective peak hours. The report states that a development that generates fewer than 50 vehicle trips per hour is considered to be low-volume traffic generator.

The applicant received a Special Exception from the Zoning Board of Adjustment to allow for less than one parking space per dwelling unit in lieu of the two parking spaces per dwelling unit that is normally required. The development proposes 70 parking spaces, with 4 accessible parking spaces. The submitted Traffic Study includes a parking evaluation based on a parking census that was conducted at several multi-family properties of similar size to the proposed development. The average parking demand was determined to be .51 parking spaces per unit. The report states that the proposed 70 parking spaces for 60 dwelling units is more than sufficient to meet the anticipated demand for parking in the development.

A Truck Turning Exhibit was prepared to demonstrate that emergency service vehicles can navigate safely throughout the site. The exhibit utilizes the City of Concord, NH's Tower 1 ladder truck as the template vehicle. The exhibit shows that the fire truck can enter and exit the site from the southern, two-way site access. The truck can navigate into the parking area behind the school building and then back out towards the dumpster enclosure to turn around. It appears that this standard has been met.

STAFF REPORT

- 20.10 Filling & Excavation: The applicant states in their narrative that filling and excavation operations are anticipated to be consistent with other construction projects of similar size. Excavation will be required to install building foundations, utilities, and stormwater facilities. Fill material will be brought in to construct the parking lots. The subject property is located on Washington Street and has direct access to NH RT 10 to the north and NH RT 101 to the south. It appears that this standard has been met.
- 20.11 Surface Waters & Wetlands: There are no surface waters or wetlands on the site. This standard is not applicable.
- 20.12 Hazardous & Toxic Materials: The applicant states in their narrative that a Phase I Environmental Site Assessment was prepared by the Nobis Group in December 2022. The assessment revealed a Recognized Environmental Condition associated with a dry-cleaning facility located at 9 Griffin Street. A soil gas assessment is scheduled for May 17th to rule out any potential soil gas contamination from the dry-cleaning facility.
- A hazardous building material assessment was conducted for the existing building. The applicant further states in their narrative that all identified hazardous building materials will be abated during the demolition process by a licensed abatement contractor. No other hazardous or toxic materials are anticipated to be found or stored on site. It appears that this standard has been met.
- 20.13 Noise: The applicant states in their narrative that the development is expected to be a low-volume traffic generator and is unlikely to increase noise levels in the neighborhood. It is also noted that Keene Housing anticipates that many of the residents in the proposed dwelling units will be elderly and/or persons with disabilities. Keene Housing has many similar housing developments, and none have been found to generate enough noise to disturb neighboring residents. It appears that this standard has been met.

STAFF REPORT

- 20.14 **Architecture & Visual Appearance:** The applicant states in their narrative that careful attention will be taken to historically restore and preserve the exterior of the portion of the Roosevelt school that will remain. The main front door will be constructed to mimic what was the original front door to the building. Historically appropriate windows and trim will be utilized.

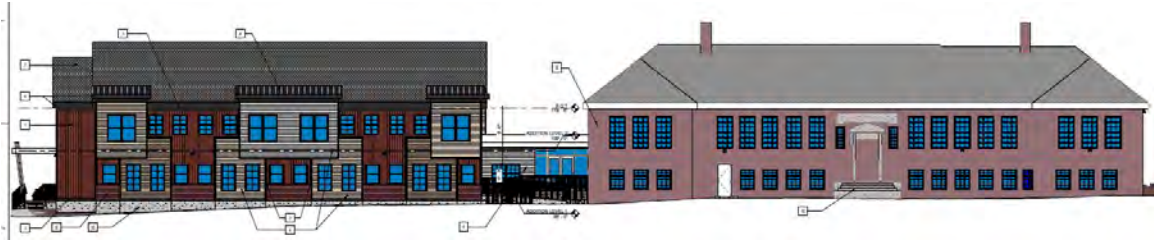


Fig 2: School building & addition, east facade – Phase 1

The exterior façade of the new construction will consist of vinyl board & batten, PVC trim, brick cladding, and vinyl clapboard. The applicant states in their narrative that, “The exterior of the building façade has been articulated to create an undulating pattern of mixed siding materials including board and batten, horizontal siding, trim and colors.” The Board will need to determine if this standard has been met.



Fig 3: New building east façade – Phase 2

The Board should take note of the following specific Architectural & Visual Appearance standards, in addition to the other standards in this section, when determining if the proposed elevations meet the Board’s standards:

20.14.2 Visual Interest

- A. *“Front facades and exterior walls shall be articulated to express an architectural identity to avoid a uniform appearance, and architectural details shall give the impression of being integral to and compatible with the overall design.”*
- B. *“Structures shall have architectural features (e.g. dominant gable ends, cornices, granite sills, arched openings, large windows framed with architecturally consistent trim, etc.) and patterns that provide visual interest at the pedestrian scale, reduce massive aesthetic effects, and harmonize with the City’s distinctive architectural identity, unique character, and prevailing scale.”*
- D. *“Architectural features shall conform to accepted architectural principles of design and construction.”*
- G. *“Exterior materials, textures, and colors shall minimize visual aggressiveness and shall harmonize with the City’s distinctive architectural identity and unique character. Surfaces with glossy finishes, reflective glass or dark tinted exteriors, or untreated aluminum, stainless steel, or metal exterior finishes shall be discouraged.”*

STAFF REPORT

The applicant has requested a waiver from Section 20.14.3.D of the Land Development Code regarding the requirement that all off-street parking be located to the side or rear of buildings. The applicant has stated in their waiver request that due to the fact that the property is a corner lot and the proposal includes the preservation of a portion of the existing school building, locating the proposed parking only to the side and rear of the buildings on the site would be a hardship.

The Planning Board may grant a waiver from strict compliance with provisions of the Site Development Standards in Article 20 or site plan review standards in Section 25.12, on a case by-case basis, so long as the Board finds, by majority vote, that:

- 1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or*
- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.*

The Board will need to determine if the waiver request meets the above criteria.

STAFF REPORT

Recommended Motions for Waivers:

If the Board is inclined to grant the requested waiver, the following language is recommended for a motion:

Waiver Request: “Grant a waiver from Section 20.14.3.D of the Land Development Code regarding the requirement that all off-street parking be located to the side or rear of buildings.”

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

“Approve SPR-06-23 as shown on the plan identified as “Roosevelt School Housing 438 Washington Street Keene, NH” prepared by Nobis Group at a scale of 1 in. = 30 ft. dated April 12, 2023 and last revised May 8, 2023 and the architectural elevations prepared by Warrenstreet Architects at a scale of 1/8 in. = 1 ft. dated May 8, 2023 with the following conditions:

1. Prior to final approval and signature by the Planning Board Chair, the following conditions precedent shall be met:
 - A. The owner’s signature shall appear on the plan set.
 - B. Submittal of a security for sedimentation and erosion control, landscaping, and “as built” plans in a form and amount acceptable to the City Engineer.
 - C. Submittal of five full size paper copies and one digital copy of the final plan.
 - D. A copy of the NHDES Sewer Connection permit shall be submitted to the Department of Public Works.
 - E. A copy of the soil gas assessment shall be submitted to the Community Development Department.
 - F. Percolation tests for the proposed stormwater management system shall be conducted and their results submitted to the City Engineer for review and approval.
2. Subsequent to final approval and signature by the Planning Board Chair, the following conditions shall be met:
 - A. Prior to the commencement of site work, an Excavation Permit and Utility Connection Permit shall be obtained from the Department of Public Works.
 - B. Prior to the commencement of site work, the Community Development Department shall be notified when all erosion control measures are installed and the Community Development Director, or their designee, shall inspect the erosion control measures to ensure compliance with this site plan and all City of Keene regulations.”



City of Keene, NH Site Plan Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keene-nh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Roosevelt School Housing		TYPE OF APPLICATION BEING SUBMITTED: <input checked="" type="checkbox"/> MAJOR PROJECT APPLICATION <input type="checkbox"/> MINOR PROJECT APPLICATION	
PROJECT ADDRESS(ES): 438 Washington Street, Keene NH 03431			
EXISTING OR PREVIOUS USE: School/Classrooms		PROPOSED USE: Multi-family Housing	
GROSS FLOOR AREA OF NEW CONSTRUCTION (in square feet)	Bldg = 29,590 SF Total Lot Coverage = 67,642 SF	GROSS FLOOR AREA OF EXISTING BUILDINGS/STRUCTURES (in square feet)	Bldg = 13,507 SF Total Lot Coverage = 46,412 SF
AREA OF PROPOSED NEW IMPERVIOUS SURFACES (In square feet)	21,230 SF	TOTAL AREA OF LAND DISTURBANCE (In square feet) 98,000 SF	

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER	APPLICANT
NAME/COMPANY: Matt Moore/ Community College System of NH	NAME/COMPANY: Joshua Meehan / Monadnock Affordable Housing
MAILING ADDRESS: 28 College Drive, Concord NH 03301	MAILING ADDRESS: 831 Court Street, Keene, NH 03431
PHONE: 603-230-3565	PHONE: 603-283-5447
EMAIL: memoore@ccsnh.edu	EMAIL: jmeehan@keenehousing.org
SIGNATURE: 	SIGNATURE:
PRINTED NAME: Matthew Moore	PRINTED NAME: Joshua Meehan

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:
NAME/COMPANY: Chris Nadeau / Nobis Group	TAX MAP PARCEL #(s): 531-054-000-000-000
MAILING ADDRESS: 18 Chenell Drive, Concord NH 03301	-----
PHONE: 603-724-6227	PARCEL SIZE: 2.4 acres
EMAIL: cnadeau@nobis-group.com	ZONING DISTRICT: Low Density
SIGNATURE: 	DATE STAMP:
PRINTED NAME: Chris Nadeau	PROJECT #: SPR-06-23



nobis

Roosevelt School Housing
438 Washington Street
Keene, NH 03431
Tax Map 531 Lot 054

Project Narrative

The approximate 2.4-acre subject site (Site) is located at 438 Washington Street in Keene, New Hampshire, catalogued as Tax Map 531 Lot 54 within the Low Density (LD) District. The Site is currently developed with a 2-story brick building, associated parking (bituminous pavement and gravel surface), basketball court, sidewalks, and utilities. The Site is primarily used by the Community College of New Hampshire for classrooms and offices for the institution. The Site abuts both Washington Street and Woodbury Street and is bound by residential communities to the north, south, east, and west.

The proposed development consists of the demolition of the gymnasium associated with the existing brick building and the construction of two multi-family housing buildings, landscape areas, parking, sidewalks, playground area, community garden, associated underground utilities, and stormwater controls. Access to the site will remain the same with two driveways off Washington Street. The proposed development will be constructed in two phases. Phase 1 consists of the partial demolition of the existing building, the renovation of the existing building, and the construction of an approximate 8,548 SF 2-story building addition(s) with 30 units. Phase 2 will consist of the construction of a 12,676 SF, 2-story building with 30 units, parking, driveways, dumpster enclosure, utilities, and stormwater controls.

Site Development Standards

Section 20.2 Drainage & Stormwater Management: Stormwater controls are proposed within this Site consisting of a closed drainage system that includes catch basins, field inlets, drainage manholes, roof drains, and a subsurface infiltration gallery that will overflow treated stormwater into the existing drainage system within Washington Street. The Site will be raised approximately 3-4' along the south property line, however, the overall topography of the Site will not be significantly altered and will not change existing stormwater patterns.

Section 20.3 Sediment & Erosion Control: Prior to construction the site will have sediment and erosion controls installed. The design and placement of all erosion and sediment control measures



will comply with the standards and practices contained in the most recent version of the NH Department of Environmental Services NH Stormwater Manual. These controls will consist of two (2) construction entrance tracking pads, inlet protection on existing and proposed catch basins, sediment logs downgradient of proposed disturbances, and Erosion control matting on slopes of 3:1 or steeper.

Section 20.4 Snow Storage & Removal: Consistent with other Keene Housing properties, all snow will be removed from the site using heavy equipment to allow the continued safe passage of vehicles into, out of, and through all travel lanes and parking areas.

Section 20.5 Landscaping: A landscape plan has been prepared listing primarily Native and drought resistant plant materials. Island and planting beds are called out to be mulch. The ratio and spacing of deciduous shade trees exceed the minimum standards based on the required ratio of parking spaces and impervious parking area.

Section 20.6 Screening: A staggered evergreen edge based on perimeter boundary length has been shown along the east side yard (Washington Street) and south property edges to screen vehicular light trespass as required by the ordinance. The strategy and plant count were reviewed by staff and adjusted per their comments.

Section 20.7 Lighting: Lighting consists of Lithonia D-Series LED fixtures mounted on 15-foot poles with external glare shields and programmable controls for dimming, photocell and motion detection. Exterior building lighting consists of Lithonia WDGE1 LED wall sconces with motion detection. Lighting has been designed to limit light trespass across property boundaries to less than 0.1 footcandles and 1.0 footcandles at Right-of-Way boundaries.

Section 20.8 Sewer & Water: Water and Sewer services have been designed to connect to the municipal systems within Washington Street. Fire service for each building has been designed with an 8-inch ductile iron pipe also servicing an on-site fire hydrant. Domestic water service for each building has been designed with a 4-inch ductile iron pipe. Fire and domestic services will be independently connected to the municipal water main and will have shut-off valves for each. Sewer has been designed as an 8-inch SDR-35 PVC gravity pipe with manholes at changes in direction or grade. The new service will be connected to an existing sanitary manhole in Washington Street. The project will require a Sewer Connection Permit from the New Hampshire Department of Environmental Services.



Section 20.9 Traffic & Access Management: A Traffic and Parking Study was prepared by Stephen G. Pernaw & Company on February 16, 2023 and is attached with the application. The study concluded that the project will generate fewer trips than the existing community college during the weekday peak hours, but slightly more trips on the average weekday basis. The projects is characterized by Mr. Pernaw as a low-volume traffic generator since it generates less than 50 vehicle-trips/hour and is less intensive than the previous community college. Mr. Pernaw also concluded that the proposed parking supply of 70-spaces exceeds the anticipated parking demand by a comfortable margin. Access to the site will be similar to the current use, with a one way entrance at the north end of the site and a two way driveway at the south end of the site, opposite George Street.

Section 20.10 Filling & Excavation: Filling and Excavation is expected to be consistent with any other construction project of similar size. Excavation will be required to install building foundations, utilities and stormwater controls. Filling will consist of import of select material to construct parking lots. There is no blasting or rock removal anticipated.

Section 20.11 Surface Waters & Wetlands: There are no surface waters or wetlands on or adjacent to the site.

Section 20.12 Hazardous & Toxic Materials: A Phase I Environmental Site Assessment was prepared by Nobis Group on December 22, 2022 which identified a Recognized Environmental Condition associated with a dry cleaning facility cross-gradient to the property (9 Griffin Street) with an identified groundwater plume including exceedances of TCE above the NHDES vapor intrusion standard. As a result Nobis recommended a soil gas assessment be performed to rule out any potential soil gas contamination from the dry cleaning facility. The assessment is scheduled for May 17th.

A hazardous building material assessment was conducted for the existing building. All identified hazardous building materials will be abated during the demolition process by a licensed abatement contractor.

No other hazardous or toxic materials are anticipated to be stored on site, other than normal household cleaners/products.

Section 20.13 Noise: Each of the two phases will have 22 1-bedroom apartments and 8 two-bedroom apartments, for a total of 60 apartments when the entire site has been completed. All



apartments will be occupied by low- and moderate-income households. Although there will be no age or disability requirements, Keene Housing expects that most of the apartments will be occupied by elderly or disabled persons. As noted in the traffic section, the project is expected to be a low-volume traffic generator so vehicle traffic is unlikely to increase the noise level in the neighborhood. Keene Housing has many similar housing developments, and none have been found to generate enough noise to disturb neighboring residents.

Section 20.14 Architecture & Visual Appearance: Careful attention has been taken to historically restore the exterior appearance of the Roosevelt school with appropriate windows and trim. The main front stair will be constructed to mimic what was originally the front door to the building. The addition to the school will be located in the current location of the school gym which will be razed.

The architectural vernacular of the Phase I addition and phase II freestanding building to the rear of the property will ultimately house 60 one and two-bedroom apartments. The exterior of the building facade has been articulated to create an undulating pattern of mixed siding materials including board and batten, horizontal siding, trim and colors. We believe the proposed building elevations meet the City of Keene's desire to have a facade that provides a respectful and appropriate reflection of the street patterns along Washington and Woodbury Streets.

Approved Variances

The site has three (3) approved variances with the Zoning Board of Adjustment (ZBA). These variances are:

- Article 3.3.5 To allow multifamily housing use where multifamily housing is not a permitted use.
- Article 3.3.3 To allow buildings which cover more than 35% of the lot, impervious surfaces of more than 45% coverage and less than 55% green/open space.
- Article 9.2.6, 9.2.7 A special exception from the parking requirements to allow less than 2 spaces per unit.

Since the above approvals, the building footprint increased therefore the applicant went before the zoning board at their last meeting (May 1st, 2023) for this additional increase in lot coverage and was approved.



nobis

May 8, 2023
File No. 100569.000

City of Keene
Planning Department
Evan J. Clements, AICP - Planner
3 Washington Street
Keene, New Hampshire 03431

Re: Site Plan Application SPR-06-23
Roosevelt School Housing Development
438 Washington Street, Keene, NH
Map 531, Block 54

Dear Evan:

On behalf of Monadnock Affordable Housing, we are submitting the following waiver request in response to comments provided in a Memorandum dated April 28th, 2023.

Section 20.14.3: Site Design and Relationship to Surrounding Community: *“All required off-street parking shall be to the side or rear of buildings on the proposed site, and such parking shall be screened or aligned in accordance with Section 9.4.”*

1. *Strict Conformity would pose an unnecessary Hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations.*

The property is a corner lot and has street frontage on two sides so placing all parking to the rear or side would be a hardship. The existing school building is being preserved and currently has parking in front of the building. If all parking was required to be in the rear and side, the existing building would need to be demolished and reconstructed closer to Washington Street to support the number of housing units proposed.

2. *Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.*



The property is located on the corner of Woodbury and Washington Streets. The existing school building is being repurposed and currently has parking along Washington Street. The proposed site plan shows landscaping/screening between the parking and Washington Street. The property is located on the low side of an 8-10 foot tall retaining wall along the Woodbury Street boundary providing a buffer between the Right-of-Way and any parking/driveways.

- 3. In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur.*

If you have questions or require additional information, please contact us at (603) 224-4182 or cnadeau@nobis-group.com.

Sincerely,

NOBIS GROUP®

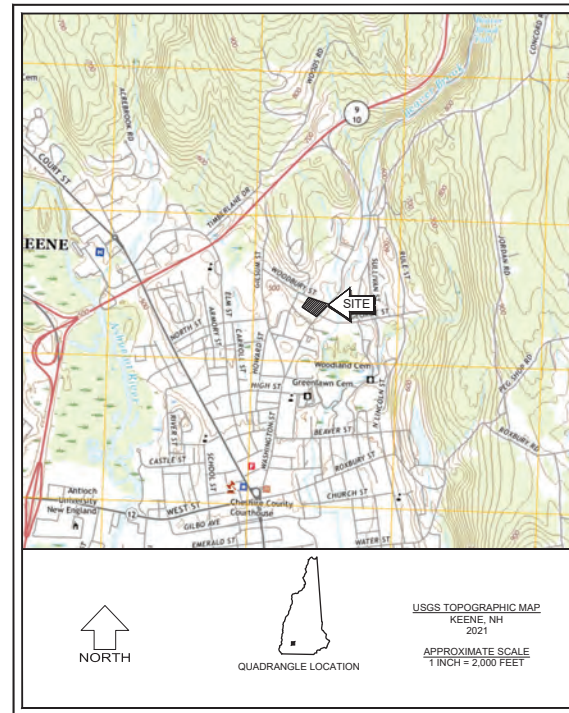
A handwritten signature in blue ink, appearing to read 'J. Chris Nadeau'.

J. Chris Nadeau, PE
Director, Commercial Services

ROOSEVELT SCHOOL HOUSING

438 WASHINGTON STREET
KEENE, NH

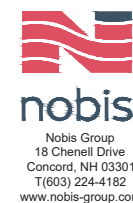
SITE ENGINEER
NOBIS GROUP - CONCORD, NH
ARCHITECT
WARRENSTREET ARCHITECTS- CONCORD, NH
SURVEYOR
RICHARD D. BARTLETT & ASSOCIATES- CONCORD, NH
LANDSCAPE ARCHITECT
WARRENSTREET ARCHITECTS- CONCORD, NH
SITE LIGHTING
VISIBLE LIGHT - HAMPTON, NH
TRAFFIC ENGINEER
STEPHEN G. PERNAW & COMPANY, INC - CONCORD, NH
OWNER
MONADNOCK AFFORDABLE HOUSING CORP.
AN AFFILIATE OF KEENE HOUSING - KEENE, NH



APRIL 12, 2023
REVISED MAY 8, 2023

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I.D.	NO.	DRAWING NAME
CS		COVER SHEET
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S-1	2	EXISTING CONDITIONS PLAN
S-2	3	CONDOMINIUM PLAN
C-1	4	DEMOLITION PLAN
C-2	5	PROPOSED SITE PLAN
C-3	6	GRADING AND DRAINAGE PLAN
C-4	7	UTILITY LAYOUT PLAN
C-5	8	EROSION CONTROL PLAN
C-6	9	CONSTRUCTION DETAILS
C-7	10	CONSTRUCTION DETAILS
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L-1	15	LIGHTING PLAN
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NOBIS PROJECT NO. 100569.000

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
SUBJECT PROPERTY LINE	SUBJECT PROPERTY LINE	DRAIN MANHOLE	DRAIN MANHOLE
OTHER PROPERTY LINE	OTHER PROPERTY LINE	CATCH BASIN	CATCH BASIN
SETBACKS	SETBACKS	UTILITY POLE	UTILITY POLE
EASEMENT	EASEMENT	PAD MOUNTED TRANSFORMER	PAD MOUNTED TRANSFORMER
STONE WALL	STONE WALL	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
RETAINING WALL	RETAINING WALL	SANITARY SEWER CLEAN-OUT	SANITARY SEWER CLEAN-OUT
EDGE OF WETLAND	EDGE OF WETLAND	HYDRANT	HYDRANT
STREAM / RIVER	STREAM / RIVER	WATER VALVE	WATER VALVE
TREE LINE	TREE LINE	WATER SHUT OFF	WATER SHUT OFF
CHAIN LINK FENCE	CHAIN LINK FENCE	WATER SUPPLY WELL	WATER SUPPLY WELL
STOCKADE FENCE	STOCKADE FENCE	GAS SHUT OFF	GAS SHUT OFF
GUARDRAIL (STEEL)	GUARDRAIL (STEEL)	GAS METER	GAS METER
GUARDRAIL (WOOD)	GUARDRAIL (WOOD)	X 100.0	X 100.0
		X 100.0	X 100.0
CENTERLINE	CENTERLINE	X 100.0	X 100.0
		X 100.0	X 100.0
EDGE OF GRAVEL	EDGE OF GRAVEL	X 100.0	X 100.0
		X 100.0	X 100.0
EDGE OF PAVEMENT	EDGE OF PAVEMENT	X 100.0	X 100.0
		X 100.0	X 100.0
SGC	SGC	SLOPED GRANITE CURB	SLOPED GRANITE CURB
VGC	VGC	VERTICAL GRANITE CURB	VERTICAL GRANITE CURB
VCC	VCC	VERTICAL CONCRETE CURB	VERTICAL CONCRETE CURB
BCC	BCC	BITUMINOUS CONCRETE CURB	BITUMINOUS CONCRETE CURB
CC	CC	CONCRETE CURB	CONCRETE CURB
CCB	CCB	CAPE COD BERM	CAPE COD BERM
TD	TD	TIP DOWN	TIP DOWN
100	100	MAJOR CONTOUR	MAJOR CONTOUR
98	98	MINOR CONTOUR	MINOR CONTOUR
D	D	DRAIN LINE	DRAIN LINE
RD	RD	ROOF DRAIN	ROOF DRAIN
UD	UD	UNDER DRAIN	UNDER DRAIN
FD	FD	FOUNDATION DRAIN	FOUNDATION DRAIN
>	>	SWALE FLOW DIRECTION	SWALE FLOW DIRECTION
X	X	SILT FENCE / WATTLE	SILT FENCE / WATTLE
OHW	OHW	OVERHEAD UTILITY WIRE	OVERHEAD UTILITY WIRE
UGE	UGE	UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
T	T	UNDERGROUND TELECOM	UNDERGROUND TELECOM
S	S	SANITARY SEWER LINE	SANITARY SEWER LINE
SS	SS	SANITARY SEWER SERVICE	SANITARY SEWER SERVICE
FM	FM	SANITARY SEWER FORCE MAIN	SANITARY SEWER FORCE MAIN
W	W	WATER LINE	WATER LINE
WS	WS	WATER SERVICE	WATER SERVICE
G	G	GAS LINE	GAS LINE
ST	ST	STEAM LINE	STEAM LINE
FO	FO	FIBER OPTIC LINE	FIBER OPTIC LINE
		ZONING BOUNDARY LINE	ZONING BOUNDARY LINE
		FLOOD ZONE LINE	FLOOD ZONE LINE

GENERAL NOTES:

- THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT TITLED "STORMWATER MANAGEMENT REPORT FOR ROOSEVELT SCHOOL HOUSING, 438 WASHINGTON STREET, KEENE, NH" DATED APRIL 12, 2023 PREPARED BY NOBIS GROUP.
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF ROOSEVELT VILLAGE CONDOMINIUM", DATED JANUARY 24, 2023, BY RICHARD D. BARTLETT & ASSOCIATES LLC.
- THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR MONADNOCK AFFORDABLE HOUSING, CORP. AN AFFILIATE OF KEENE HOUSING, FOR REVIEW BY THE CITY OF KEENE PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON-SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.

EROSION CONTROL NOTES:

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.

ALL SWALES AND PONDS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BEGIN IN THE SPRING 2024 WITH A FINAL COMPLETION DATE IN FALL 2026. NO WINTER EARTH DISTURBANCE IS EXPECTED FOR THIS PROJECT. SHOULD WINTER WORK BE REQUIRED, THIS PLAN AND THE ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE MODIFIED ACCORDINGLY.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.

- * DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- * NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- * PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- * WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- * WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- * AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- * REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE
THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- * PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- * BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- * INSTALL PERMANENT STORM DRAIN SYSTEM.
- * INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- * REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- * PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING, TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
 4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

CONSTRUCTION SHALL BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

EXCAVATION DEWATERING: SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

STORMWATER POLLUTION PREVENTION PLAN:
THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
WINTER RYE 80 (MIN.)	80 (MIN.)	85
RED FESCUE (CREEPING) 4 (MIN.)	4 (MIN.)	80
PERENNIAL RYE GRASS 3 (MIN.)	3 (MIN.)	90
RED CLOVER	3 (MIN.)	90
OTHER CROP GRASS	0.5 (MAX.)	
NOXIOUS WEED SEED	0.5 (MAX.)	
INERT MATTER	1.0 (MAX.)	

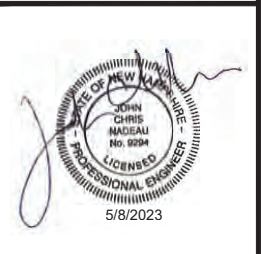
PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES:

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 2:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.



NOT ISSUED FOR CONSTRUCTION

ROOSEVELT SCHOOL HOUSING

438 WASHINGTON STREET
KEENE, NH 03431

APPLICANT:
MONADNOCK AFFORDABLE HOUSING, CORP., AN AFFILIATE OF KEENE HOUSING, 831 COURT STREET, KEENE, NH 03431

OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE, 28 COLLEGE DRIVE, CONCORD, NH 03301

NO.	DATE	DESCRIPTION
1	05/08/2023	RESPONSE TO CITY COMMENTS

REVISIONS

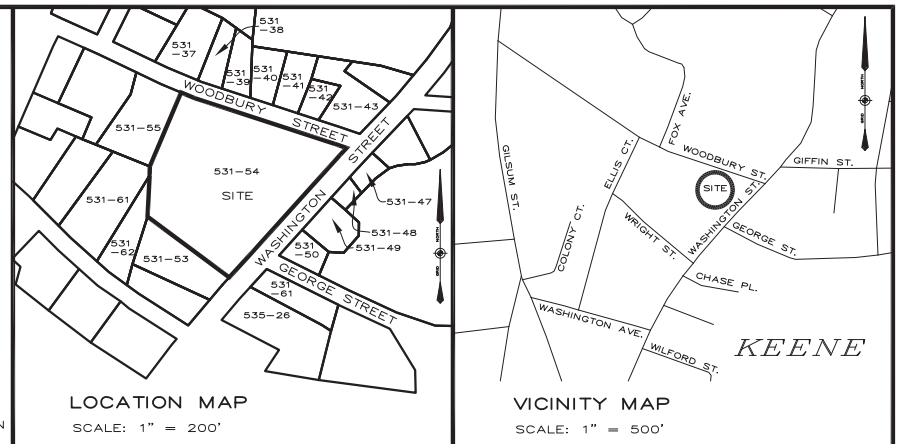
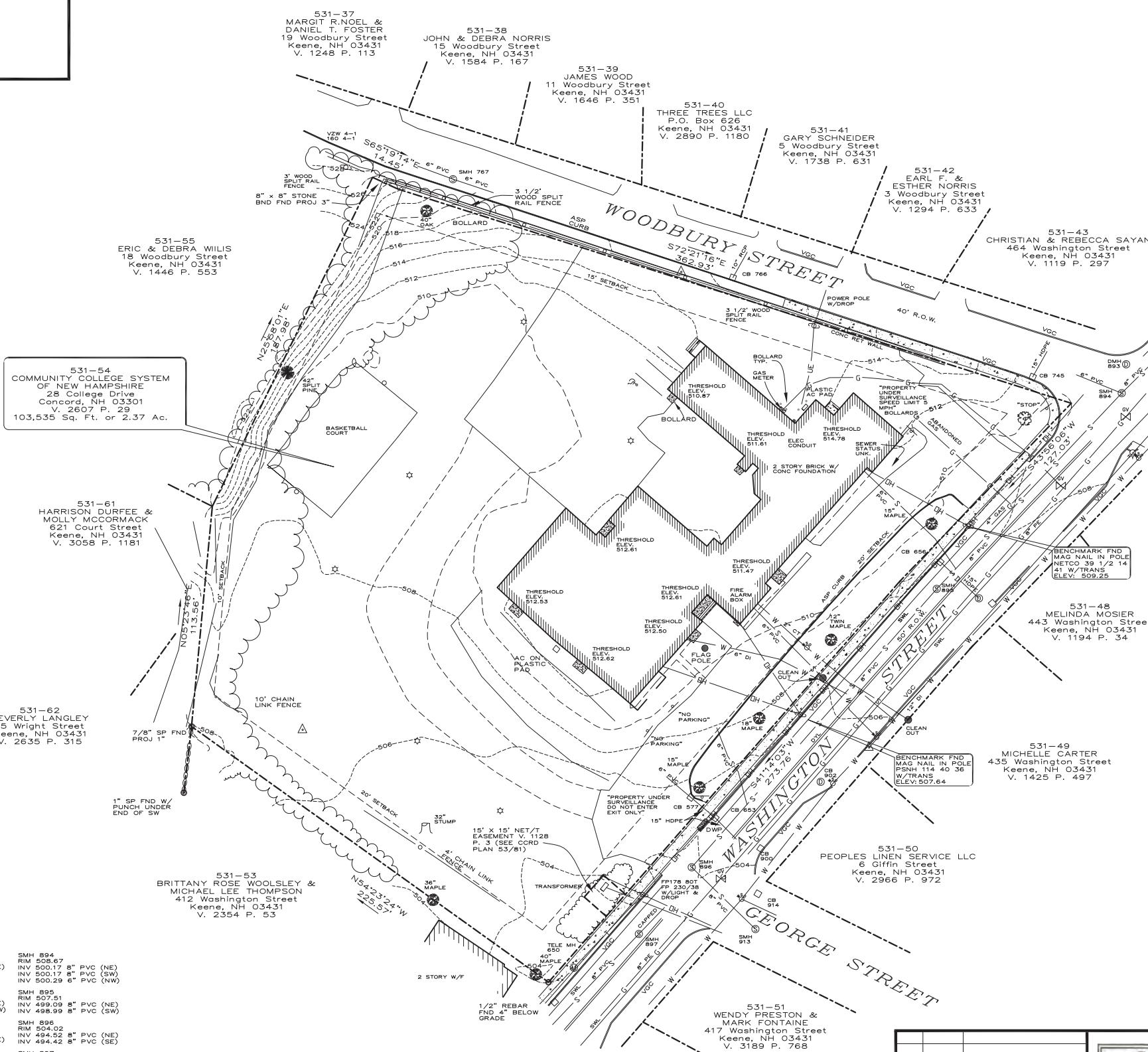
SCALE:
AS NOTED

DATE: APRIL 12, 2023
 NOBIS PROJECT NO. 100569.000
 DRAWN BY: EAL/MGD
 CHECKED BY: JCN
 CAD DRAWING FILE: 100569.000-C-005-NOTES & LEGEND.dwg

SHEET TITLE

GENERAL NOTES & LEGEND

SHEET
G-1



531-54
COMMUNITY COLLEGE SYSTEM
OF NEW HAMPSHIRE
28 College Drive
Concord, NH 03301
V. 2607 P. 29
103,535 Sq. Ft. or 2.37 Ac.

531-61
HARRISON DURFEE &
MOLLY MCCORMACK
621 Court Street
Keene, NH 03431
V. 3058 P. 1181

531-62
BEVERLY LANGLAY
15 Wright Street
Keene, NH 03431
V. 2635 P. 315

531-53
BRITTANY ROSE WOOLSLEY &
MICHAEL LEE THOMPSON
412 Washington Street
Keene, NH 03431
V. 2354 P. 53

STRUCTURE SCHEDULE

CB 577	SMH 894
RIM 505.12	RIM 505.67
INV 503.43 15" HDPE (E)	INV 500.17 8" PVC (NE)
INV 503.62 6" PVC (W)	INV 500.17 8" PVC (SW)
SUMP 501.4	INV 500.29 6" PVC (NW)
CB 653	SMH 895
RIM 504.28	RIM 507.51
INV 500.76 15" HDPE (E)	INV 499.09 8" PVC (NE)
INV 500.76 15" HDPE (W)	INV 498.99 8" PVC (SW)
SUMP 498.6	
CB 656	SMH 896
RIM 507.48	RIM 504.02
INV 504.36 15" HDPE (E)	INV 494.52 8" PVC (NE)
SUMP 502.41	INV 494.42 8" PVC (SE)
CB 745	SMH 897
RIM 510.59	RIM 503.33
INV 507.19 15" HDPE (NE)	INV NE IS CAPPED
SUMP 505.3	INV 495.07 8" PVC (SW)
CB 766	
RIM 521.22	
INV 518.02 10" RCP (N)	
SUMP 517.0	
SMH 767	
RIM 526.02	
INV 520.42 8" PVC (W)	
INV 520.40 6" PVC (W)	

531-53
BRITTANY ROSE WOOLSLEY &
MICHAEL LEE THOMPSON
412 Washington Street
Keene, NH 03431
V. 2354 P. 53

535-26
EDWARD NICKERSON
411 Washington Street
Keene, NH 03431
V. 2364 P. 760

531-51
WENDY PRESTON &
MARK FONTAINE
417 Washington Street
Keene, NH 03431
V. 3189 P. 768

531-50
PEOPLES LINEN SERVICE LLC
6 Giffin Street
Keene, NH 03431
V. 2966 P. 972

531-49
MICHELLE CARTER
435 Washington Street
Keene, NH 03431
V. 1425 P. 497

531-48
MELINDA MOSIER
443 Washington Street
Keene, NH 03431
V. 1194 P. 34

531-47
GWG PROPERTIES, LLC
55 Langley Rd.
Keene, NH 03431
V. 2367 P. 623

531-43
CHRISTIAN & REBECCA SAYAN
464 Washington Street
Keene, NH 03431
V. 1119 P. 297

531-42
EARL F. &
ESTHER NORRIS
3 Woodbury Street
Keene, NH 03431
V. 1294 P. 633

531-41
GARY SCHNEIDER
5 Woodbury Street
Keene, NH 03431
V. 1738 P. 631

531-40
THREE TREES LLC
P.O. Box 626
Keene, NH 03431
V. 2890 P. 1180

531-39
JAMES WOOD
11 Woodbury Street
Keene, NH 03431
V. 1646 P. 351

531-38
JOHN & DEBRA NORRIS
15 Woodbury Street
Keene, NH 03431
V. 1584 P. 167

531-37
MARGIT R. NOEL &
DANIEL T. FOSTER
19 Woodbury Street
Keene, NH 03431
V. 1248 P. 113

531-55
ERIC & DEBRA WILIS
18 Woodbury Street
Keene, NH 03431
V. 1446 P. 553

LEGEND

---	PROPERTY LINE	○	CONIFEROUS TREE
---	EDGE OF PAVEMENT	○	SHRUB
---	EDGE OF GRAVEL	○	DECIDUOUS TREE
---	OVERHEAD UTILITY LINES	○	ARTESIAN WELL
---	DRAINAGE LINE	○	IRON PIPE(I.P.) OR REBAR
---	SEWER LINE	○	STEEL PN (SP)
---	GAS LINE	○	GRANITE OR CONCRETE
---	TEL. LINE	○	BOUND (GB OR CB)
---	UNDERGROUND ELECT.	○	DRILL HOLE (DH)
---	WATER LINE	○	UTILITY POLE
---	DOUBLE YELLOW LINE	○	LIGHT POLE
---	SINGLE WHITE LINE	○	SEWER MANHOLE
---	VERTICAL OR SLOPED	○	DRAIN MANHOLE
---	GRANITE CURB	○	CATCH BASIN
---	SHORE LINE	○	HYDRANT
---	CHAIN LINK FENCE	○	WATER SHUTOFF
---	STOCKADE FENCE	○	WATER VALVE
---	STONE WALL	○	IRRIGATION CONTROL VALVE
---	EDGE OF WOODS	○	GAS SHUTOFF
---	CONCRETE	○	MONITORING WELL
---	SIGN HC-HANDICAPPED	○	
---	HC-VAN ACCESSIBLE	○	
---	NP-NO PARKING	○	

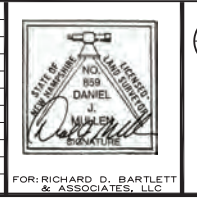
- NOTES**
- Survey by total station between the dates of January 10 and 16, 2023. Control Traverse error of closure is 1":205,040"
 - Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83 based on GPS observations and OPUS solutions.
 - Vertical datum is based on NAVD 88.
 - Owner of record: Community College System of New Hampshire- 28 College Drive Concord, NH 03301- Map 531, Lot 54 - V. 2607 P. 29.
 - Parcel is zoned Low Density; Building setbacks: front 15', rear 20', and side 10'. Minimum Lot size = 10,000 sq. ft.. Minimum frontage = 60'. Maximum building coverage = 35%. Maximum impervious coverage 45%. See Article 1.3 for setback measurements and exceptions.
 - The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 811.
 - The intent of this plat is to depict existing conditions on the parcel of land at 438 Washington Street-Tax Map 531, Lot 54.
 - Perimeter boundary is based on "ALTA/ACSM Plan Boundary Survey Map 203, Block 6, Lot 3 Union School District", dated Oct 19, 2009 by Holden Engineering and Surveying, Inc.
 - The site does not lie within any Flood Hazard Zone as shown on the Flood Insurance Rate Map for Keene, NH Map Number 33005C0259E having an effective date of May 23, 2006.

CERTIFICATIONS

"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1":10,000.

SIGNATURE: *Richard D. Bartlett* LICENSE NO. DATE

NO.	DATE	REVISION
1	2/10/23	SETBACK REVISION



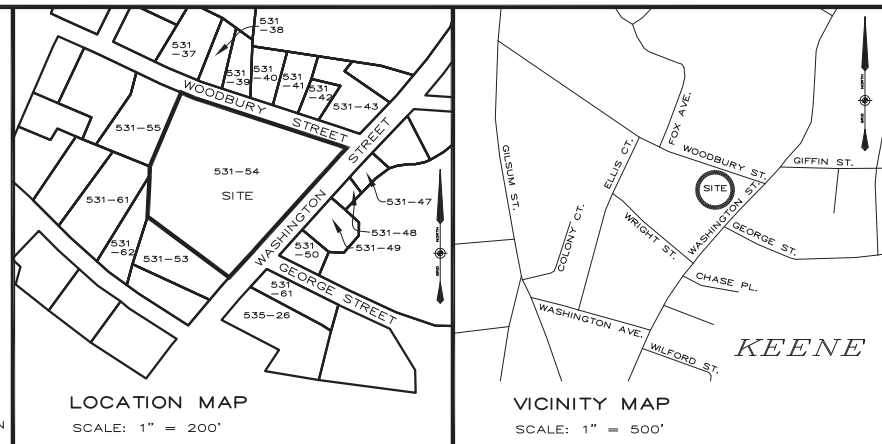
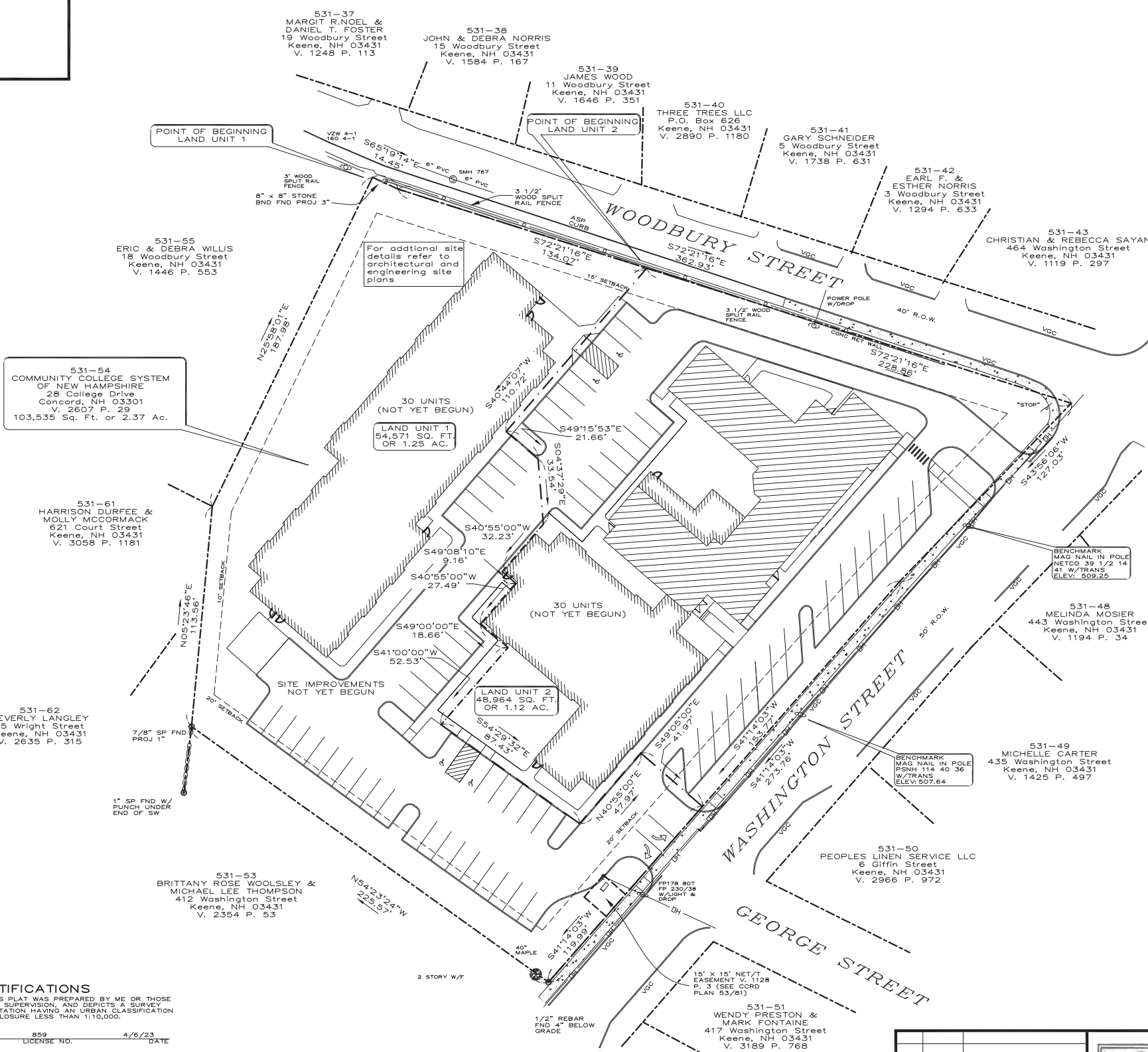
RICHARD D. BARTLETT & ASSOCIATES, LLC
 214 North State Street
 Concord, N.H. 03301
 Tel.: (603) 225-6770
 info@richarddbartlett.com
 www.richarddbartlett.com
 LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT of ROOSEVELT VILLAGE CONDOMINIUM

PROJECT: MAP 531 LOT 54
 LOCATION: 438 WASHINGTON ST. KEENE, NH

GRAPHIC SCALE: 0' 30' 60'
 1" = 30'

DATE: JAN. 24, 2023
 JOB NO.: 1222.248
 SHEET 1 OF 1



- LEGEND**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - - - OVERHEAD UTILITY LINES
 - DOUBLE YELLOW LINE
 - SINGLE WHITE LINE
 - VERTICAL OR SLOPED GRANITE CURB
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - STONE WALL
 - EDGE OF WOODS
 - CONCRETE
 - SIGN HC-HANDICAPPED
 - SIGN HV-VAN ACCESSIBLE
 - SIGN NP-NO PARKING
 - CONIFEROUS TREE
 - SHRUB
 - DECIDUOUS TREE
 - ARTESIAN WELL
 - IRON PIPE(I.P.) OR REBAR STEEL PN (SP)
 - GRANITE OR CONCRETE BOUND (GB OR CB)
 - DRILL HOLE (DH)
 - UTILITY POLE
 - LIGHT POLE

- NOTES**
- Survey by total station between the dates of January 10 and 16, 2023. Control Traverse error of closure is 1":205,040"
 - Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83 based on GPS observations and OPUS solutions.
 - Vertical datum is based on NAVD 88.
 - Owner of record: Community College System of New Hampshire- 28 College Drive Concord, NH 03301- Map 531, Lot 54 - V. 2607 P. 29.
 - Parcel is zoned Low Density; Building setbacks: front 15', rear 20', and side 10'. Minimum Lot size = 10,000 sq. ft.. Minimum frontage = 60'. Maximum building coverage = 35%. Maximum impervious coverage 45%. See Article 1.3 for setback measurements and exceptions.
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 - The intent of this plat is to depict a 2 land unit condominium on land situated at 438 Washington Street-Tax Map 531, Lot 54.
 - Perimeter boundary is based on "ALTA/ACSM Plan Boundary Survey Map 203, Block 6, Lot 3 Union School District", dated Oct 19, 2009 by Holden Engineering and Surveying, Inc.
 - The site does not lie within any Flood Hazard Zone as shown on the Flood Insurance Rate Map for Keene, NH Map Number 33005C0259E having an effective date of May 23, 2006.

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1":10,000.

Richard D. Bartlett 859 LICENSE NO. 4/6/23 DATE

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND, TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO, THAT ALL UNITS DEPICTED THEREON AS COMPLETED HAVE BEEN SUBSTANTIALLY COMPLETED AND THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B:20 I-V.

Richard D. Bartlett 859 LICENSE NO. 4/6/23 DATE

535-26
EDWARD NICKERSON
411 Washington Street
Keene, NH 03431
V. 2364 P. 760

531-51
WENDY PRESTON &
MARK FONTAINE
417 Washington Street
Keene, NH 03431
V. 3189 P. 768

531-50
PEOPLES LINEN SERVICE LLC
6 Giffin Street
Keene, NH 03431
V. 2966 P. 972

531-49
MICHELLE CARTER
435 Washington Street
Keene, NH 03431
V. 1425 P. 497

531-48
MELINDA MOSIER
443 Washington Street
Keene, NH 03431
V. 1194 P. 34

531-47
GWG PROPERTIES, LLC
55 Langley Rd.
Keene, NH 03431
V. 2367 P. 623

NO.	DATE	REVISION



RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
in.fb@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

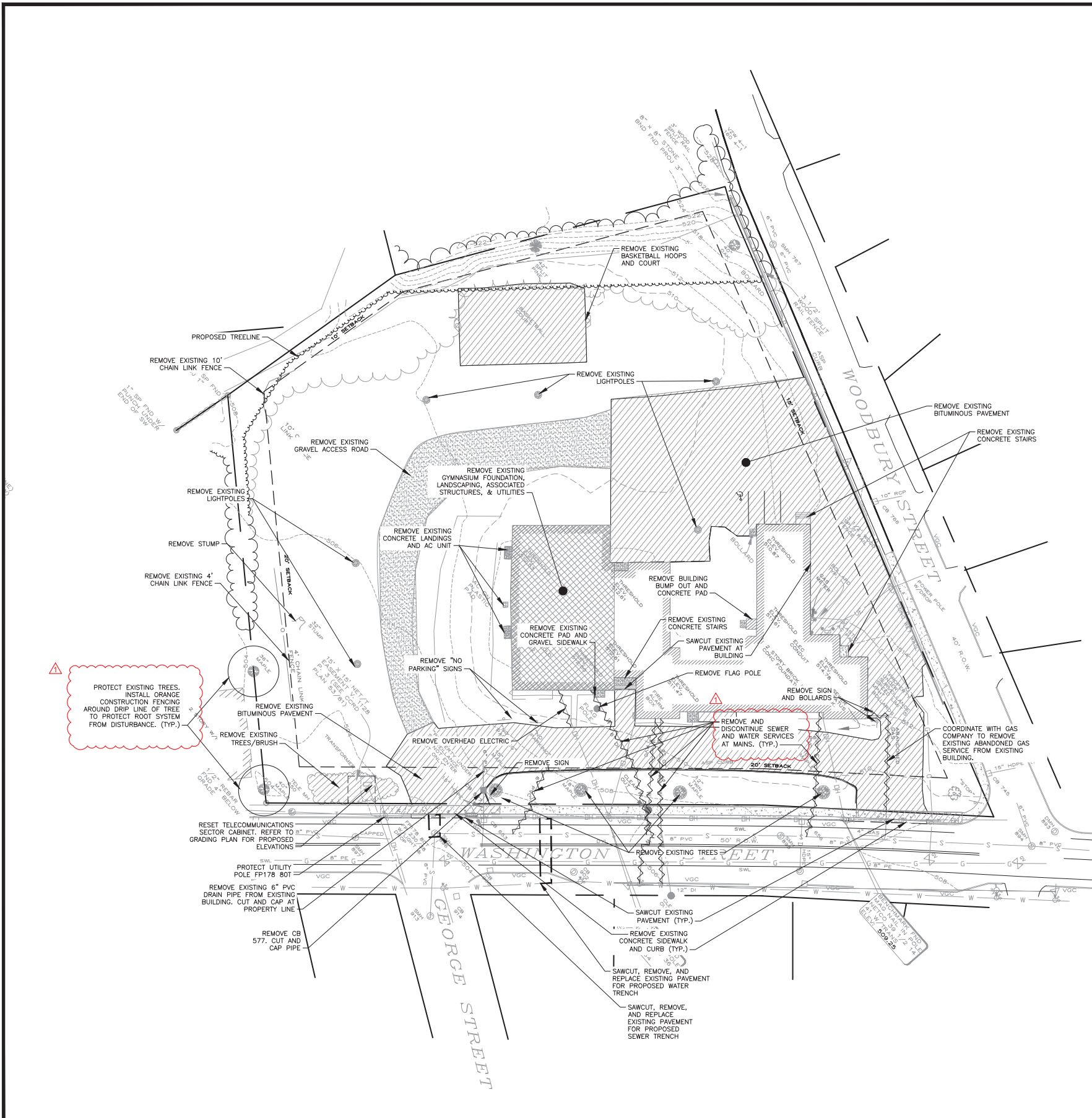
CONDOMINIUM SITE PLAT OF ROOSEVELT VILLAGE CONDOMINIUM

PROJECT MAP 531 LOT 54
LOCATION 438 WASHINGTON ST. KEENE, NH

GRAPHIC SCALE
0' 15' 30' 45' 60'

DATE: APR 6, 2023
JOB NO.: 1222.248
SHEET 2 OF 2

J:\100569.000-Roosevelt School Keene, NH\CAD\DWG\100569.000-C-100-DEMO.dwg 5/8/2023 4:38 PM



- NOTES:**
- REFER TO SURVEYOR'S PLAN FOR PLAN REFERENCES ADDITIONAL NOTES, EXISTING DRAINAGE AND SANITARY SEWER INVERT INFORMATION.
 - LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE TOWN FIRE AND POLICE DEPARTMENTS.
 - DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE PAVEMENT TO LIMITS INDICATED.
 - CONTRACTOR IS RESPONSIBLE FOR OFF-SITE DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - CONTRACTOR WILL COORDINATE REMOVAL/RELOCATION OF UNDERGROUND GAS AND OVERHEAD UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
 - ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD PAINT, ASBESTOS, ETC., WILL BE PERFORMED BY A LICENSED CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION. A PRE-DEMOLITION SURVEY WILL BE PERFORMED BY CONTRACTOR PRIOR TO THE START OF DEMOLITION ACTIVITIES TO ENSURE PROPER DEMOLITION AND DISPOSAL PROCEDURES.
 - DEMOLITION SEQUENCING WILL BE AS DIRECTED BY THE PRIME CONTRACTOR AND THE ARCHITECT.
 - FOR AREAS OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, DEMOLISH ALL EXISTING BUILDINGS AND FOUNDATIONS TO 24" BELOW FINISHED GRADE. CONSULT WITH ENGINEER FOR DEMOLITION REQUIREMENTS FOR AREAS WITHIN THE PROPOSED BUILDING FOOTPRINT.
 - ALL WORK PERFORMED TO CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE MUNICIPAL CONSTRUCTION STANDARDS.
 - REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND FOR CONSTRUCTION SEQUENCING NOTES.
 - CONTRACTOR WILL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - CONTRACTOR WILL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 - CONTRACTOR WILL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING SITE FEATURES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 - DEMOLITION/REMOVAL OF EXISTING STORMWATER STRUCTURES AND PIPING WILL BE CONDUCTED DRY CONDITIONS TO THE EXTENT PRACTICAL. INSTALLATION OF NEW STRUCTURES AND PIPE WILL BE CONDUCTED PRIOR TO DEMOLITION TO THE EXTENT PRACTICAL.
 - PRIOR TO THE START OF CONSTRUCTION AND ISSUANCE OF ANY PERMITS, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH CITY OF KEENE ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULE, ETC.

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5/8/2023

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FOR
CONSTRUCTION

ROOSEVELT SCHOOL HOUSING

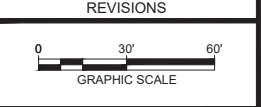
438 WASHINGTON STREET
KEENE, NH 03431

APPLICANT:
MONADNOCK AFFORDABLE HOUSING,
CORP., AN AFFILIATE OF KEENE HOUSING
831 COURT STREET
KEENE, NH 03431

OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW
HAMPSHIRE
28 COLLEGE DRIVE
CONCORD, NH 03301

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

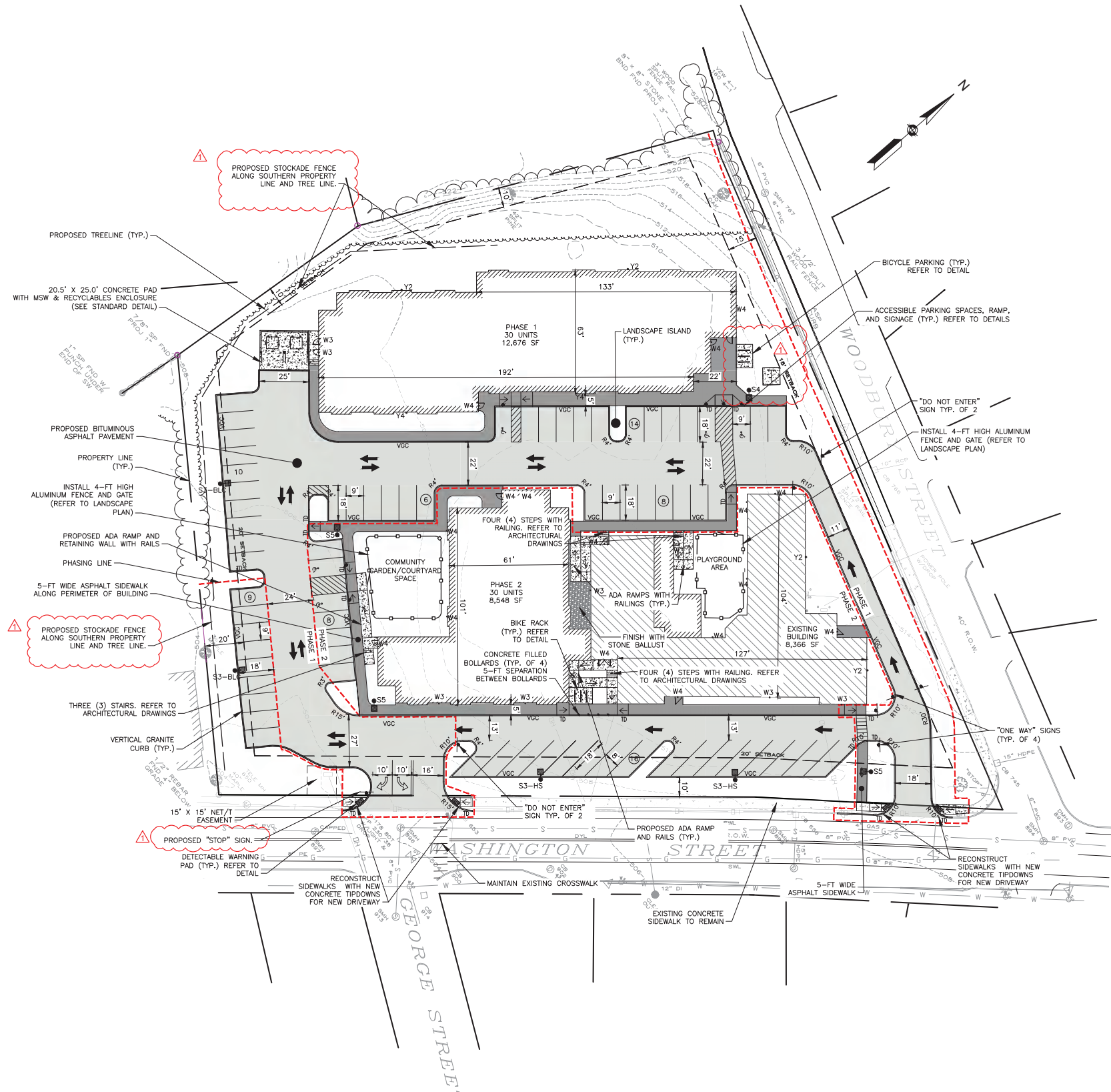


DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-100-DEMO.dwg

DEMOLITION PLAN

SHEET
C-1

J:\100569.000-Roosevelt School Keene, NH\CAD\DWG\100569.000-C-200-SITE.dwg 5/10/2023 1:19 PM



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED LAYOUT FOR A NEW 60-UNIT MULTIFAMILY HOUSING DEVELOPMENT.
2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) LATEST EDITION.
3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
4. PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND SEWER.
5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
6. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
7. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
8. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
9. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.
10. SNOW STORAGE WILL BE PROVIDED WITHIN THE PARKING LOT AND WILL BE REMOVED OFF SITE.
11. IF THE PROPOSED PROJECT RESULTS IN 50 OR MORE TRUCKS OF EARTH OR GRAVEL ENTERING OR LEAVING A SITE, THE CONTRACTOR SHALL SUBMIT A PLAN TO THE COMMUNITY DEVELOPMENT DEPARTMENT AS TO THE PROPOSED TRUCK ROUTE(S). THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL CONSULT WITH THE POLICE DEPARTMENT AND CITY ENGINEER, AND AS APPROPRIATE, THE STATE HIGHWAY DEPARTMENT IN REVIEWING THE PROPOSED HAUL ROUTES.

PLAN REFERENCES:

1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF ROOSEVELT VILLAGE CONDOMINIUM", DATED JANUARY 24, 2023, BY RICHARD D. BARTLETT & ASSOCIATES LLC.
2. BUILDING FOOTPRINT REPRESENTS THE FIRST FLOOR PLAN PROVIDED TO NOBIS GROUP BY WARRENSTREET ARCHITECTS ON APRIL 5TH, 2023. THE FOOTPRINT SHOULD NOT BE USED FOR LAYOUT OF BUILDING CORNERS. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS TO BE USED FOR LAYOUT OF NEW BUILDINGS.

ZONING ANALYSIS

TAX MAP/BLOCK/LOT: MAP 531 (LOTS 4)
 ADDRESS: 438 WASHINGTON STREET
 CITY: KEENE, NH
 ZONING DISTRICT: LOW DENSITY (LD) DISTRICT

MINIMUM LOT AREA	PROVIDED	103,535 SF
MINIMUM LOT FRONTAGE	PROVIDED	778'
MAX LOT COVERAGE: 45%	EXISTING	13,507 SF (13%)
BUILDINGS	PROPOSED	29,590 SF (28.8%)
PARKING & DRIVEWAYS	EXISTING	32,905 SF (31.8%)
SIDEWALKS	PROPOSED	30,700 SF (29.8%)
TOTAL:	EXISTING	67,942 SF (65.3%)
	PROPOSED	7,352 SF (7.1%)

INTERIOR LANDSCAPING

MINIMUM	PROVIDED
10%	10%
TOTAL LANDSCAPING MINIMUM	PROVIDED
55%	34.7%

BUILDING SETBACKS REQUIRED

FRONT YARD	REQUIRED	15'
SIDE YARD	REQUIRED	10'
SIDE YARD (WASHINGTON STREET)	REQUIRED	20'
REAR YARD	REQUIRED	20'

PARKING SETBACKS REQUIRED

FRONT YARD	REQUIRED	15'
SIDE YARD	REQUIRED	10'
REAR YARD	REQUIRED	10'

REQUIRED PARKING SPACES
 PROJECT CLASSIFICATION = 2 SPACES / UNIT

TOTAL SPACES:	REQUIRED	EXISTING	PROPOSED
	120	15	70
ACCESSIBLE SPACES:	3	4	4

THE FOLLOWING VARIANCES WERE GRANTED BY THE CITY OF KEENE ZONING BOARD OF ADJUSTMENT ON FEBRUARY 1, 2023:

ARTICLE 3.3.5: TO ALLOW MULTIFAMILY HOUSING WHERE MULTIFAMILY HOUSING IS NOT PERMITTED
 ARTICLE 3.3.3: TO ALLOW AN INCREASE IN LOT COVERAGE AND DECREASE IN GREEN/OPEN SPACE
 ARTICLE 9.2.6, 9.2.7: TO ALLOW LESS A REDUCTION OF PARKING TO LESS THAN TWO SPACES PER UNIT

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NOT ISSUED FOR CONSTRUCTION

ROOSEVELT SCHOOL HOUSING

438 WASHINGTON STREET
 KEENE, NH 03431

APPLICANT:
 MONADNOCK AFFORDABLE HOUSING, CORP., AN AFFILIATE OF KEENE HOUSING, 831 COURT STREET, KEENE, NH 03431

OWNER:
 COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE, 28 COLLEGE DRIVE, CONCORD, NH 03301

NO.	DATE	DESCRIPTION
1	05/08/2023	RESPONSE TO CITY COMMENTS

REVISIONS

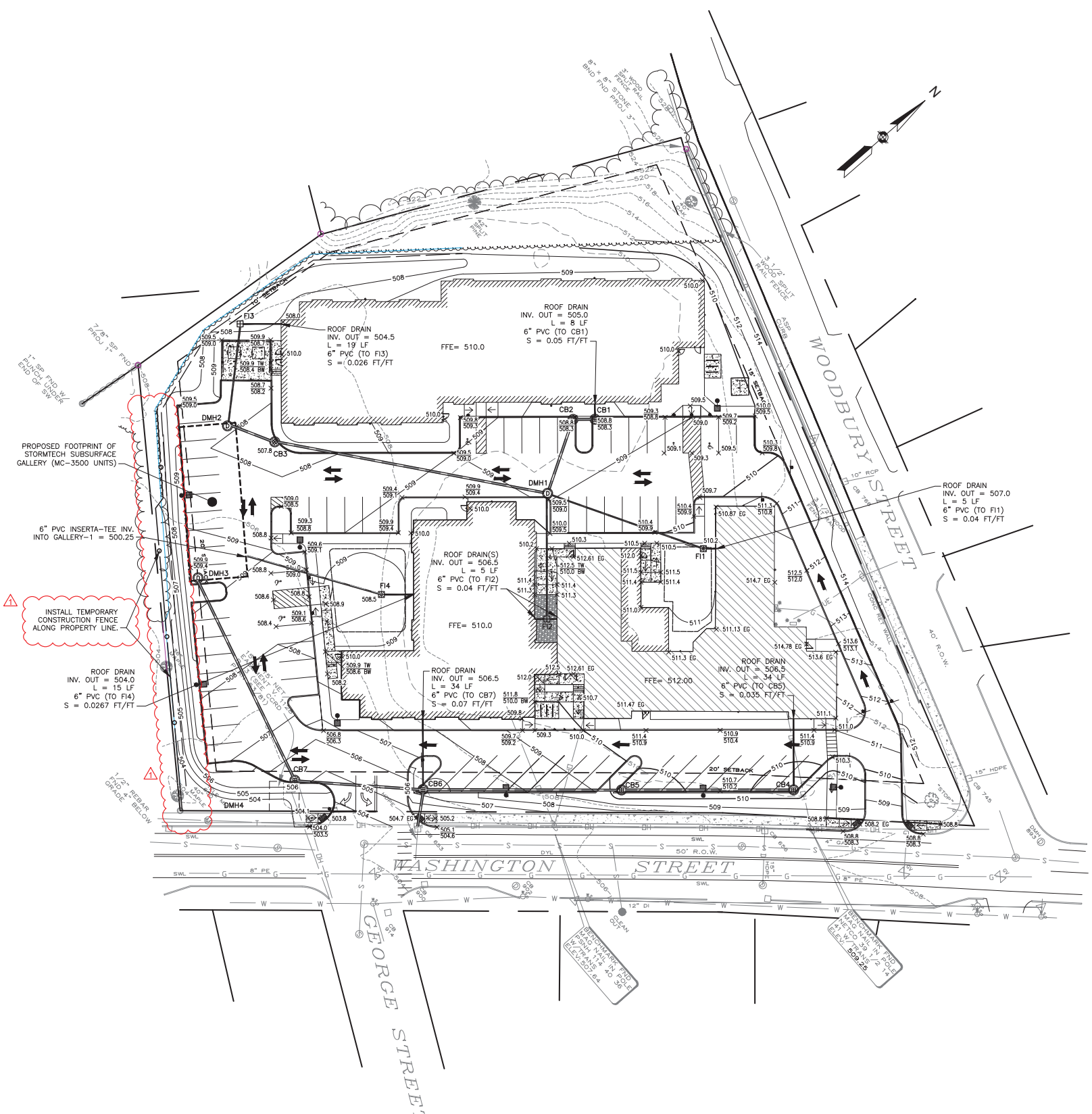
DATE: APRIL 12, 2023
 NOBIS PROJECT NO. 100569.000
 DRAWN BY: EAL/MGD
 CHECKED BY: JCN
 CAD DRAWING FILE: 100569.000-C-200-SITE.dwg

SHEET TITLE

SITE PLAN

SHEET
C-2

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- NOTES:**
- REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 - STONE DRIP EDGE PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
 - FINISH WALK AND CURB ELEVATIONS WILL BE 6\"/>

DRAINAGE SCHEDULE

<p>FI-1 (NYLOPLAST) RIM = 510.2 INV. IN = 506.8 (6\"/> </p>	<p>CB-5 (5' O.D. STRUCTURE) RIM = 509.5 INV. IN = 504.7 (FROM CB-4) INV. OUT = 504.6 L = 92 LF - 15\"/> </p>
<p>FI-2 (NYLOPLAST) RIM = 509.8 INV. IN = 506.4 (6\"/> </p>	<p>CB-6 (6\"/> </p>
<p>CB-1 (5' O.D. STRUCTURE) RIM = 508.3 INV. IN = 504.6 (6\"/> </p>	<p>CB-7 (5' O.D. STRUCTURE) RIM = 506.5 INV. IN = 501.4 (FROM DMH-3) INV. OUT = 501.3 L = 61 LF - 15\"/> </p>
<p>CB-2 (5' O.D. STRUCTURE) RIM = 508.3 INV. IN = 504.4 (FROM CB-1) INV. OUT = 504.3 L = 36 LF - 15\"/> </p>	<p>EX CB 653 RIM = 504.26 INV. IN = 500.76\"/> </p>
<p>DMH-1 (6\"/> </p>	<p>*USE SAME INVERT IN HOLE FOR NEW 15\"/> </p>
<p>DMH-2 (5' O.D. STRUCTURE TO GALLERY-1) RIM = 507.9 INV. IN = 503.6 (FROM FI-3) INV. IN = 503.1 (FROM CB-3) INV. OUT = 501.95 (12\"/> </p>	
<p>FI-3 (NYLOPLAST) RIM = 507.5 INV. IN = 504.0 (6\"/> </p>	
<p>CB-3 (5' O.D. STRUCTURE) RIM = 507.8 INV. IN = 503.3 (FROM DMH-1) INV. OUT = 503.2 L = 14 LF - 15\"/> </p>	
<p>DMH-3 (5' O.D. STRUCTURE FROM GALLERY-1) RIM = 509.3 INV. IN = 501.95 (12\"/> </p>	
<p>CB-4 (5' O.D. STRUCTURE) RIM = 509.5 INV. IN = 505.3 (6\"/> </p>	

NOT ISSUED FOR CONSTRUCTION

ROOSEVELT SCHOOL HOUSING
438 WASHINGTON STREET
KEENE, NH 03431

APPLICANT:
MONADNOCK AFFORDABLE HOUSING, CORP., AN AFFILIATE OF KEENE HOUSING, 831 COURT STREET, KEENE, NH 03431

OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE, 28 COLLEGE DRIVE, CONCORD, NH 03301

05/08/2023	RESPONSE TO CITY COMMENTS	
NO.	DATE	DESCRIPTION
REVISIONS		

DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-300-G&D.dwg

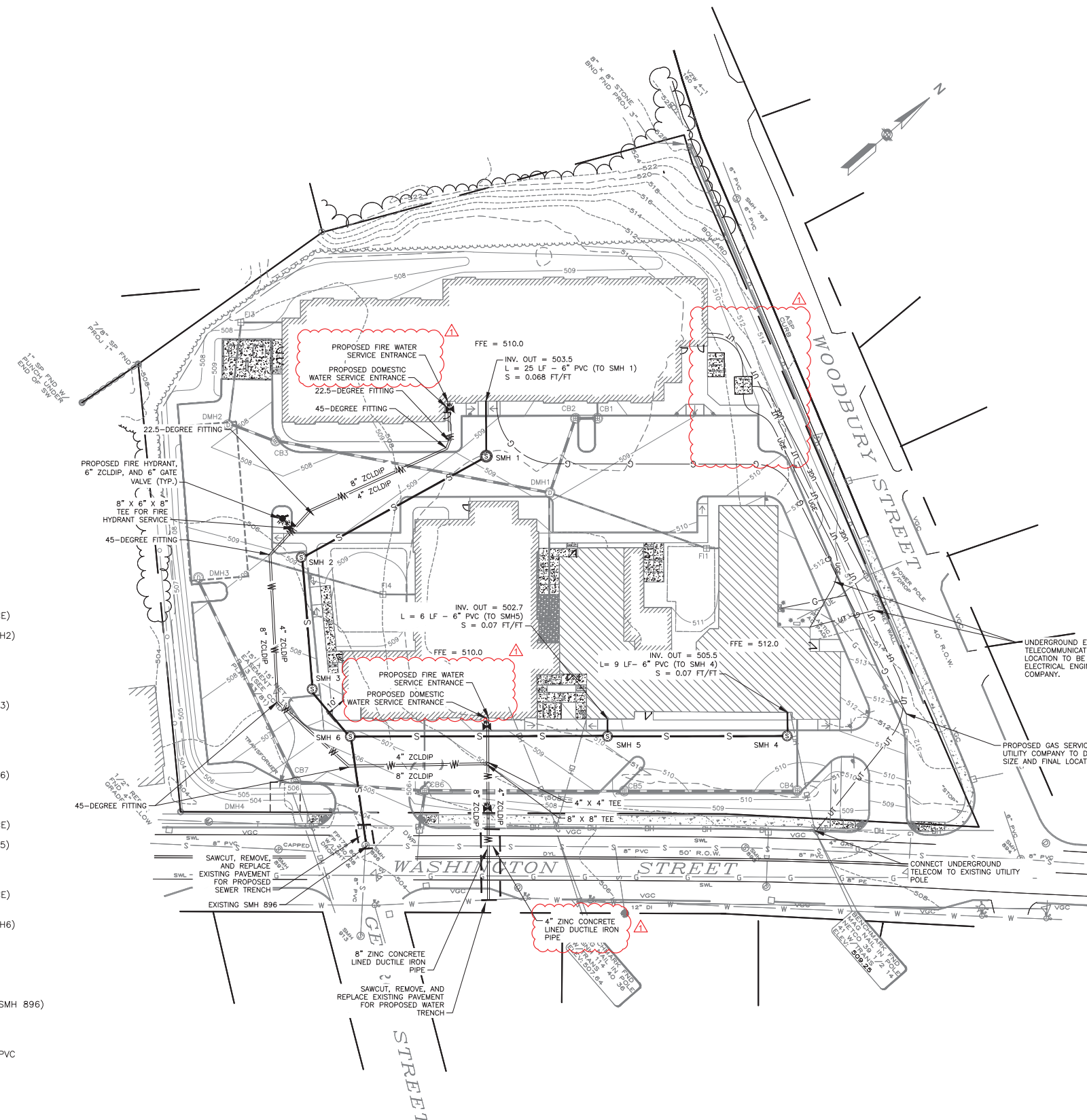
GRADING & DRAINAGE

SHEET
C-3


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SEWER SCHEDULE

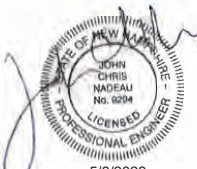
- SMH 1
RIM = 508.8
INV. IN = 501.8 (FROM BUILDING SERVICE)
INV. OUT = 501.7
L = 102 LF - 8" SDR-35 PVC (TO SMH2)
S = 0.0294 FT/FT
- SMH 2
RIM = 509.1
INV. IN = 498.7 (FROM SMH1)
INV. OUT = 498.6
L = 60 LF - 8" SDR-35 PVC (TO SMH3)
S = 0.03 FT/FT
- SMH 3
RIM = 507.9
INV. IN = 496.8 (FROM SMH2)
INV. OUT = 496.7
L = 34 LF - 8" SDR-35 PVC (TO SMH6)
S = 0.0294 FT/FT
- SMH 4 (3' INSIDE DROP STRUCTURE)
RIM = 510.4
INV. IN = 504.9 (FROM BUILDING SERVICE)
INV. OUT = 501.9
L = 85 LF - 8" SDR-35 PVC (TO SMH5)
S = 0.0294 FT/FT
- SMH 5 (3' INSIDE DROP STRUCTURE)
RIM = 510.1
INV. IN = 502.3 (FROM BUILDING SERVICE)
INV. IN = 499.4 (FROM SMH 4)
INV. OUT = 499.3
L = 120 LF - 8" SDR-35 PVC (TO SMH6)
S = 0.03 FT/FT
- SMH 6
RIM = 506.5
INV. IN = 495.7 (FROM SMH3)
INV. IN = 495.7 (FROM SMH5)
INV. OUT = 495.6
L = 46 LF - 8" SDR-35 PVC (TO EX SMH 896)
S = 0.0217 FT/FT
- EXISTING SMH 896
RIM = 504.02
INV. IN (CORE NEW HOLE) = 494.6 8" PVC
INV. IN = 494.52 8" PVC (NE)
INV. OUT = 494.42 8" PVC (SE)



- NOTES:**
1. REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
 4. LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 5. THERE WILL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE WILL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE. NO SEWER WILL BE LOCATED WITHIN THE WELL PROTECTIVE RADI ESTABLISHED IN ENV-WS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL. SEWERS WILL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. A DEVIATION FROM THE SEPARATION REQUIREMENTS WILL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS. PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06. WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER WILL BE CONSTRUCTED AS FOLLOWS:
 - 5.1. VERTICAL SEPARATION OF THE SEWER AND WATER MAIN WILL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER, AND
 - 5.2. SEWER PIPE JOINTS WILL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
 6. THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
 7. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 8. ALL CONSTRUCTION WILL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 9. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED. AS-BUILT PLANS WILL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
 11. INVERTS AND SHELVES, MANHOLES WILL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS WILL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES WILL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF WILL CONSIST OF GRADE SS HARD BRICK MASONRY.
 12. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
 13. WILLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING HZ LOADS.
 14. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGGATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
 15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) WILL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
 16. PROPOSED RIM ELEVATIONS OF SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
 17. ALL SANITARY SEWER SERVICE LATERALS, FOR FUTURE RESIDENTIAL CONNECTION, WILL END AT THE LIMITS OF THE R.O.W., AS SHOWN ON PLANS AND WILL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
 18. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
 19. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS WILL BE TESTED ACCORDING TO MINNESOTA DEPARTMENT OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, CONFORMING TO THE FOLLOWING MIN. CRITERIA.
 - ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING:
GRAVITY SEWERS WILL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-9-6. LINES WILL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER AND TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO DEFLECTION TESTS WILL TAKE PLACE NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
 - ENV-WQ 704.09 FORCE MAIN AND PRESSURE SEWER TESTING:
WILL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
 - ENV-WQ 704.17 SEWER MANHOLES:
WILL BE TESTED FOR LEAKAGE USING A VACUUM TEST. TESTING WILL BE CONDUCTED PRIOR TO PLACEMENT OF SHELVES AND INVERTS
 20. SEWERS WILL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 8-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER IS NEEDED IF THE MINIMUM REQUIRED DEPTH CANNOT BE MET.
 21. SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
 22. CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF 1" BITUMINOUS OVERLAY.
 23. SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM TOWN INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
 24. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.
 25. EXISTING WATER AND SEWER LINES MUST BE DISCONTINUED AT THE WATER AND SEWER MAIN.



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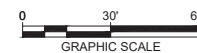
**ROOSEVELT SCHOOL
HOUSING**

438 WASHINGTON STREET
KEENE, NH 03431

APPLICANT:
MONADNOCK AFFORDABLE HOUSING,
CORP., AN AFFILIATE OF KEENE HOUSING,
831 COURT STREET
KEENE, NH 03431

OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW
HAMPSHIRE
28 COLLEGE DRIVE
CONCORD, NH 03301

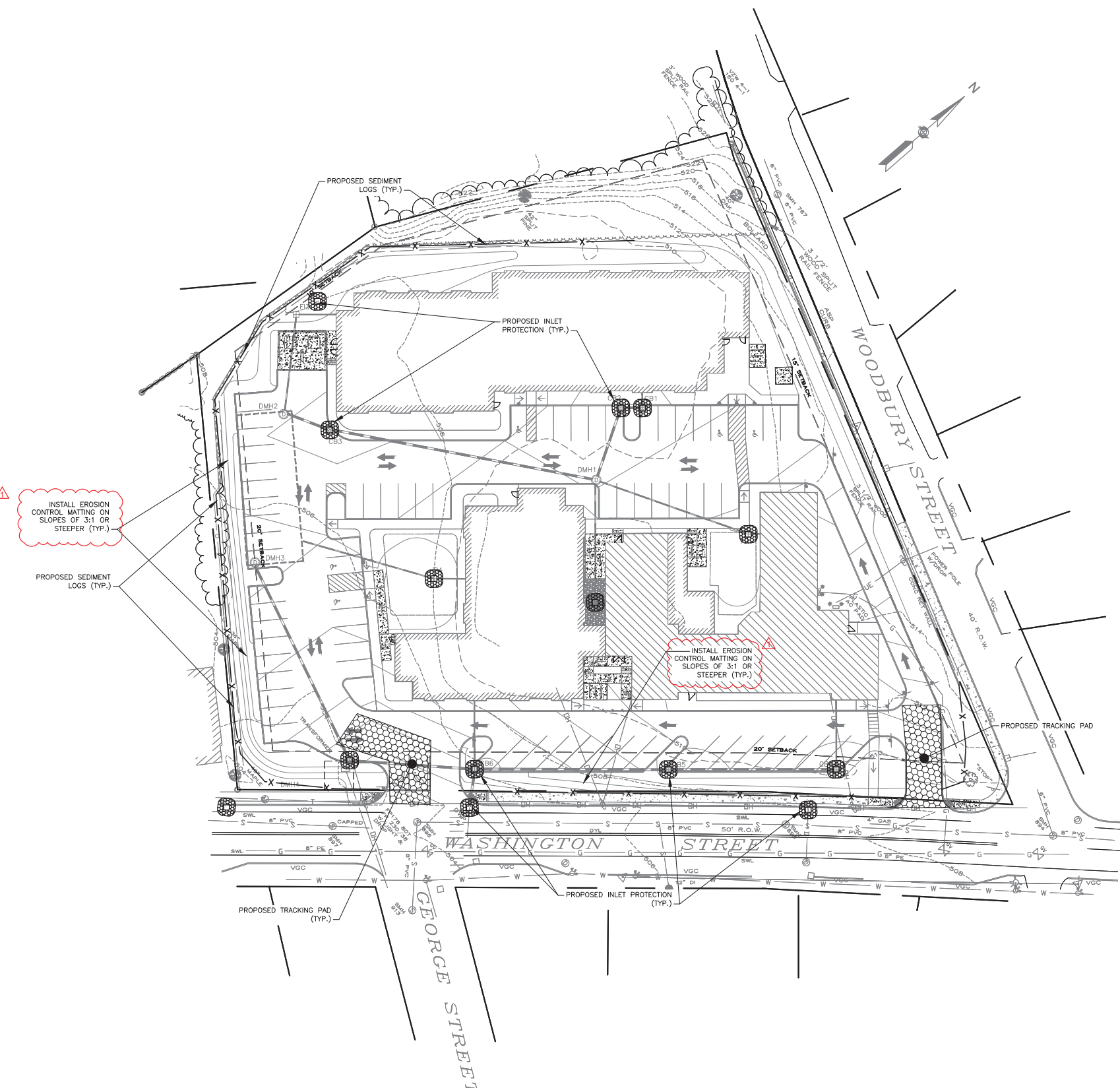
NO.	DATE	DESCRIPTION
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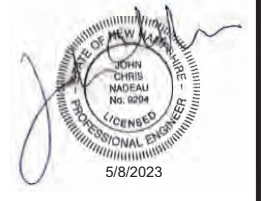
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DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-400-UTILITY.dwg
SHEET TITLE	
UTILITY PLAN	
SHEET C-4	

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- NOTES:**
1. THIS PLAN IS NOT INTENDED TO SHOW PERMANENT DRAINAGE DESIGNS AND TO BE USED FOR TEMPORARY EROSION AND SEDIMENT CONTROL ONLY.
 2. CONTRACTOR TO GRADE ACTIVE EXCAVATION AREAS TO ALLOW MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE RUNOFF FROM DISTURBED AREAS.
 3. DISTURBANCES OF AREAS TO BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED AND MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
 4. FOR FURTHER INFORMATION ON BEST MANAGEMENT PRACTICES SEE COMPLETE PLAN SET AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT PREPARED BY NOBIS ENGINEERING, INC., (DATE).
 5. USE TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS THAT EITHER DO NOT CONTAIN NETTING, OR THAT CONTAIN NETTING MANUFACTURED FROM 100% BIODEGRADABLE NON-PLASTIC MATERIALS SUCH AS JUTE, SISAL, OR COIR FIBER. DEGRADABLE, PHOTODEGRADABLE, UV-DEGRADABLE, OXO-DEGRADABLE, OR OXO-BIODEGRADABLE PLASTIC NETTING (INCLUDING POLYPROPYLENE, NYLON, POLYETHYLENE, AND POLYESTER) ARE NOT EQUIVALENT ALTERNATIVES. NETTING USED IN THESE PRODUCTS SHOULD HAVE A LOOSE-WEAVE WILDLIFE-SAFE DESIGN WITH MOVABLE JOINTS BETWEEN THE HORIZONTAL AND VERTICAL TWINES, ALLOWING THE TWINES TO MOVE INDEPENDENTLY AND THUS REDUCING THE POTENTIAL FOR WILDLIFE ENTANGLEMENT.
 6. AVOID THE USE OF SILT FENCES REINFORCED WITH METAL OR PLASTIC MESH OR IF POSSIBLE RECOMMEND THE USE OF EROSION CONTROL BERMS.
 7. WHEN NO LONGER REQUIRED, TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS SHOULD BE REMOVED PROMPTLY FROM THE PROJECT SITE.
 8. USE NONWOVEN COIR FABRIC WHEN A SURFACE FABRIC TREATMENT IS REQUIRED FOR EROSION CONTROL AND STABILIZATION, SUCH AS 100% BIODEGRADABLE COCONUT FIBER MAT OR EQUAL AS REVIEWED AND APPROVED BY THE PROJECT DESIGN ENGINEER.
 9. USE WOVEN COIR FABRIC WHEN SITE CONDITIONS WARRANT. THE OUTER LAYER OF WOVEN COIR FABRIC SHOULD BE A HIGH STRENGTH, CONTINUOUSLY WOVEN MAT (I.E., WITHOUT SEAMS) AND MADE OF 100% COCONUT FIBER.
 10. REFER TO GENERAL NOTES AND LEGEND SHEET FOR ADDITIONAL EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



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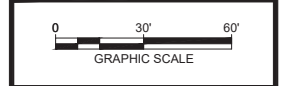
ROOSEVELT SCHOOL HOUSING

438 WASHINGTON STREET
KEENE, NH 03431

APPLICANT:
MONADNOCK AFFORDABLE HOUSING, CORP., AN AFFILIATE OF KEENE HOUSING
831 COURT STREET
KEENE, NH 03431

OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE
28 COLLEGE DRIVE
CONCORD, NH 03301

NO.	DATE	DESCRIPTION
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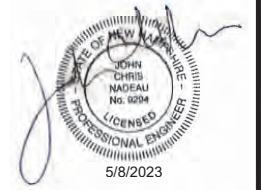
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NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-320-EROS.dwg

EROSION CONTROL PLAN

SHEET
C-5



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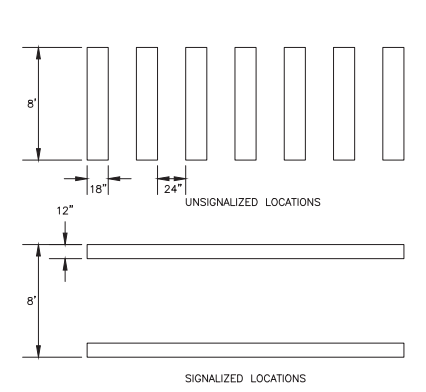
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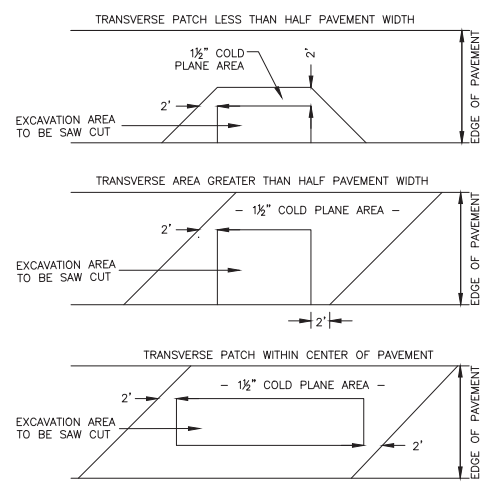
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NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-700-DETAILS.dwg

CONSTRUCTION DETAILS

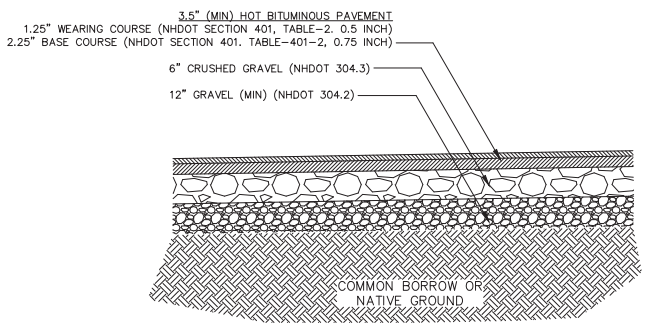
SHEET
C-6



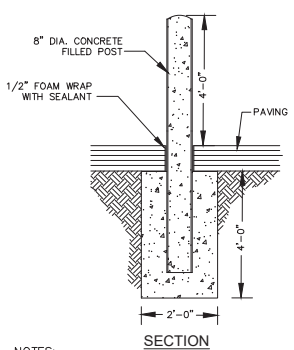
CROSSWALK MARKINGS
 NOT TO SCALE



SAWCUT DETAIL
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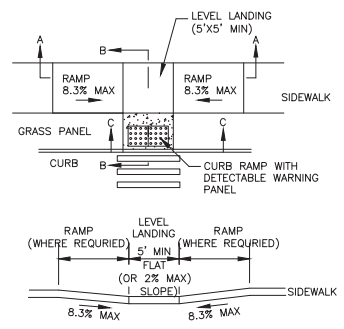


TYPICAL NEW PARKING SECTION
 NOT TO SCALE

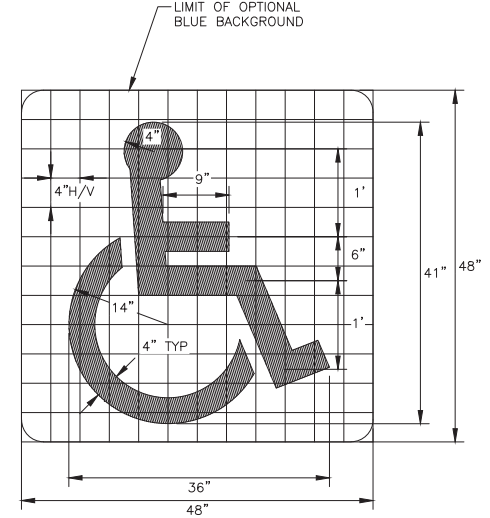


- NOTES:
1. STEEL PIPE SHALL BE GALVANIZED AND HAVE A MINIMUM WALL THICKNESS OF 0.32 INCHES
 2. CONCRETE SHALL BE 3000PSI
 3. BOLLARDS TO BE PAINTED WITH ZINC CHROMATE PRIMER AND 2 COATS OF EXTERNAL GLOSS ENAMEL COLOR YELLOW TO MATCH FED. STD. 595 CHP NO. 1353B.

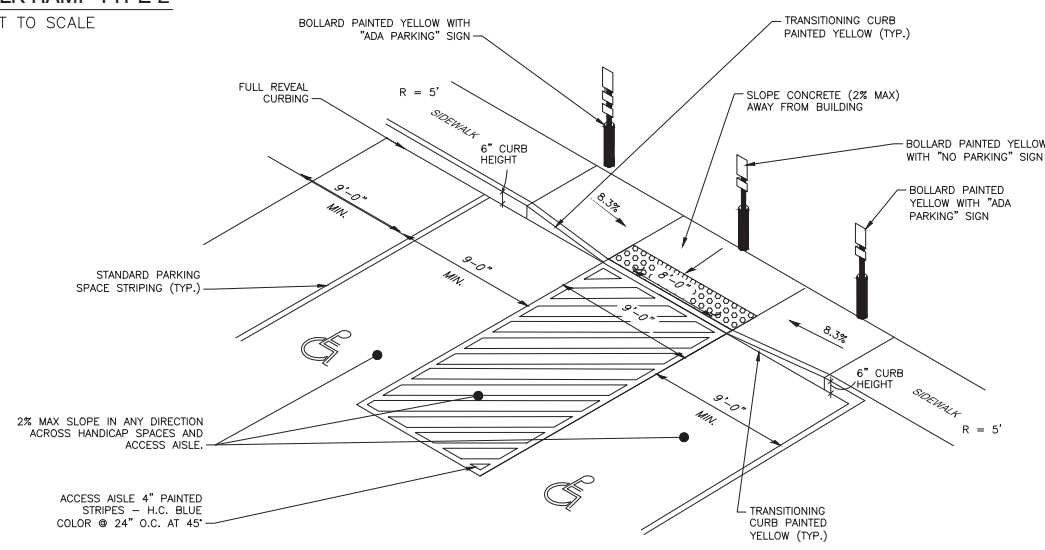
CONCRETE FILLED BOLLARD
 NOT TO SCALE



SECTION A-A
 SECTION B-B
 SECTION C-C
 SINGLE PERPENDICULAR RAMP FROM LEVEL LANDING TANGENT SECTION
SIDEWALK RAMP TYPE 2
 NOT TO SCALE

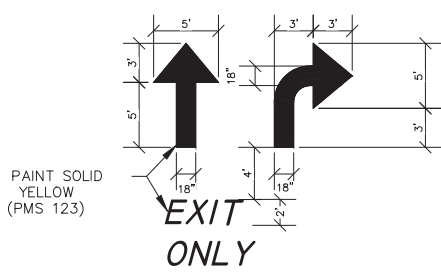


ACCESSIBLE PARKING SPACE PAVEMENT MARKING
 NOT TO SCALE



ACCESSIBLE PARKING, ACCESS RAMP AND ACCESS AISLE DETAILS SIGN DETAIL

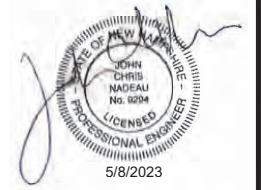
NOTE:
 WITHIN 48 HOURS OF PLACEMENT, ALL ACCESSIBLE PARKING AREAS AND ASSOCIATED SIDEWALKS AND RAMP MUST BE SURVEYED BY A LICENSED SURVEYOR AND PROVIDED TO OWNER/ENGINEER. ANY NONCOMPLIANT AREAS SHALL BE REWORKED AND RESURVEYED UNTIL THEY ARE COMPLIANT WITH THE CONSTRUCTION PLAN.



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

TYPICAL PAVEMENT MARKINGS
 NOT TO SCALE

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 FOR
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ROOSEVELT SCHOOL HOUSING
 438 WASHINGTON STREET
 KEENE, NH 03431

APPLICANT:
 MONADNOCK AFFORDABLE HOUSING,
 CORP., AN AFFILIATE OF KEENE HOUSING
 831 COURT STREET
 KEENE, NH 03431

OWNER:
 COMMUNITY COLLEGE SYSTEM OF NEW
 HAMPSHIRE
 28 COLLEGE DRIVE
 CONCORD, NH 03301

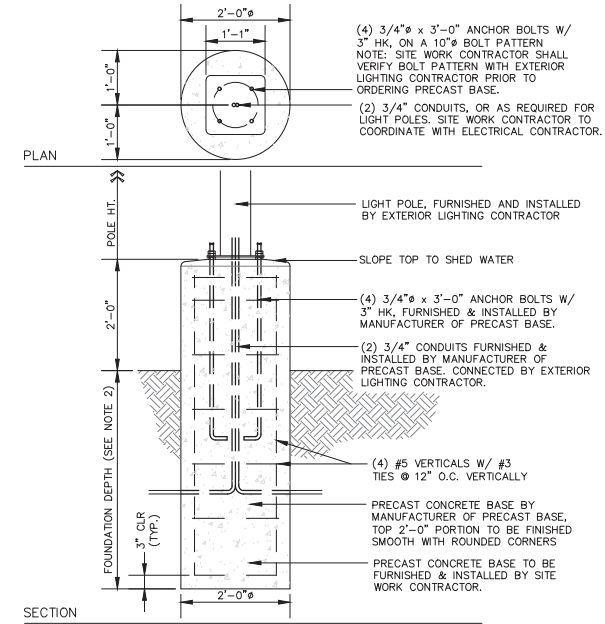
NO.	DATE	DESCRIPTION
1	05/08/2023	RESPONSE TO CITY COMMENTS

SCALE:
 AS NOTED

DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
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CAD DRAWING FILE:	100569.000-C-700-DETAILS.dwg

CONSTRUCTION DETAILS

SHEET
C-7



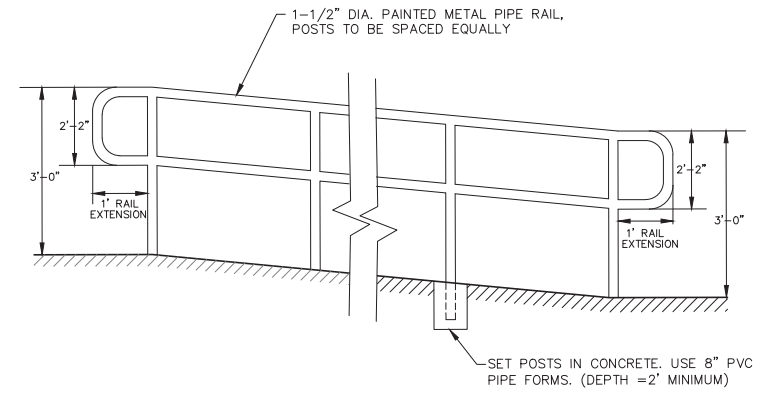
- NOTES:**
- IF THE EXISTING EARTH IS NON-VIRGIN FILL MATERIAL OR OTHERWISE UNSUITABLE TO SUPPORT THE BASE AND LIGHT, CONSULT THE ENGINEER PRIOR TO PLACING CONCRETE.
 - FOUNDATION DEPTH AS REQUIRED BY CODE OR TO ACHIEVE ADEQUATE SOIL BEARING CAPACITY, (5' DEPTH MINIMUM).
 - IF OPTIONAL TAPERED STEEL BASE IS USED, FILL 2'-0" BASE WITH CONCRETE TO FORM TOP 2'-0" PORTION OF LIGHT POLE BASE.
 - CONCRETE: 4,000 PSI @ 28 DAYS.
 - REINFORCING PER ASTM A-615, GRADE 60 DEFORMED BLACK BARS.
 - SITE WORK CONTRACTOR SHALL COORDINATE WITH EXTERIOR LIGHTING CONTRACTOR FOR ORIENTATION OF CONDUIT WITHIN PRECAST BASE.

PRECAST CONCRETE LIGHT POLE BASE
 NOT TO SCALE

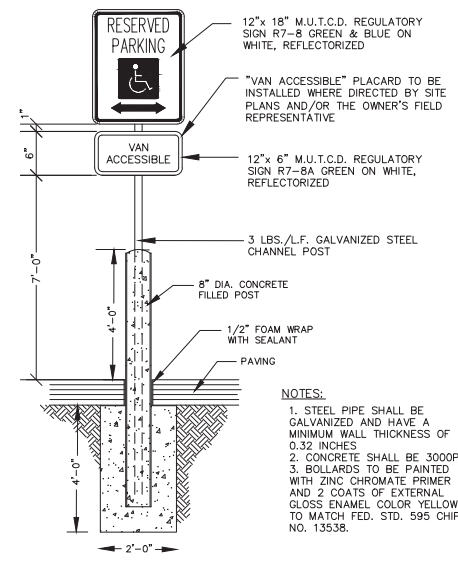
M.U.T.C.D. NUMBER	SPECIFICATION		MOUNTING HEIGHT	SIGN
	WIDTH	HEIGHT		
R1-1	30"	30"	7'-0"	
R7-8	12"	18"	7'-0"	
R7-8A	12"	6"	6'-5"	
R8-3A	12"	18"	7'-0"	
R5-1	30"	30"	7'-0"	
R6-1(R)(L)	36"	12"	7'-0"	
R6-2(R)(L)	24"	30"	7'-0"	

- NOTE:**
- MOUNTING HEIGHT IS THE CLEARANCE OF THE BOTTOM OF THE SIGN TO THE NEAREST EDGE OF PAVEMENT.
 - ALL SIGN POSTS SHALL BE 2.5#/FT. U-CHANNEL POSTS, PAINTED GREEN AND CONFORM TO NHDOT SPECIFICATION 615.2.5.3.
 - ALL SIGNS SHALL BE FABRICATED OF DIAMOND GRADE SHEETING.

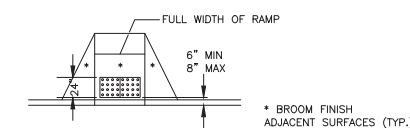
SIGN SUMMARY
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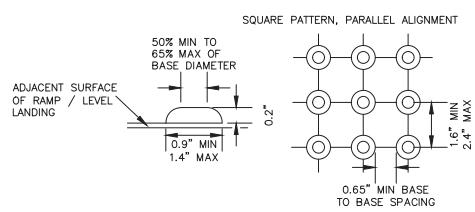
RAMP HANDRAIL DETAIL
 NOT TO SCALE



RESERVED PARKING SIGN ON BOLLARD
 NOT TO SCALE

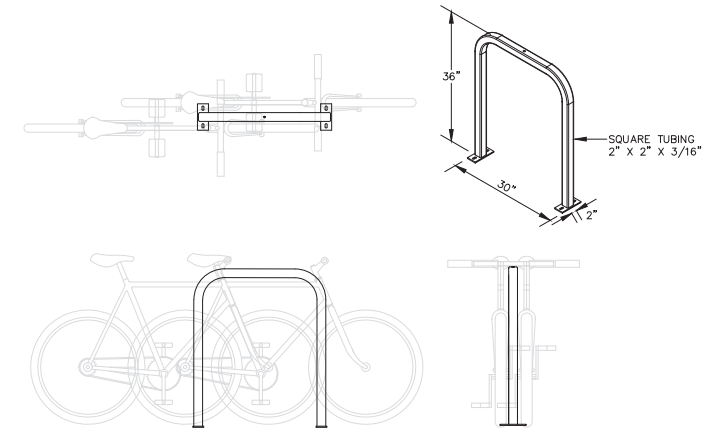


DETECTABLE WARNING PLACEMENT



DETECTABLE WARNING DETAILS
 NOT TO SCALE

- NOTES:**
- DETECTABLE WARNING SURFACES SHALL BE CAST IRON WITHIN THE CITY R.O.W.
 - CONCRETE ADJACENT TO ALL DETECTABLE WARNINGS SHALL HAVE A BROOM FINISH.
 - THE COLOR OF THE DETECTABLE WARNING SHALL PROVIDE A VISUAL CONTRAST TO THE SURROUNDING SURFACE AND SHALL BE AS SPECIFIED ON THE PLANS.
 - WHERE A RAMP OR LEVEL LANDING MEETS A CURB RADIUS, ALIGN THE EDGE OF THE DETECTABLE WARNING AREA PARALLEL TO THE CURB TO THE MAXIMUM EXTENT FEASIBLE.



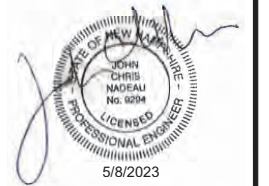
- NOTES:**
- INSTALLATION METHODS:
 - IN-GROUND MOUNT IS EMBEDDED INTO CONCRETE BASE.
 - FLANGE MOUNT HAS TWO 2.5" x 6" x .25" FEET - 4 ANCHORS.
 - IN-GROUND MOUNT, FOOT MOUNT, AND RAIL MOUNT MODELS ARE AVAILABLE.
 - SETBACKS:
 - WALL SETBACK: FOR RACKS SET PARALLEL TO THE WALL, A MINIMUM OF 24" SHOULD BE LEFT BETWEEN THE WALL AND THE RACK. 36" IS THE RECOMMENDED SETBACK. FOR RACKS INSTALLED PERPENDICULAR TO THE WALL, A 34" SETBACK IS THE MINIMUM DISTANCE. 42" IS RECOMMENDED.
 - DISTANCE BETWEEN RACKS: 24" IS THE MINIMUM DISTANCE BETWEEN RACKS. 36" IS RECOMMENDED.
 - STREET SETBACK: 24" IS THE MINIMUM DISTANCE BETWEEN THE STREET AND THE RACK. 36" IS RECOMMENDED.
 - ACCEPTABLE MANUFACTURERS:
 - PROVIDE BICYCLE RACKS MANUFACTURED BY DERO BIKE RACK CO., 504 MALCOLM AVENUE SE, SUITE 100, MINNEAPOLIS, MN 55414, 1-888-337-6729. FAX: 612-331-2731 WEBSITE: WWW.DERO.COM

BIKE RACK
 NOT TO SCALE

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 T(603) 224-4182
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NOT ISSUED
 FOR
 CONSTRUCTION

ROOSEVELT SCHOOL HOUSING

438 WASHINGTON STREET
 KEENE, NH 03431

APPLICANT:
 MONADNOCK AFFORDABLE HOUSING,
 CORP., AN AFFILIATE OF KEENE HOUSING
 831 COURT STREET
 KEENE, NH 03431

OWNER:
 COMMUNITY COLLEGE SYSTEM OF NEW
 HAMPSHIRE
 28 COLLEGE DRIVE
 CONCORD, NH 03301

NO.	DATE	DESCRIPTION
05/08/2023		RESPONSE TO CITY COMMENTS

REVISIONS

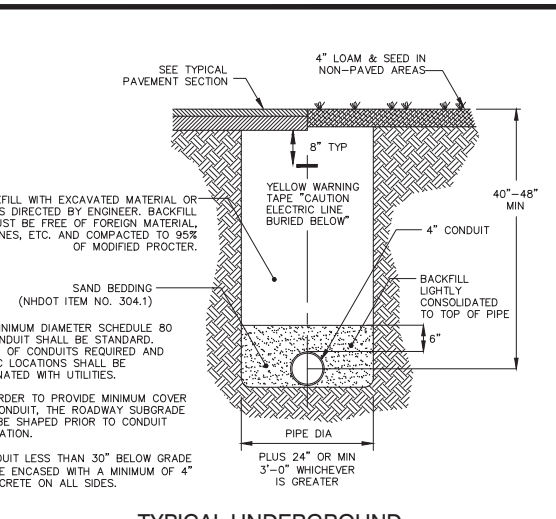
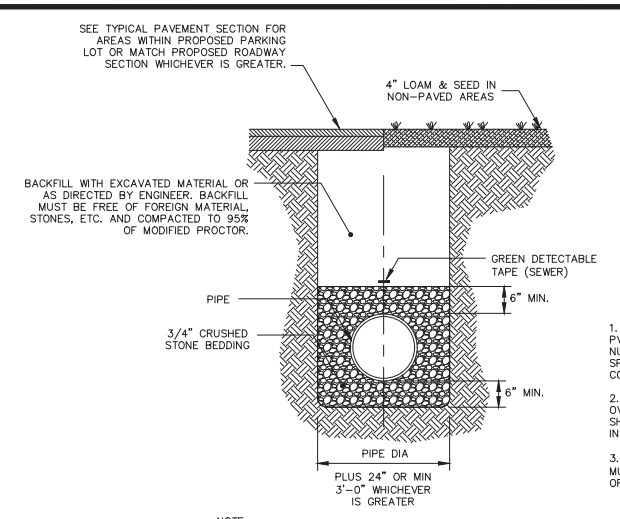
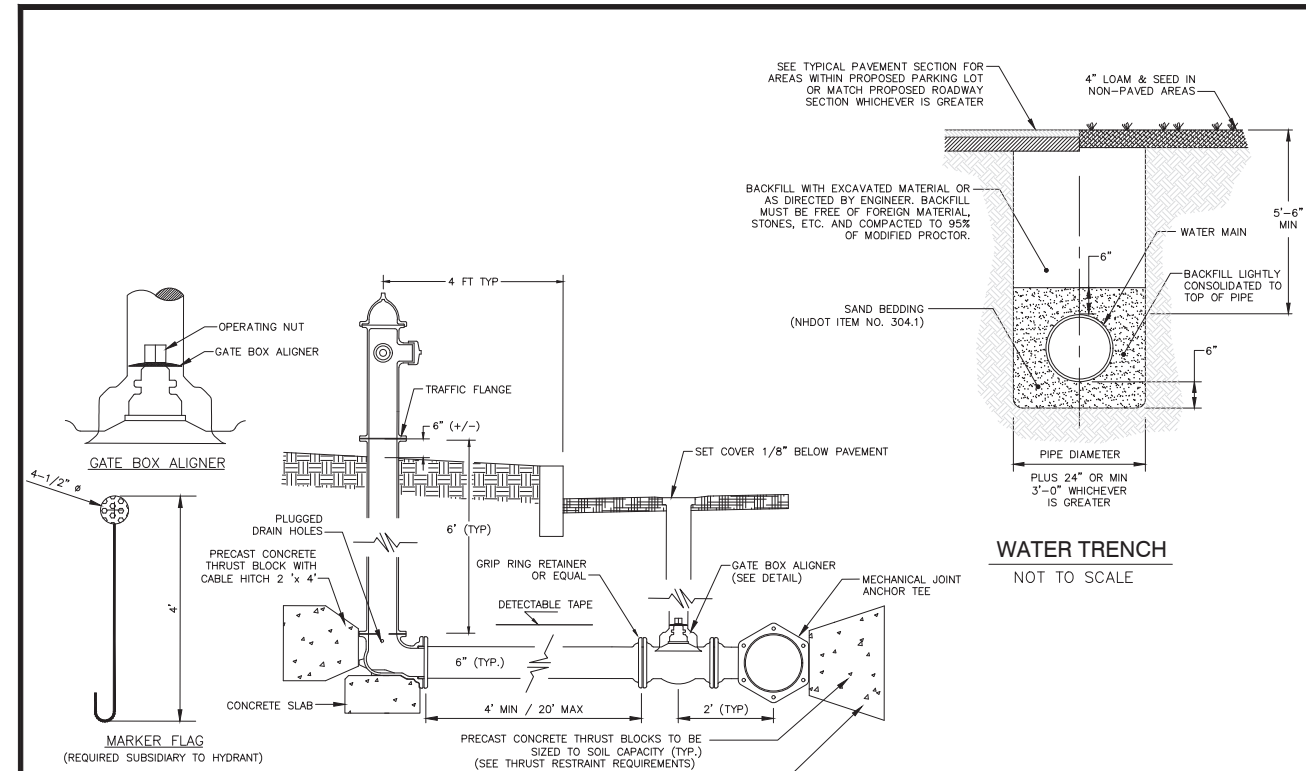
SCALE:
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DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-700-DETAILS.dwg

SHEET TITLE

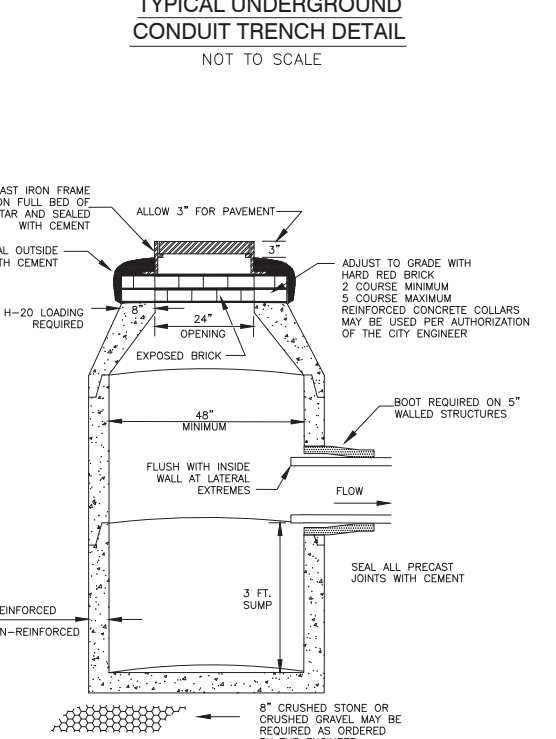
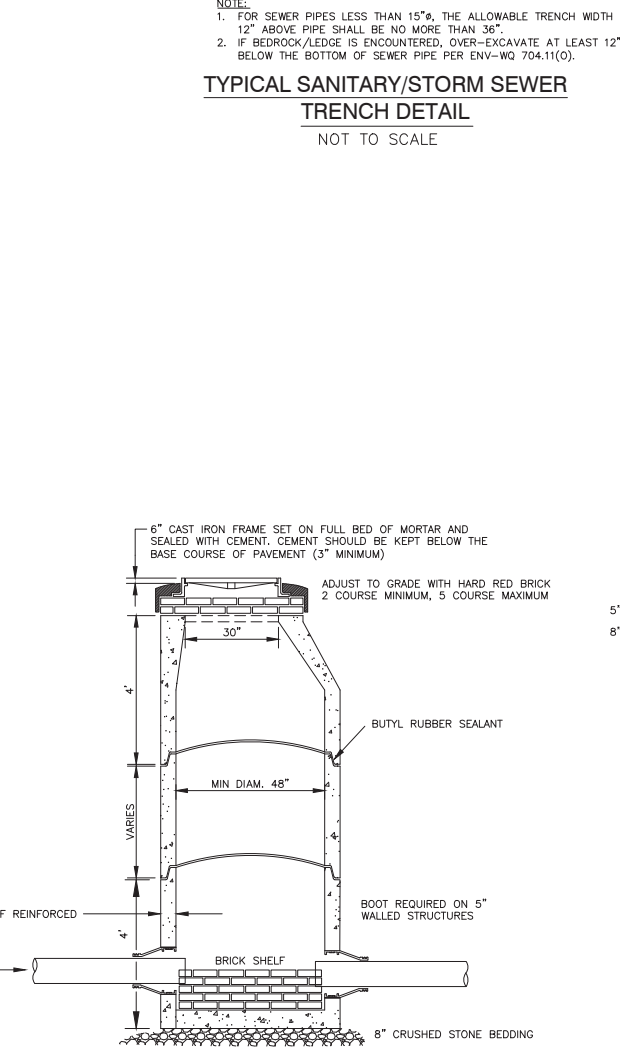
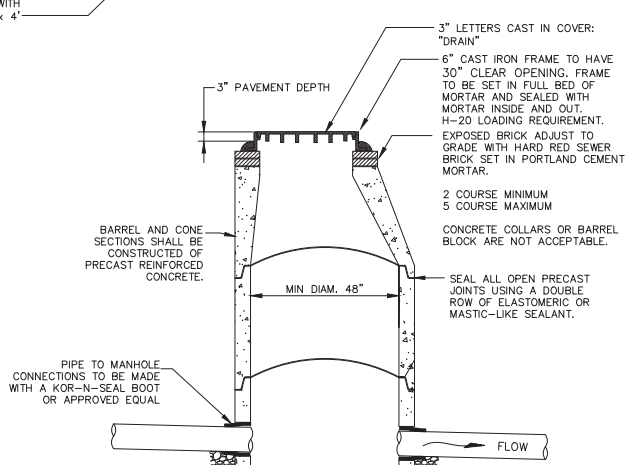
CONSTRUCTION DETAILS

SHEET
C-8



FIRE HYDRANT SPECS
 NOT TO SCALE

SERVICE PRESSURE	HYDRANT BARREL	HYDRANT DOME CAP	HYDRANT HOSE CAPS
LOW PRESSURE: (OBSOLETE)			
PUBLIC	OSHA ORANGE GLOSS YELLOW	OSHA ORANGE GLOSS YELLOW	OSHA ORANGE GLOSS YELLOW
PRIVATE	OSHA ORANGE GLOSS YELLOW	OSHA ORANGE GLOSS YELLOW	OSHA ORANGE GLOSS YELLOW
HIGH PRESSURE:			
PUBLIC	OSHA ORANGE GLOSS YELLOW	CHROME ALUMINUM	OSHA ORANGE GLOSS YELLOW
PRIVATE	OSHA ORANGE GLOSS YELLOW	CHROME ALUMINUM	OSHA ORANGE GLOSS YELLOW
EXTRA HIGH PRESSURE:			
PUBLIC	OSHA ORANGE GLOSS YELLOW	CHROME ALUMINUM	CHROME ALUMINUM
PRIVATE	OSHA ORANGE GLOSS YELLOW	CHROME ALUMINUM	CHROME ALUMINUM
NON POTABLE WATER SUPPLIES:			
PUBLIC	OSHA ORANGE GLOSS YELLOW	GLOSS GREEN	OSHA ORANGE GLOSS YELLOW
PRIVATE	OSHA ORANGE GLOSS YELLOW	GLOSS GREEN	OSHA ORANGE GLOSS YELLOW
HYDRANT MARKER FLAGS:			
PUBLIC	OSHA ORANGE GLOSS YELLOW		
PRIVATE	OSHA ORANGE GLOSS YELLOW		



THE MARKING AND PROPER MAINTENANCE OF BOTH PUBLIC AND PRIVATE FIRE HYDRANTS IS AN IMPORTANT REQUIREMENT OF BOTH THE UTILITIES DIVISION AND THE FIRE DEPARTMENT. HIGH VISIBILITY OF THE HYDRANT AND AN INDICATION OF THE PRESSURE SYSTEM TO WHICH THE HYDRANT IS CONNECTED ARE OF CONCERN TO THE RESPONDING FIRE UNITS. IN THE INTEREST OF GAINING UNIFORMITY AS WELL AS IMPROVING FIRE RESPONSE EFFECTIVENESS, BOTH DEPARTMENTS DECIDED THAT ALL HYDRANTS WOULD BE PAINTED ACCORDING TO THE FOLLOWING CODING SYSTEM:

MORTAR SHALL CONSIST OF:

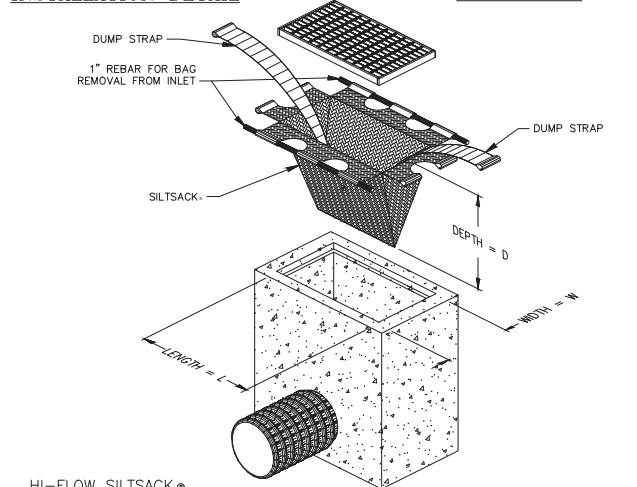
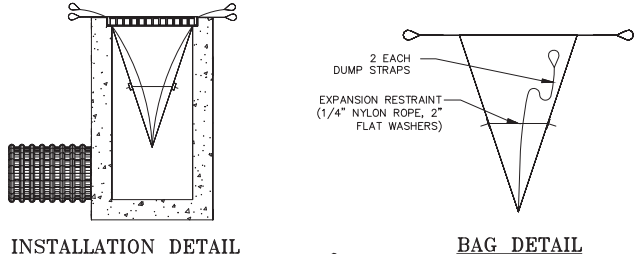
- 1.5 PARTS BY VOLUME - PORTLAND CEMENT (TYPE II, OR I/II).
- 4.5 PARTS BY VOLUME - DAMP WASHED COURSE MORTAR SAND.
- ENOUGH CLEAR DRINKABLE WATER TO PRODUCE THE CONSISTENCY OF A STIFF PASTE.

NOTES:

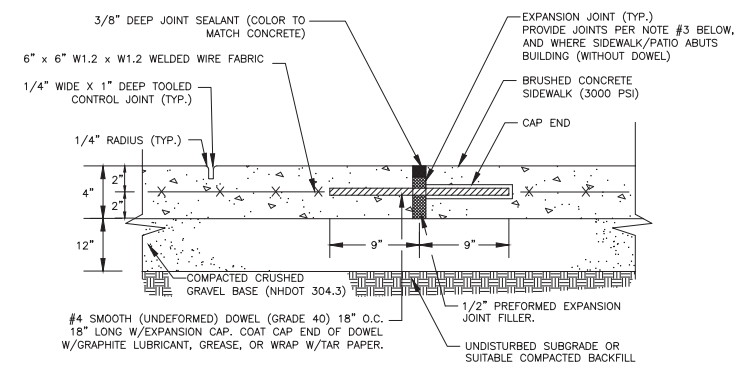
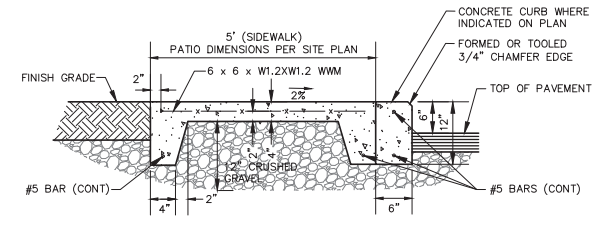
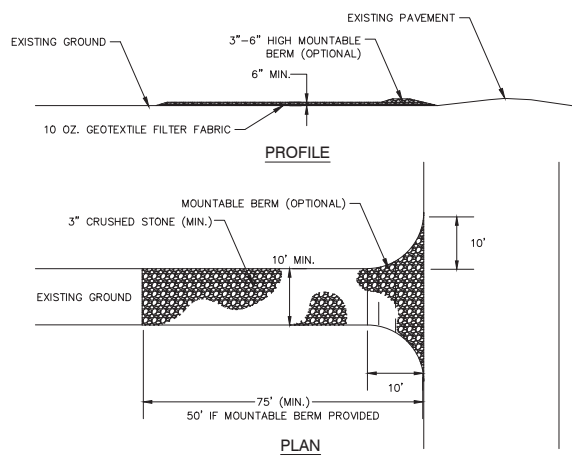
- CONCRETE: 4,000 PSI AFTER 28 DAYS. MANHOLE BARREL & CONE SECTIONS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PER ENV-WQ 704.12(O). H-20 LOADING REQUIRED.
- MANHOLE STEPS, IF REQUESTED/PERMITTED, SHALL COMPLY WITH ENV-WQ 704.14.
- MORTAR SHALL COMPLY WITH ENV-WQ 704.13(C).
- ON INSIDE OF STRUCTURE, PRE-CAST JOINTS SHALL BE SEALED WITH PORTLAND CEMENT.
- LEFT HOLES SHALL BE SEALED WITH PORTLAND CEMENT FLUSH WITH OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING.
- SEAL JOINTS BETWEEN PRE-CAST SECTIONS FOR WATER-TIGHTNESS USING DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT PER ENV-WQ 704.12(F).
- ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.
- MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE.

NOTES:

- 4" MINIMUM DIAMETER SCHEDULE 80 PVC CONDUIT SHALL BE STANDARD. NUMBER OF CONDUITS REQUIRED AND SPECIFIC LOCATIONS SHALL BE COORDINATED WITH UTILITIES.
- IN ORDER TO PROVIDE MINIMUM COVER OVER CONDUIT, THE ROADWAY SUBGRADE SHALL BE SHAPED PRIOR TO CONDUIT INSTALLATION.
- CONDUIT LESS THAN 30" BELOW GRADE MUST BE ENCASED WITH A MINIMUM OF 4" OF CONCRETE ON ALL SIDES.

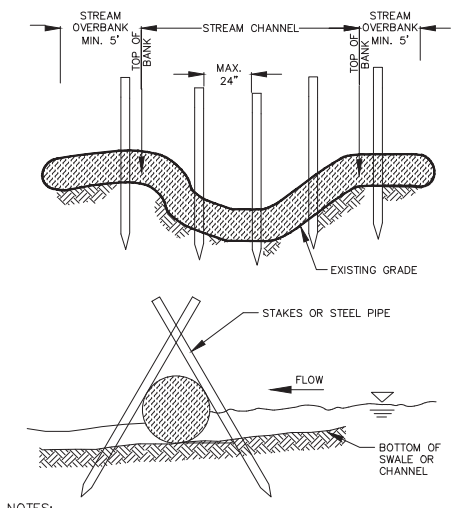
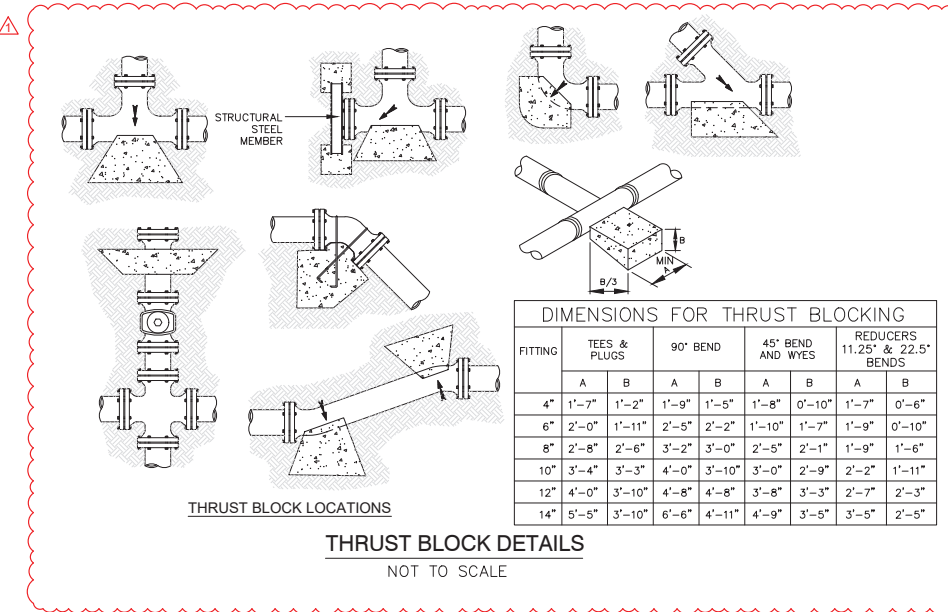
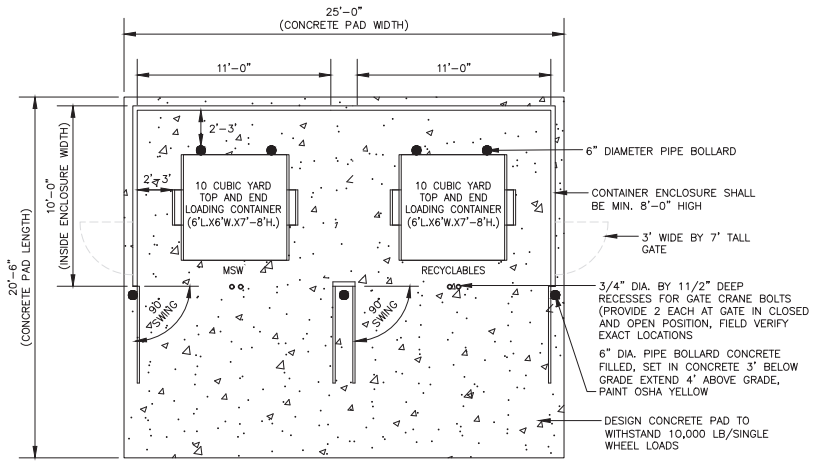


HI-FLOW SILTSACK DETAIL
 NOT TO SCALE

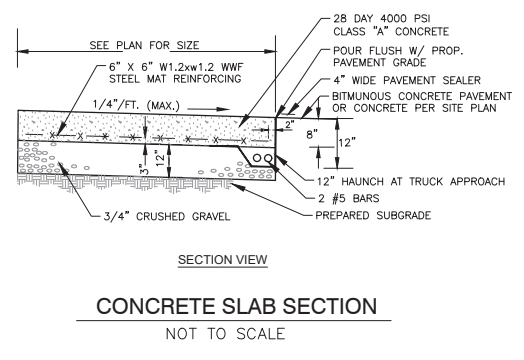


- NOTES:
 1. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL.
 2. CONTROL JOINTS TO BE LOCATED 5 FT. ON CENTER.
 3. EXPANSION JOINTS TO BE LOCATED 20 FT. ON CENTER.

BRUSHED CONCRETE SIDEWALK AND PATIO
 NOT TO SCALE



- NOTES:
 1. TEMPORARY SEDIMENT LOG (FILTREXX SILTSOXX OR APPROVED EQUAL) SHOULD BE LOCATED AS SHOWN ON EROSION CONTROL PLANS AND ACROSS ANY WATER COURSE DOWNSTREAM FROM THE CONSTRUCTION AREA.
 2. STAKE SHOULD BE INTERTWINED WITH THE OUTER MESH ONLY (ON THE DOWNSTREAM SIDE ONLY) AND PLACED A MINIMUM OF 610 MM (24") INTO GROUND.
 3. PROVIDE PERIODIC REMOVAL OF ACCUMULATED DEBRIS AND SEDIMENTS DURING CONSTRUCTION AND PRIOR TO DISMANTLING.



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STATE OF NEW HAMPSHIRE
 JOHN CHRIS NADEAU
 No. 9294
 LICENSED PROFESSIONAL ENGINEER
 5/8/2023

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 KEENE, NH 03431

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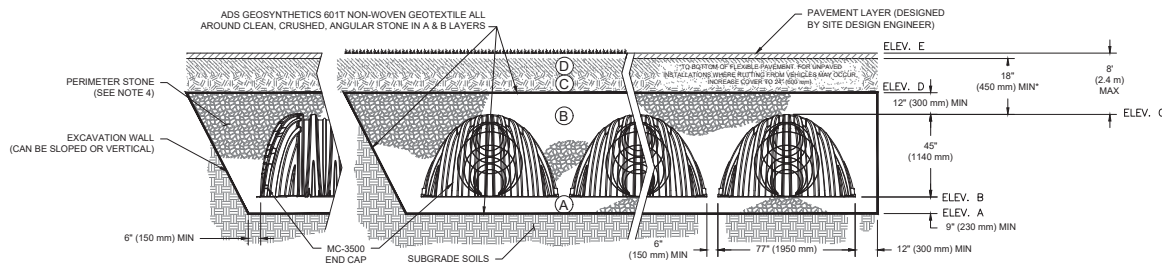
CONSTRUCTION DETAILS

SHEET
C-9

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

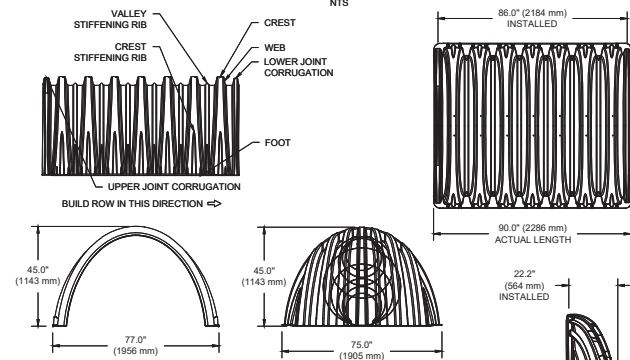


ELEV. A	ELEV. B	ELEV. C	ELEV. D	ELEV. E
499.0	499.75	503.5	504.0	507.9

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45476 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

MC-3500 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
77.0" X 45.0" X 86.0" (1956 mm X 1143 mm X 2184 mm)	109.9 CUBIC FEET (3.11 m ³)	175.0 CUBIC FEET (4.98 m ³)	134 lbs. (60.8 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
75.0" X 45.0" X 22.2" (1905 mm X 1143 mm X 564 mm)	14.9 CUBIC FEET (0.42 m ³)	45.1 CUBIC FEET (1.28 m ³)	49 lbs. (22.2 kg)

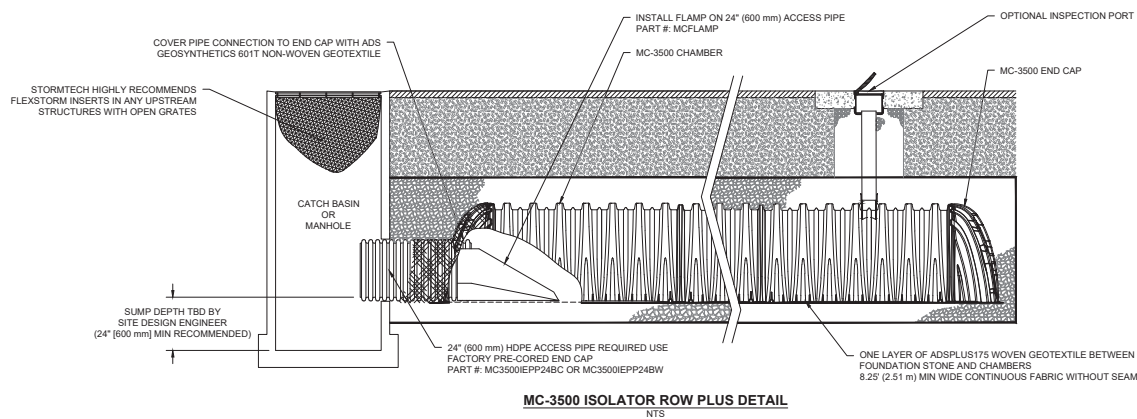
*ASSEMBLES 12" (305 mm) STONE ABOVE. 6" (229 mm) STONE FOUNDATION, 6" SPACING BETWEEN CHAMBERS. 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

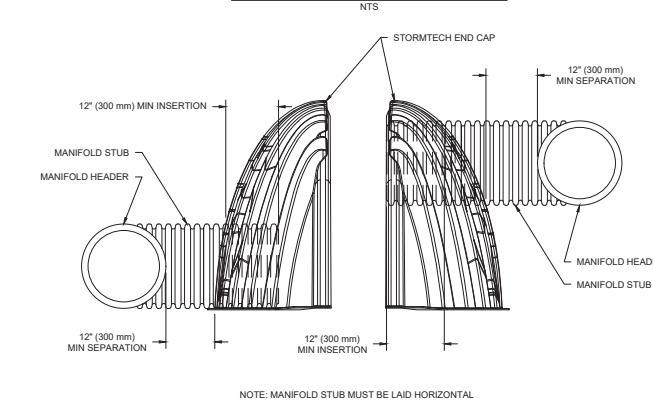
PART #	STUB	B	C
MC3500EPP06T	6" (150 mm)	33.21" (844 mm)	—
MC3500EPP06B	—	31.16" (791 mm)	0.66" (17 mm)
MC3500EPP08T	8" (200 mm)	—	0.81" (21 mm)
MC3500EPP08B	—	29.04" (738 mm)	—
MC3500EPP10T	10" (250 mm)	—	0.93" (24 mm)
MC3500EPP10B	—	26.36" (670 mm)	—
MC3500EPP12T	12" (300 mm)	—	1.35" (34 mm)
MC3500EPP12B	—	23.39" (594 mm)	—
MC3500EPP15T	15" (375 mm)	—	1.50" (38 mm)
MC3500EPP15B	—	20.03" (509 mm)	—
MC3500EPP18TC	18" (450 mm)	—	1.77" (45 mm)
MC3500EPP18TW	—	14.48" (368 mm)	—
MC3500EPP24TC	24" (600 mm)	—	2.06" (52 mm)
MC3500EPP24TW	—	—	2.75" (70 mm)
MC3500EPP24BC	—	—	—
MC3500EPP24BW	—	—	—
MC3500EPP30BC	30" (750 mm)	—	—

NOTE: ALL DIMENSIONS ARE NOMINAL

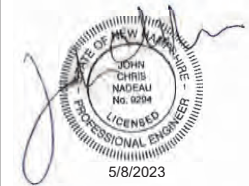
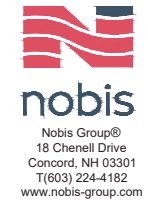
CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.



MC-SERIES END CAP INSERTION DETAIL



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.



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CONSTRUCTION DETAILS

SHEET
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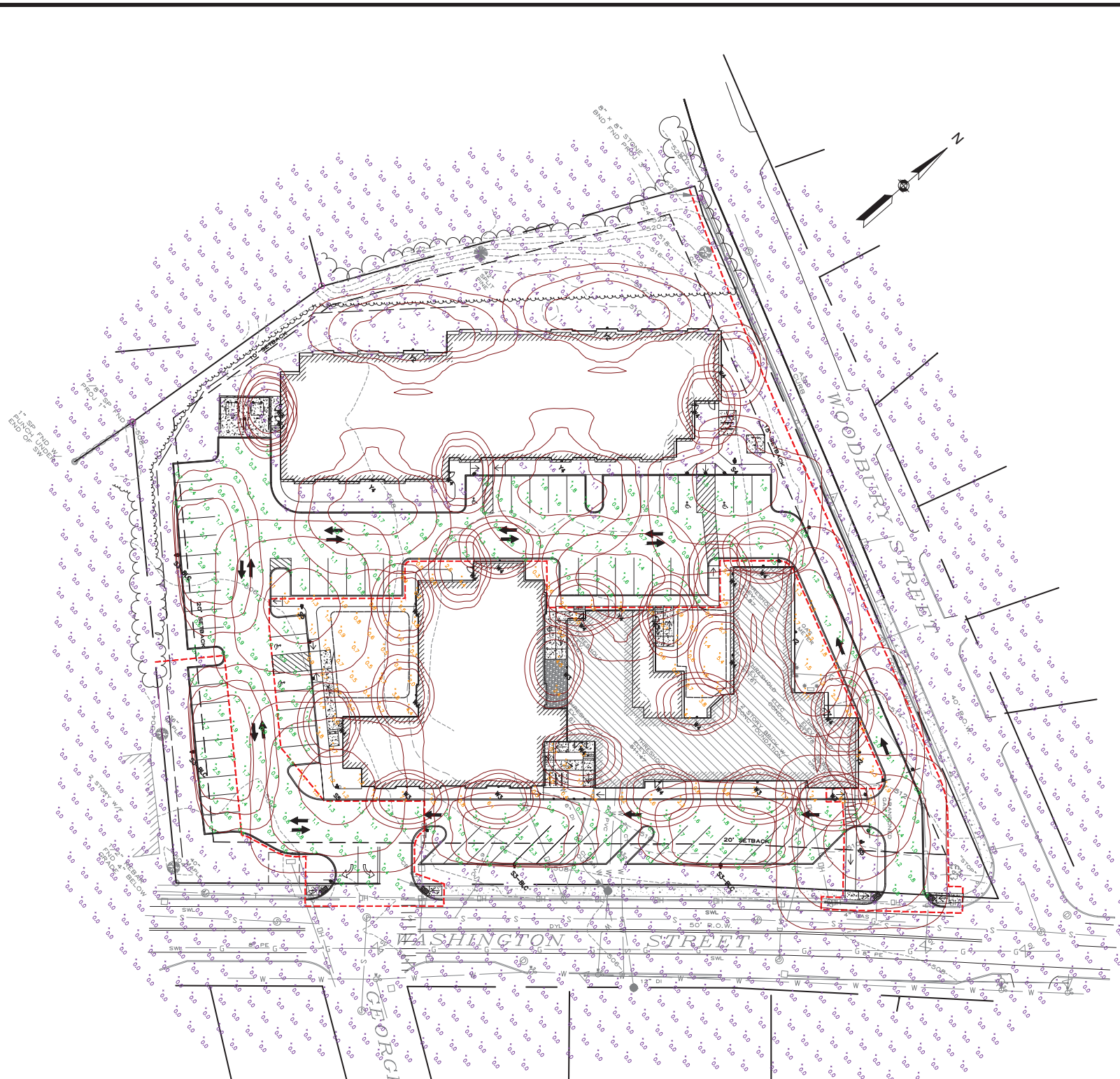
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SHEET TITLE

LIGHT PLAN

SHEET
L-1



Designer
 Heidi G. Connors
 Visible Light, Inc.
 24 Stickney Terrace
 Suite 6
 Hampton, NH 03842
Date
 5/10/2023
Scale
 1"=20'
Drawing No.
 Summary

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution
	S3-BLC	4	Lithonia Lighting	DSX0 LED P2 30K 80CRI BLC3 MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture Type 3 Extreme Backlight Control; mounted at 15ft (14ft pole on 1ft base)	LED	DSX0_LED_P2_30K_80CRI_BLC3.ies	3916	0.9	45.14	TYPE III, SHORT, BUG RATING: B0 - U0 - G2
	S4	1	Lithonia Lighting	DSX0 LED P2 30K 80CRI TFTM MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture; mounted at 15ft (14ft pole on 1ft base)	LED	DSX0_LED_P2_30K_80CRI_TFTM.ies	5501	0.9	45.14	TYPE IV, SHORT, BUG RATING: B1 - U0 - G3
	S5	3	Lithonia Lighting	DSX0 LED P2 30K 80CRI TSM MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture; mounted at 15ft (14ft pole on 1ft base)	LED	DSX0_LED_P2_30K_80CRI_TSM.ies	5621	0.9	45.14	TYPE V5, BUG RATING: B3 - U0 - G1
	W3	8	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VW MVOLT SRM DDBXD	WDGE1 LED Wallpack; mounted at 10ft	LED	WDGE1_LED_P2_30K_80CRI_VW.ies	1876	0.9	15.0178	TYPE II, VERY SHORT, BUG RATING: B1 - U0 - G0
	W4	16	Lithonia Lighting	WDGE1 LED P2 30K 80CRI VF MVOLT SRM DDBXD	WDGE1 LED Wallpack; mounted at 10ft	LED	WDGE1_LED_P2_30K_80CRI_VF.ies	1872	0.9	15.0178	TYPE II, VERY SHORT, BUG RATING: B1 - U0 - G0
	Y2	4	Lithonia Lighting	WDGE2 LED P4 30K 80CRI T2M MVOLT SRM DDBXD	WDGE2 LED Wallpack; mounted at 15ft	LED	WDGE2_LED_P4_30K_80CRI_T2M.ies	4063	0.9	46.6589	TYPE III, MEDIUM, BUG RATING: B1 - U0 - G1
	Y4	3	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFM MVOLT SRM DDBXD	WDGE2 LED Wallpack; mounted at 15ft	LED	WDGE2_LED_P4_30K_80CRI_TFM.ies	4002	0.9	46.6589	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Landscaping Around Building	+	1.9 fc	7.3 fc	0.2 fc	36.5:1	9.5:1	
Outside of Parking Lot	+	0.1 fc	9.4 fc	0.0 fc	N/A	N/A	
Parking Lot	+	1.2 fc	5.4 fc	0.2 fc	27.0:1	6.0:1	

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OWNER
 COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE
 28 COLLEGE DR.
 CONCORD, NH 03301
 P. (603) 344-9377

CONSTRUCTION MANAGER
 TBD

STRUCTURAL
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 48 CONSTITUTION DRIVE
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MECHANICAL/PLUMBING
 WY ENGINEERING
 11 KING COURT
 KEENE NH 03431
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ELECTRICAL
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 11 KING COURT
 KEENE NH 03431
 P. (603) 352-7007

PROGRESS - NOT FOR CONSTRUCTION

PLAN KEY:

PROJECT TITLE / ADDRESS:
 ROOSEVELT SCHOOL
 HOUSING PHASE 2
 438 WASHINGTON STREET
 KEENE, NH 03431

SCALE: AS NOTED DWN BY: CB
 JOB #: 3809 CHK BY: JH
 PRINT DATE: 5/8/2023 4:31:06 PM
 ISSUE DATE:

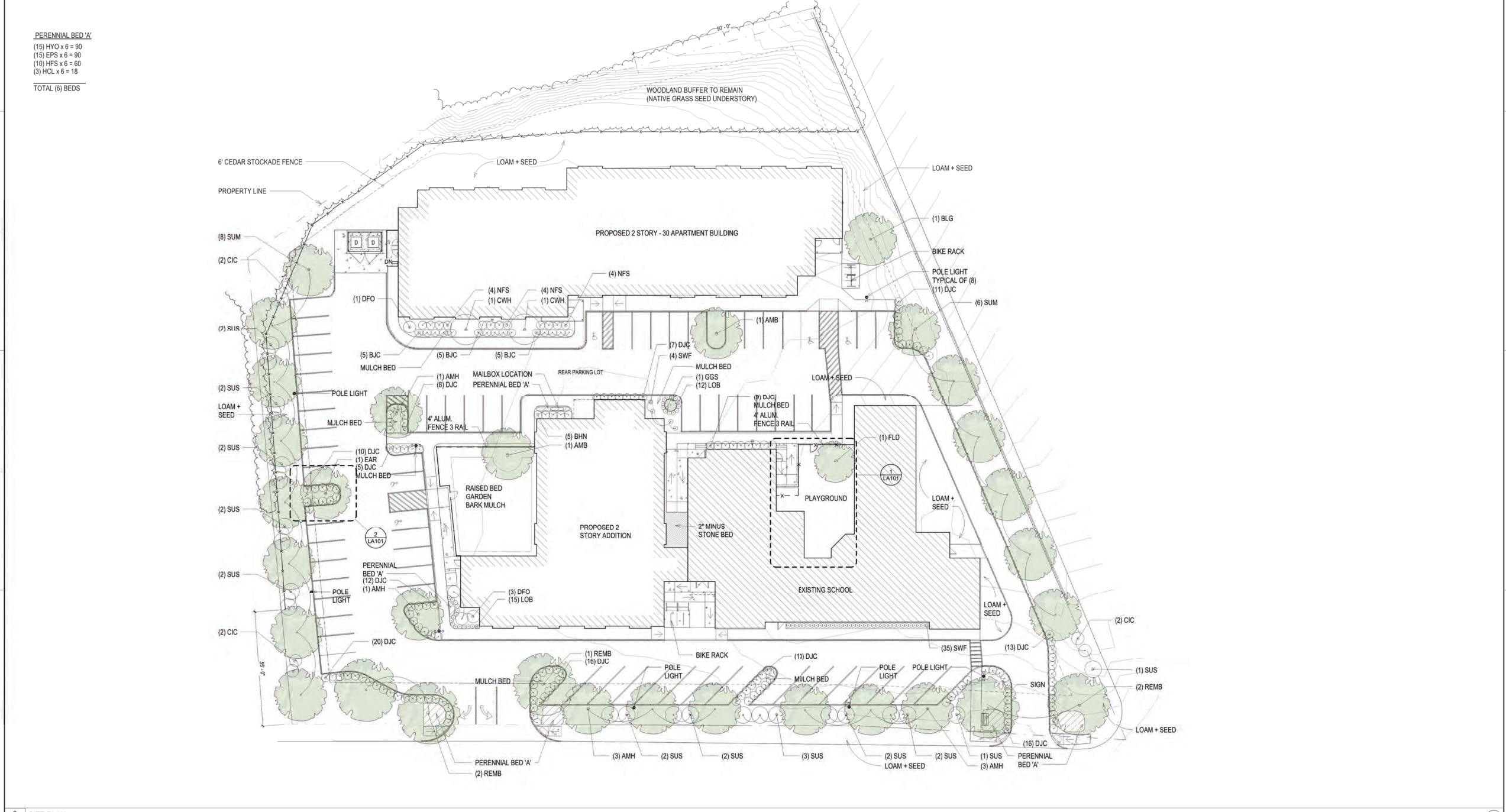
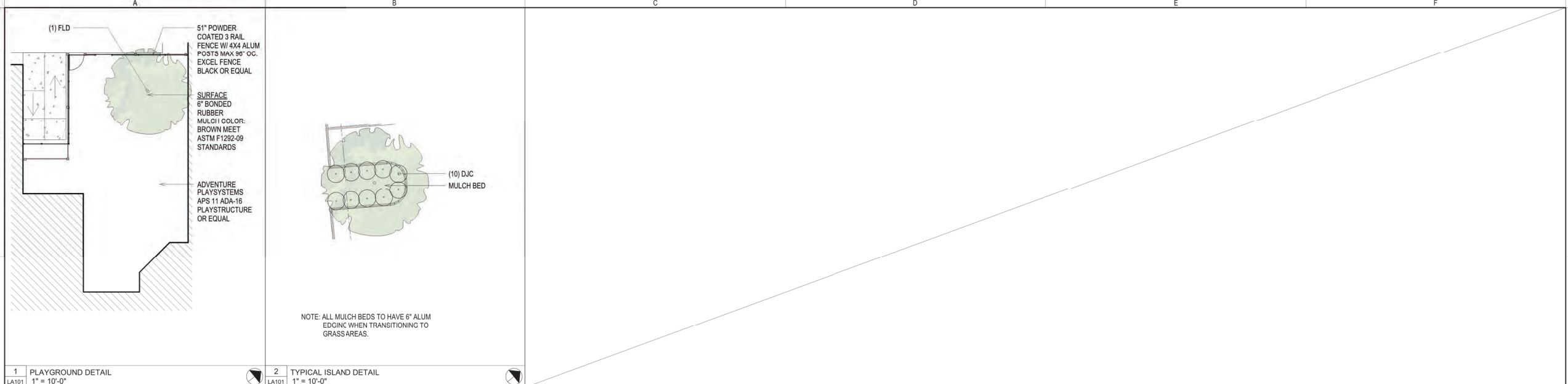
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REVISION	DATE	COMMENTS
1	Date 1	Revision 1

LANDSCAPE PLAN

LA101

SHEET NUMBER: 1 OF 6 ARCHITECTURAL
 82 of 105
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3 SITE PLAN
 A201 1" = 20'-0"

three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 one quarter inch = one foot
 three quarter inch = one foot
 one eighth inch = one foot
 one sixteenth inch = one foot

Autodesk Docs\3819 ROOSEVELT
 SCHOOL KEENE NH\3819\3819
 HOUSING PHASE 2\1/25/2019

3809 ROOSEVELT SCHOOL HOUSING - LANDSCAPE PLANTING SCHEDULE

Trees, Shrubs, Ground Cover, Flowers, Bedding and Seeding - See Specification, General Notes and Details on the Accompanying Drawings. Revised 04/01/2023

USDA Plant Hardiness Zones - NH North of Laconia Zone 4 - Southern NH Zone 5 - Western Massachusetts Zone 5 - Eastern Massachusetts Zone 6

Photo	Type	Sym	Qty	Common Name	Botanical Name	Hardiness Zone	Habit of Growth		Sun Exposure	Drought Tolerant	Native	Toxicity	Installed Size	Type	Use	Description & Notes (Height, Exposure, Bloom, Color)
							Height	Spread								
LARGE SHADE TREES																
	DECIDUOUS LARGE TREE	EAR	1	EASTERN REDBUD	CERCIS CANADENSIS	4-9	15'-30'	15'-25'	FULL SUN TO PARTIAL SHADE	YES	YES	3	4"+ CAL - 14' HGT MIN	B&B	Ornamental Tree	Rosy pink flowers appear in April. Reddish-purple leaves change to dark green, then to yellow. Forms a spreading, graceful crown. Full sun or light shade. Partial shade preferred in windy, dry areas. The roots of the Eastern Redbud can be contained in small spaces, and are not large and invasive. So, the Redbud is a good choice for a flowering tree in parking lots, along streets, and near sidewalks.
	DECIDUOUS LARGE TREE	AMH	8	AMERICAN HORNBEAM	CARPINUS CAROLINIANA VAR. FOREST PANSY	3-9	25'-50'	15'-25'	FULL SUN TO PARTIAL SHADE	NO	YES	4	4"+ CAL - 14' HGT MIN	B&B	Ornamental Tree	Rosy pink flowers appear in April. Reddish-purple leaves change to dark green, then to yellow. Forms a spreading, graceful crown. Full sun or light shade. Partial shade preferred in windy, dry areas.
	DECIDUOUS LARGE TREE	SUM	14	SUGAR MAPLE	ACER SACCHARUM VAR. TEMPLE UPRIGHT OR LEGACY MONUMENTALE	4-8	25'-50'	15'-25'	FULL SUN TO PARTIAL SHADE	YES	YES	3	4"+ CAL - 14' HGT MIN	B&B	Shade Tree	Sugar maple trees are well-known for the liquid gold that resides inside them: sap. Theirs is especially high in sugar content, which means not as much of it is needed in order to create maple syrup. On top of that, sugar maple trees add a dose of stunning beauty to any landscape, enlivening it even further once they change to a vibrant orange-red come fall.
	DECIDUOUS LARGE TREE	REMB	5	RED MAPLE	ACER RUBRUM VAR. BRANDYWINE	3-9	40'-60'	25'-35'	FULL SUN TO PARTIAL SHADE	YES	YES	1	4"+ CAL - 14' HGT MIN	B&B	Shade Tree	'Brandywine' has a brilliant red-purple autumn color. It produces only male flowers, so there are no fruits or nuisance seedlings. It has a significant level of tolerance to potato leafhopper, better than many commercially available red maple cultivars.
	DECIDUOUS ACCENT FLOWERING SMALL TREE	FLD	1	FLOWERING DOGWOOD	CORNUS FLORIDA	5-9	20'-40'	15'-25'	FULL SUN TO PARTIAL SHADE	YES	YES	1	3 1/2" CAL 10-12 FT HGT	B&B	Ornamental Tree	An excellent landscape choice for all four seasons, the white dogwood is a favorite in many yards and gardens. While "flowers" show their beauty in spring, foliage turns a vibrant red-purple in fall, and glossy red fruits attract winter songbirds for the enjoyment of all. This tree is a great option to plant near utility lines, next to larger buildings, or near patios.
	DECIDUOUS LARGE TREE	BLG	1	BLACK GUM	NYSSA SYLVATICA VAR. RED RAGE	4-9	30'-60'	20'-30'	FULL SUN TO PARTIAL SHADE	YES	YES	2	4"+ CAL - 14' HGT MIN	B&B	Shade Tree	Black gum (Nyssa sylvatica), or black tupelo, is a medium to large growing deciduous tree native to USDA zones 4 to 9. Few trees are able to compete with black gum in regard to summer and fall color. In September, its dark green foliage gives way to intense red fall color with hues of orange, yellow, and purple, which makes it a wonderful selection for home landscapes.
	DECIDUOUS LARGE TREE	AMB	2	AMERICAN HOPHORNBEAM	OSTRYA VIRGINIANA	3-9	30'-40'	25'-30'	FULL SUN TO PARTIAL SHADE	YES	YES	4	4"+ CAL - 14' HGT MIN	B&B	Shade Tree	American hophornbeam is a small understory tree of well-drained, deciduous forests that thrives on neglect. It is the upland equivalent to hornbeam (Carpinus caroliniana). Although American hophornbeam's fall color is not sensational, it helps to "soften" the autumn landscape.
	DECIDUOUS LARGE TREE	GGG	1	GINKGO 'GOLDSPIRE'	GINKGO BILOBA 'GOLDSPIRE'	4-9	12'-16'	5'-6'	FULL SUN TO PARTIAL SHADE	YES	YES	1	3 1/2" CAL	B&B	NA	Far more dense and narrowly pyramidal than most, Ginkgo Goldspire™, a French tree selection, is a highly ornamental, non-fruiting (male). Tolerant of air pollution, heat, and other environmental stresses, it stands out brilliantly in the small garden or as a street tree.
SMALL FLOWERING TREES - SHRUBS AND BUSHES																
	DECIDUOUS FLOWERING SHRUB	CIC	10	CINNAMON CLETHRA	CLETHRA ACUMINATA	5-7	10'-20'	6'-10'	FULL SUN TO FULL SHADE	YES	YES	4	7 GAL	CTN	NA	This small deciduous tree or multi-stemmed shrub is suitable as an understory plant in rich, acid woodlands. Cinnamon clethra will grow 6-12' tall and with age its outer bark exfoliates to reveal a cinnamon colored inner bark.
	EVERGREEN FLOWERING SMALL BUSH	SUS	19	SUMMERSWEET	CLETHRA ALNIFOLIA VAR. HUMMINGBIRD	4-9	6'-8'	8'-10'	FULL SUN TO PARTIAL SHADE	YES	YES	4	5 GAL	CTN	NA	A wide variety of butterflies and songbirds are attracted to summersweet clethra for its nectar and seeds. Native to the eastern United States, it provides exceptional four season interest with its lustrous green leaves in the spring, spiky white or pink fragrant summer flowers, golden yellow autumn leaves, and interesting, delicate dried seed capsules in winter.
	LOW GROWING SHRUB	SWF	4	SWEET FERN	COMPTONIA PEREGRINA	2-6	24"	24"	FULL SUN TO PARTIAL SHADE	YES	YES	0	5 GAL	CTN	NA	Easily grown in average, medium, well-drained soil in full sun to part shade. Adaptable plant that tolerates wet conditions and wind (including sheltered seashore areas), drought and a wide range of soils (prefers sandy, acidic loams, but tolerates poor soils). Does not transplant well. Once established, however, it can spread rapidly to form colonies.
	DECIDUOUS FLOWERING SHRUB	DFO	4	DWARF FOTHERGILLA	FOTHERGILLASP VAR. MOUNT AIRY BLUE	6-8	6'-6"	6'-6"	FULL SUN TO PARTIAL SHADE	NO	YES	0	7 GAL	CTN	NA	A deciduous shrub with deep blue-green leaves that have sparsely range of fall color. Showy, honey-scented, bottlebrush-like, white flowers appear before foliage emerges in spring. A beautiful addition to the landscape in semi-shaded mixed shrub borders, or as a background shrub, or hedge plant.
	DECIDUOUS FLOWERING SHRUB	CWH	2	COMMON WITCH HAZEL	HAMAMELIS VIRGINIANA	3-9	15'-20'	15'-25'	FULL SUN TO PARTIAL SHADE	YES	YES	4	5 GAL	CTN	NA	Common witch-hazel is a large shrub with a picturesque irregular branching habit that naturally grows along woodland edges. The large, rounded, dark green leaves often hang onto the winter branches. The yellow strap-like flowers of this native shrub are among the last blooms to appear in fall, but are often hidden by the leaves.
	DECIDUOUS FLOWERING SHRUB	BHN	5	WEIGELA SHRUB	WEIGELA FLORIDA sonic bloom pink	4-8	4'-5'	4'-5'	FULL SUN	YES	YES	1	5 GAL	CTN	NA	Get the strongest reblooming weigela on the market today with Sonic Bloom® Pink weigela (Weigela florida). Weigela is an undemanding deciduous shrub that is easy to grow. Recent breeding has brought us this colorful selection featuring a floriferous display of showy 1 1/2" funnel-shaped blooms each season. Sonic Bloom® Pink forms clusters of hot pink buds that open to pink late spring.
	LOW EVERGREEN	BJC	15	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	3-9	12"	4'-6"	FULL SUN TO PARTIAL SHADE	YES	YES	3	5 GAL	CTN	NA	A superior low evergreen shrub that displays beautiful silver-blue foliage on a widely spreading habit. The deer resistant foliage retains its rich color all year long. A durable, tough groundcover for edging driveways. Plant on slopes or along retaining walls for erosion control.
	LOW EVERGREEN	DJC	140	Dwarf Creeping Juniper	Juniperus procumbens 'Nana'	4-9	6'-12"	4'-6"	FULL SUN TO PARTIAL SHADE	YES	YES	3	5 GAL	CTN	NA	Dwarf creeping juniper forms a compact mat of bluish green foliage with a feathery texture. The fine-tipped branches grow over each other, and vary in length. The scales can have a slightly purple tinge in winter. It is a very pretty spreading juniper.
	EVERGREEN FLOWERING SMALL BUSH	LOB	27	LOWBUSH BLUEBERRY	VACCINIUM ANGUSTRIFOLIUM	2-7	2'-3"	18"-24"	FULL SUN TO PARTIAL SHADE	NO	YES	0	7 GAL	CTN	NA	Wild lowbush blueberries have always called New Hampshire home. These small, flavor and nutritious berries are common in abandoned fields, in succession forests, on mountaintops, and along roadsides. They grow best in well-drained, gravelly soils with a surface layer of organic "duff" and a pH of 4.0 to 5.0. They won't thrive under a forest canopy that offers dense shade.
	Deciduous Flowering Shrubs	NFS	8	Neon Spirea	Spirea Japonica 'Neon Flash'	4-9	3'-4'	3'-4'	Full Sun	YES	YES	NO	5 Gal	CTN	NA	Bright neon red flowers appear over a long period and are offset by a neat mound of rich green foliage that becomes dark burgundy in fall. Creates a colorful low hedge or mass planting. Deciduous.
PERENNIALS AND ANNUAL COLOR																
	SEASONAL COLOR	HYO	90	HYACINTHS (40) bulb count	HYACINTHUS ORIENTALIS	3-9	6-10"	6"	FULL SUN	YES	NO	4	1 YR POTTED	2 qt.	-	Mixture The Pinks is a selection of Hyacinth bulbs in every shade of pink, which is perfect for mass plantings, containers, parks and gardens. Hyacinths bloom for an extended period of time and combine very well with early flowering tulips. Their length is about 10 inches tall and they flower mid spring.
	PERENNIAL	HCL	18	HIDECOAT LAVENDER	LAVENDULA ANGSTUFOLIA	5-9	18-24"	18-24"	FULL SUN TO PARTIAL SHADE	YES	YES	4	1 YR POTTED	1 gal.	-	Hidcote' is a compact English Lavender that grows only 18-24 inches tall, with highly fragrant, deep purple-blue flowers. Excellent for both fresh and dried bouquets, this lavender attracts bees and butterflies but repels deer and rabbits. Perfect for hot, dry sites and drought tolerant once established.
	SEASONAL COLOR	EPS	90	PURPLE CORNFLOWER	Echinacea purpurea 'Bright Star'	3-8	24-48"	12-18"	FULL SUN - PARTIAL SHADE	YES	YES	3	1 YR POTTED	2 qt.	-	Echinacea purpurea, commonly called purple coneflower, is a coarse, rough-hairy, herbaceous perennial that is native to moist prairies, meadows and open woods of the central to southeastern United States. Easily grown in average, dry to medium, well-drained soil in full sun to part shade. Best in full sun. An adaptable plant that is tolerant of drought, heat, humidity and poor soil. Divide clumps when they become overcrowded (about every 4 years). Plants
	PERENNIAL	HFS	60	Daylily	Hemerocallis flava - 'Stella De Oro Dwarf'	4-11	36"	18"	Full-Partial Sun	YES	NO	1	1 YR POTTED	2 qt.	-	Sensational, award-winning selection that blooms with heavy clusters of 2-1/2 in. yellow blooms. Reblooms freely into early fall. This easy to care for plant forms neat, compact clumps. Herbaceous. S/PSH, June/July, Lemon Yellow - Planted in front of southern evergreen screen.
GRASSES																
	Seed Lawn	SFL	NA	Seeded Ornamental Fine Lawn Mix	(Kentucky Bluegrass and Creeping Red Fescue Blend) 1lb/1900sf @ \$19/lb	3-9	8"	NA	Full to Partial Shade	YES	YES	0	SEED MIX	-	-	Lofts Seed Company' or approved equal. Species: 70% tall fescue - Festuca arundinacea, 30% creeping red fescue - festuca rubra. Fine Grade, fertilize, seed and Hydromulch. Seed Rate: 5 lbs/1,000 sf of seed 10% if hydroseed. Seed Dates April 15 - June 30 and August 15 - October 15 unless approved otherwise.
	Seed Meadow	NGS	NA	Native Grass Seed Mix by American Meadows	SKU# AM016056 1lb/1500sf @ \$34/lb	3-7	24"	NA	Full Sun	YES	YES	0	SEED MIX	-	-	This mixture is made up of warm and cool-season grasses that are native to the Northeast and will be a hardy, long-lasting solution to any area. Fine Grade, fertilize, seed and Hydromulch. Seed Rate: 25 lbs/1,000 sf of seed 10% if hydroseed. Seed Dates April 15 - June 30 and August 15 - October 15 unless approved otherwise.
GENERAL PLANTING NOTES																
<p>1. The above selection of plants is provided for design intent. It is understood that the final installation and implementation of this plan is subject to plant availability, substitutions, time of year, phasing and cost.</p> <p>2. It is understood, that the majority of nursery plants are to some degree toxic to humans and pets, whether the root, stock, bark, leaf, fruit or juice. The owner and installer should become acquainted to the potential toxicity of the ultimate selection of all nursery plants. Warrenstreet has provided common toxicity labels of plant materials selected and in noway warrants effects of any plants selected and installed.</p> <p>3. All planting beds shall be mulched with a minimum of 2" of shredded cedar "BLACK" bark mulch. All sod and/or seeded lawn areas to have minimum 6" topsoil blanket. All fall bulbs shall be planted in the fall, plan accordingly, retanage will be held until plantings occur. All mass planted shrubs beds and planters around building shall have minimum 18" deep topsoil blanket to compensate for the New England very sandy granular sub-grade material.</p> <p>4. All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-2014. All plantings shall be warranted for (1) one year from planting date. The landscape Contractor shall be responsible for two (2) lawn mowings and weedings prior to final acceptance of installation.</p>																

2 three inches = one foot
 3 one inch = one foot
 4 three quarter inch = one foot
 5 one eighth inch = one foot



WARRENSTREET ARCHITECTS
 27 Warren Street Concord NH 03301
 T 603 225 0640 F 603 225 0621 www.warrenstreet.com
 OWNER: COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE
 28 COLLEGE DR. CONCORD, NH 03301 P. (603) 344 5377
 CONSTRUCTION MANAGER: TBD
 STRUCTURAL: TMCORAN 48 CONSTITUTION DRIVE BEDFORD NH 03110 P. (603) 472-4488
 MECHANICAL/PLUMBING: HW ENGINEERING 11 KING COURT KEENE NH 03431 P. (603) 352-7007
 ELECTRICAL: HW ENGINEERING 11 KING COURT KEENE NH 03431 P. (603) 352-7007

PLAN KEY:
 PROJECT TITLE / ADDRESS:
ROOSEVELT SCHOOL HOUSING PHASE 2
 438 WASHINGTON STREET
 KEENE, NH 03431

SCALE: AS NOTED DWN BY: Author
 JOB #: 3809 CHK BY: Checker
 PRINT DATE: 5/8/2023 4:31:08 PM
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PLANTING SCHEDULE
LA102
 SHEET NUMBER OF 6 ARCHITECTS
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PROGRESS - NOT FOR CONSTRUCTION

PLAN KEY:

PROJECT TITLE / ADDRESS:
**ROOSEVELT SCHOOL
 HOUSING PHASE 2**

438 WASHINGTON STREET
 KEENE, NH 03431

SCALE: AS NOTED DWN BY:
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LANDSCAPE STANDARD
 DETAILS

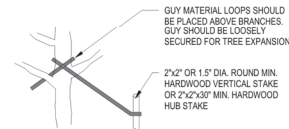
LA104

SHEET NUMBER: 4 OF 6 ARCHITECTURAL
 05 of 105

PROGRESS - NOT FOR CONSTRUCTION

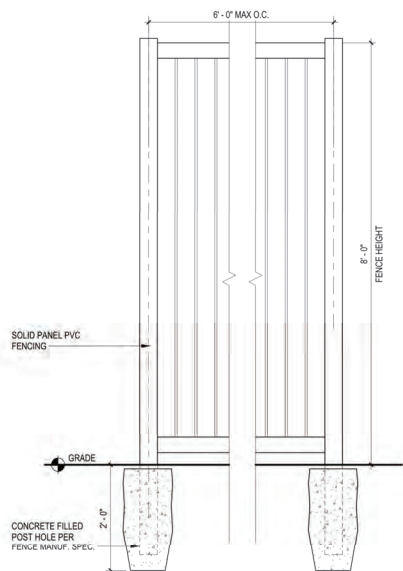
PLANTING DETAIL GENERAL NOTES

- GUYING & STAKING TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE NECESSITY OF GUYING & STAKING.
- SPECIMENS WITH < 2" CALIPER TO BE STAKED. STAKING FOR SPECIMENS W/ > 2" CALIPER TO BE DETERMINED IN FIELD.
- ONLY WRAP TREE TRUNKS IF SPECIFIED BY LANDSCAPE ARCHITECT.
- SPECIMENS SHALL BE SET PLUMB AFTER SETTLEMENT.
- TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.
- CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO PUBLIC RIGHT-OF-WAY TO BE PLANTED A MIN. OF 10'-0" FROM EDGE OF CITY SIDEWALK.
- ALL NURSERY TAG, TAPE & SIMILAR MATERIALS TO BE REMOVED.



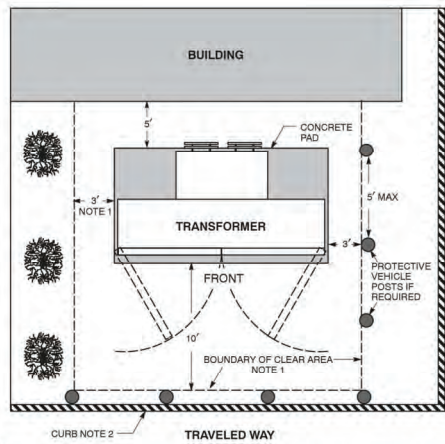
NOTE: ONLY USE PLASTIC CHAINLOCK (LANDSCAPE QUALITY & SUITABLE FOR GUYING TREES) OR EQUAL GUYING MATERIAL.

1 DECIDUOUS TREE - GUYING & STAKING
 3/4" = 1'-0"



2 PVC PANEL FENCING
 3/4" = 1'-0"

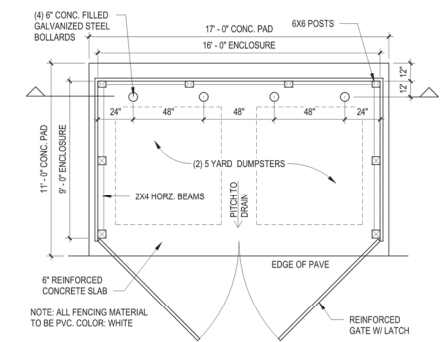
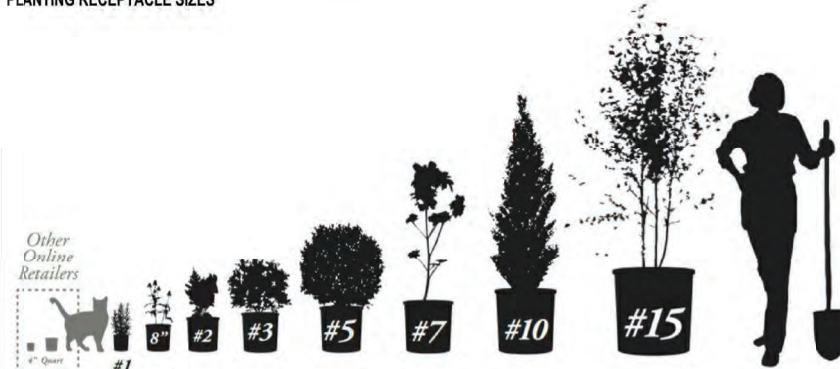
TRANSFORMER PAD & CLEARANCES



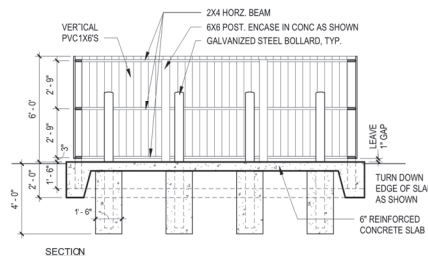
Notes

- To inspect, provide access, operate elbow connectors and ventilate the transformer, the above specified clear area distances to buildings or shrubs shall be maintained. The distance from the building to the concrete transformer pad. Property line shall be considered an obstruction, since fences, shrubs, etc. may be installed at a future date by adjacent property owners. Because of the possibility of cooling fins overhanging the pad, side clearances to be increased to 5 feet for transformers 1000 kVA and larger.
- If no curb exists, or transformer is located closer than 10 feet to the traveled way, protective vehicle posts (⊙) shall be installed as specified in DTR 42.061.
- Top of transformer pad shall be installed 3 inches above final grade.
- Transformer shall not be located on steep grades where access to or elbow operation is made difficult.
- Transformer shall meet the minimum distances to doors, windows, fire escapes, air intakes and walls as specified in DTR 42.061.
- Transformer is *not* to be located with its doors facing the building.
- Refer to DTR 58.301 for specific instructions on the installation of the transformer pad.
- Refer to DSEM Section 06.32 and DTR 58.511 (NH) for information on environmental considerations.

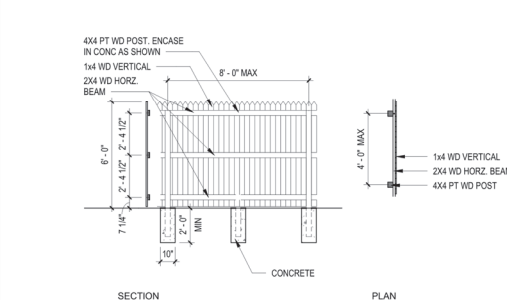
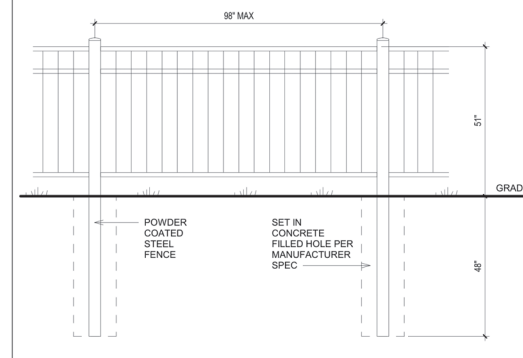
PLANTING RECEPTACLE SIZES



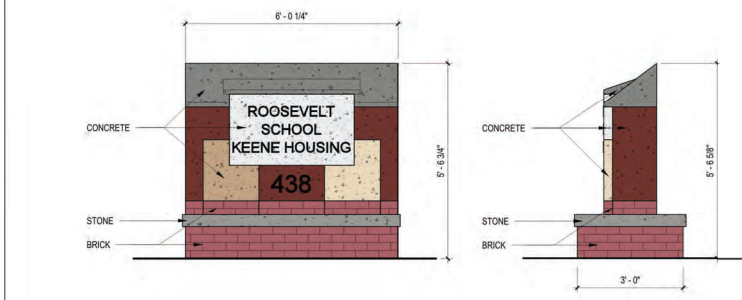
3 LA - DUMPSTER ENCLOSURE
 1/4" = 1'-0"



4 3 RAIL FENCE DETAIL
 1/2" = 1'-0"



5 CEDAR STOCKADE FENCE
 1/4" = 1'-0"



6 ENTRANCE SIGN
 1/2" = 1'-0"



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**ROOSEVELT SCHOOL
 HOUSING**

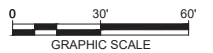
438 WASHINGTON STREET
 KEENE, NH 03431

APPLICANT:
 MONADNOCK AFFORDABLE HOUSING,
 CORP., AN AFFILIATE OF KEENE HOUSING
 831 COURT STREET
 KEENE, NH 03431

OWNER:
 COMMUNITY COLLEGE SYSTEM OF NEW
 HAMPSHIRE
 28 COLLEGE DRIVE
 CONCORD, NH 03301

NO.	DATE	DESCRIPTION
△ 05/08/2023		RESPONSE TO CITY COMMENTS

REVISIONS

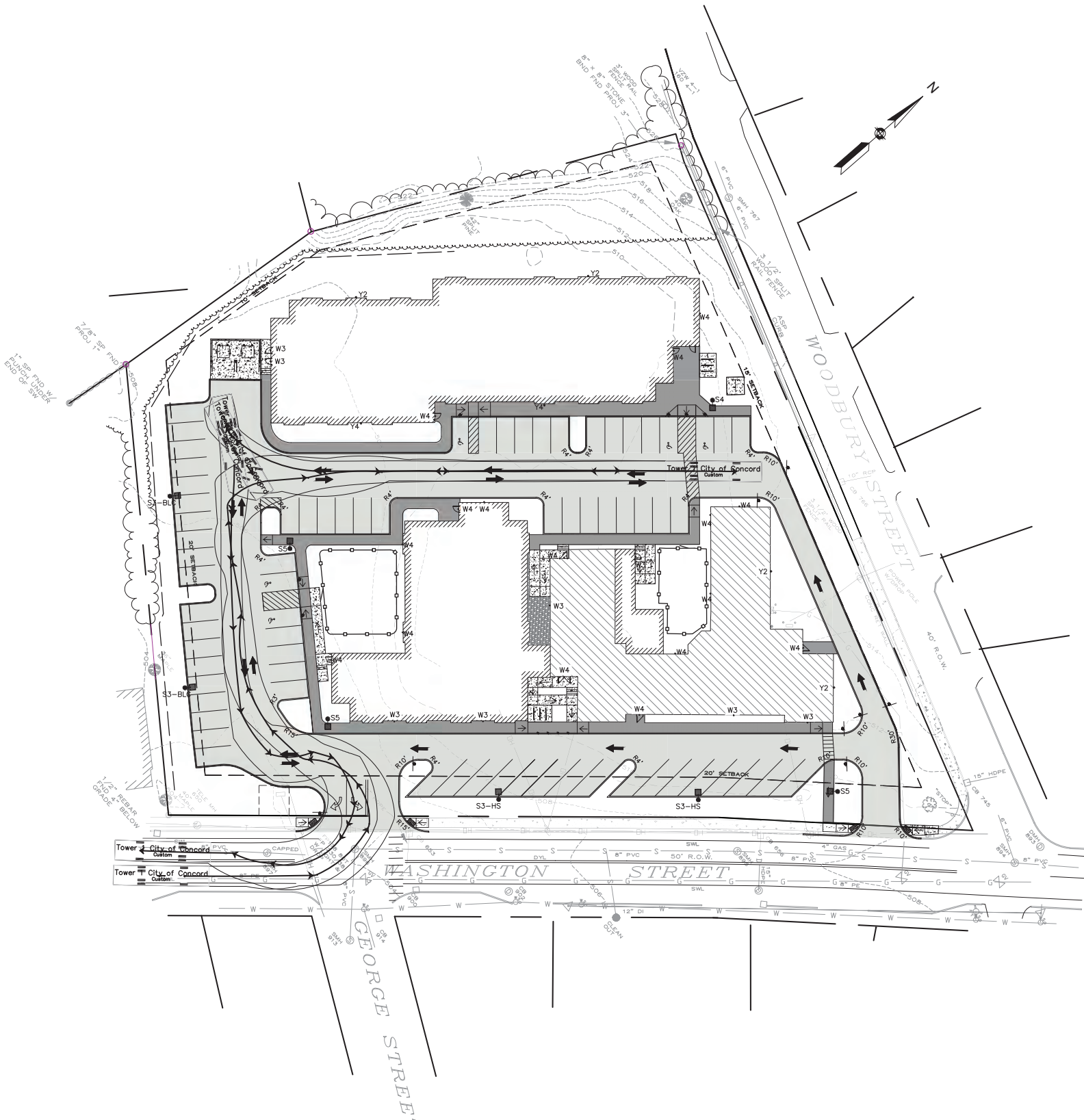


DATE:	APRIL 12, 2023
NOBIS PROJECT NO.	100569.000
DRAWN BY:	EAL/MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100569.000-C-200-SITE.dwg

SHEET TITLE

**FIRE TRUCK
 TURNING**

SHEET
EXHIBIT -A



J:\100569.000-Roosevelt_School_Keene_NH\CAD\DWG\100569.000-C-200-SITE.dwg 5/10/2023 1:21 PM

OWNER
 COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE
 28 COLLEGE DR.
 CONCORD, NH 03301
 P. (603) 344-5377

CONSTRUCTION MANAGER
 TBD

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

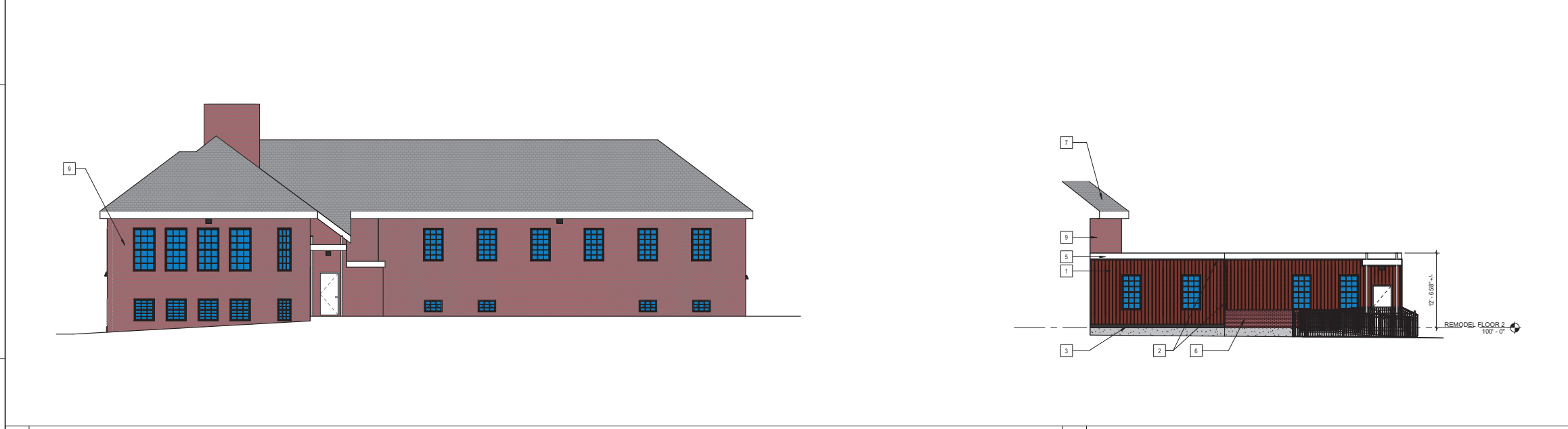
- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- Ⓢ WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	8" VINYL BOARD AND BATTEN
2	1x3 PVC TRIM
3	1x6 PVC TRIM
4	2" VINYL CLAPBOARD
5	1x1/2 PVC FASCIA
6	BRICK CLADDING
7	ASPHALT SHINGLES
8	18" STANDING SEAM METAL ROOF
9	EXISTING BRICK
10	CONCRETE



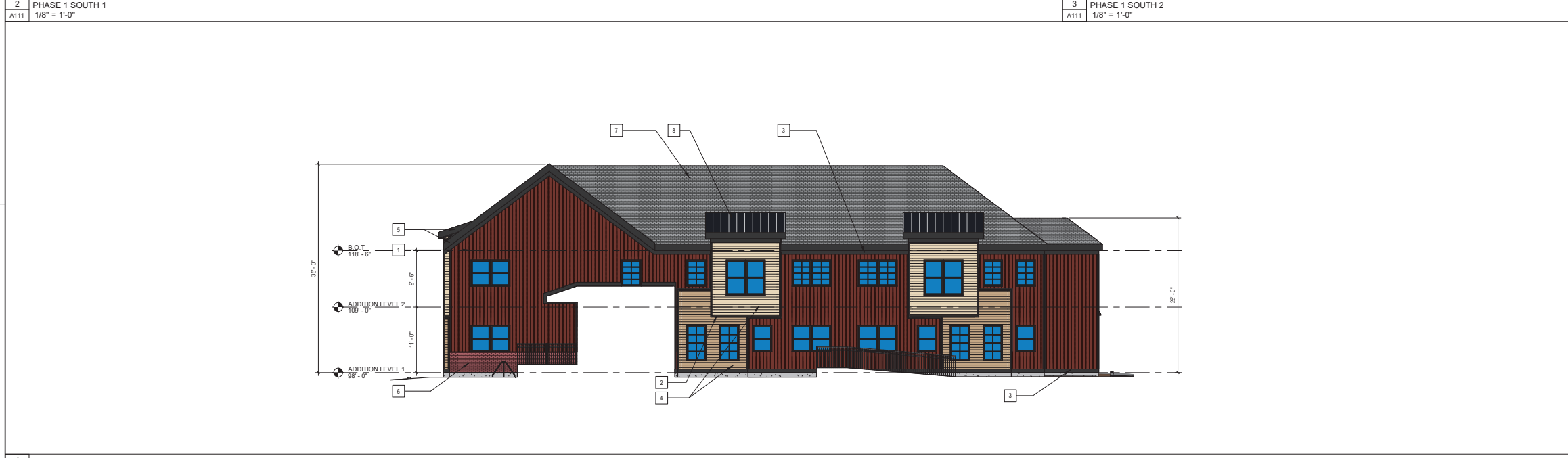
1 PHASE 1 EAST
 A111 1/8" = 1'-0"



2 PHASE 1 SOUTH 1
 A111 1/8" = 1'-0"

3 PHASE 1 SOUTH 2
 A111 1/8" = 1'-0"

TO BE EDITED



4 PHASE 1 SOUTH 3
 A111 1/8" = 1'-0"

PLAN KEY:

PROJECT TITLE / ADDRESS
 ROOSEVELT SCHOOL
 HOUSING PHASE 1

438 WASHINGTON STREET
 KEENE, NH 03431

SCALE: AS NOTED DWN BY: Author
 JOB #: 3809 CHK BY: Checker
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 ISSUE DATE:

NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

A201
 SHEET NUMBER OF 7 ARCHITECTS
 87 of 105

PROGRESS - NOT FOR CONSTRUCTION

Autodesk Docs (03/19) ROOSEVELT
 SCHOOL KEENE HOUSING PHASE 1
 HOUSING PHASE 1 11/12/2019

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CONSTRUCTION MANAGER
 TBD

GENERAL ELEVATION NOTES

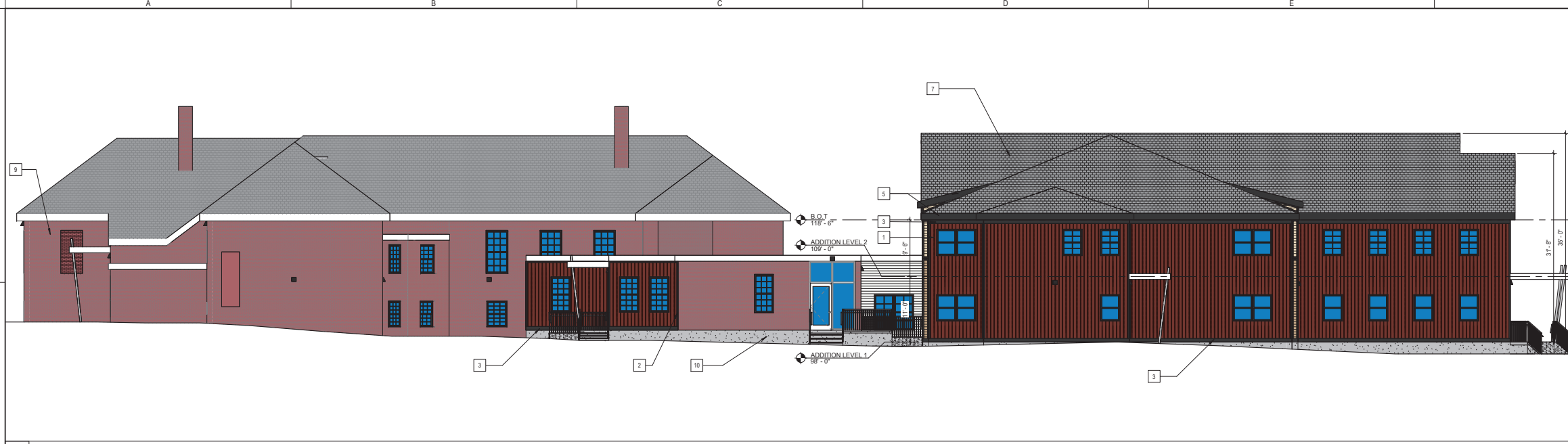
1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

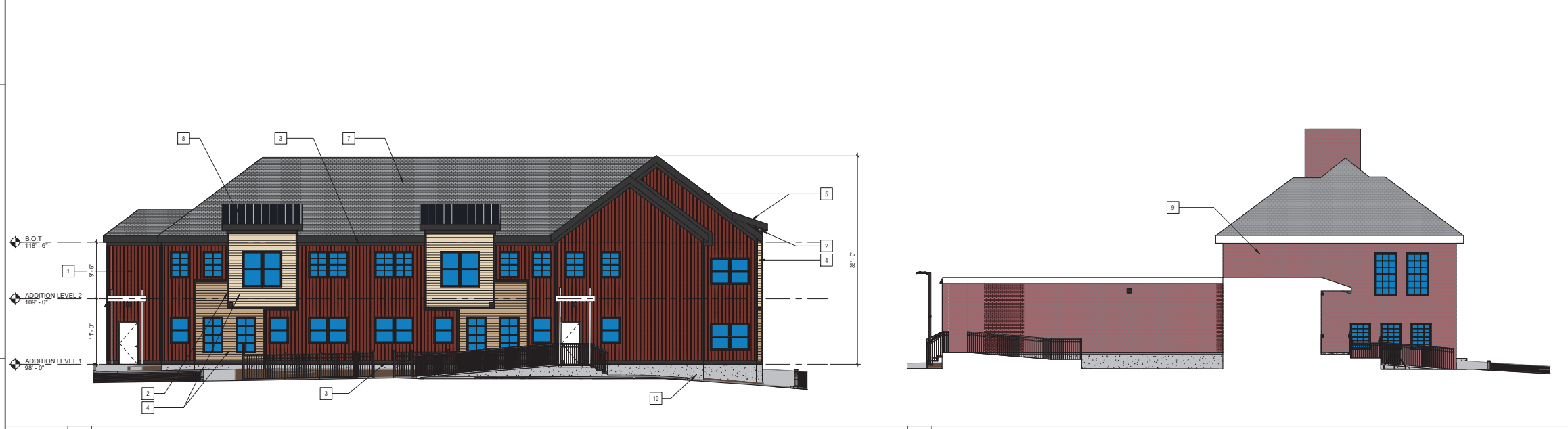
- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- W WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	1" VINYL BOARD AND BATTEN
2	1x3 PVC TRIM
3	1x6 PVC TRIM
4	1" VINYL CLAPBOARD
5	1 1/2" PVC FASCIA
6	BRICK CLADDING
7	ASPHALT SHINGLES
8	18" STANDING SEAM METAL ROOF
9	EXISTING BRICK
10	CONCRETE

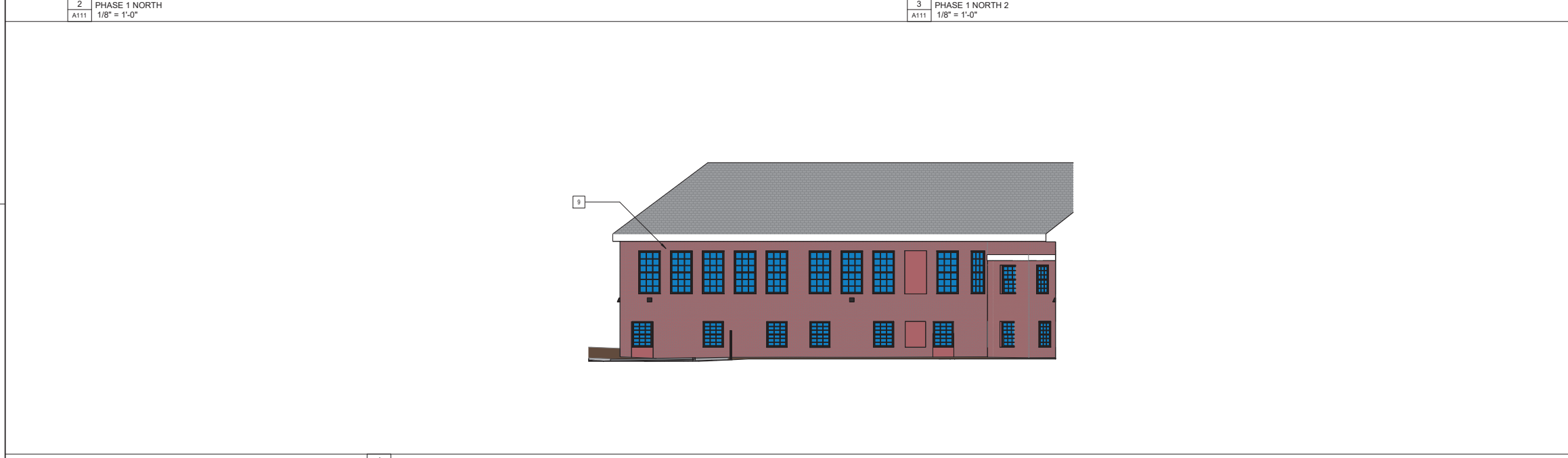


1 PHASE 1 WEST
 A111 1/8" = 1'-0"



2 PHASE 1 NORTH
 A111 1/8" = 1'-0"

3 PHASE 1 NORTH 2
 A111 1/8" = 1'-0"



4 PHASE 1 NORTH 3
 A111 1/8" = 1'-0"

PLAN KEY:

PROJECT TITLE / ADDRESS
 ROOSEVELT SCHOOL
 HOUSING PHASE 1

438 WASHINGTON STREET
 KEENE, NH 03431

SCALE: AS NOTED DWN BY: Author
 JOB #: 3809 CHK BY: Checker
 PRINT DATE: 5/8/2023 4:29:20 PM
 ISSUE DATE:

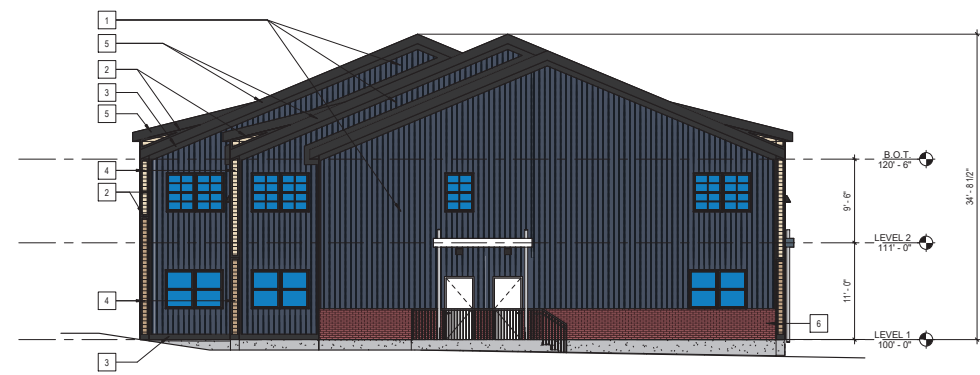
NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

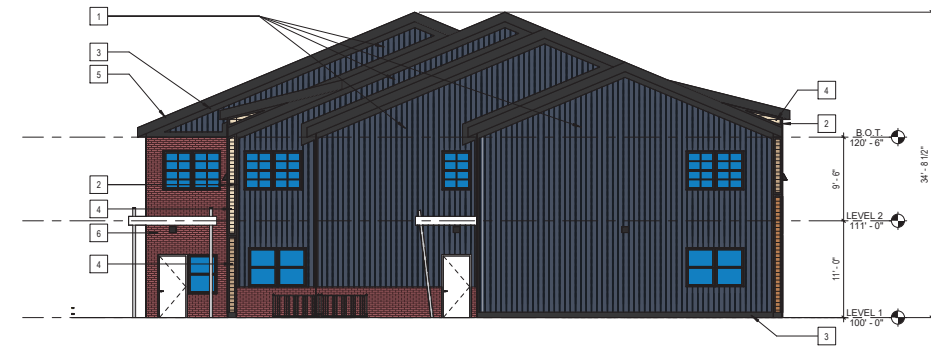
EXTERIOR ELEVATIONS

A202
 SHEET NUMBER OF 7 ARCHITECTS
 88 of 105

PROGRESS - NOT FOR CONSTRUCTION



1 PHASE 2 NORTH
A101 1/8" = 1'-0"



2 PHASE 2 SOUTH
A101 1/8" = 1'-0"



3 PHASE 2 EAST
A101 1/8" = 1'-0"



4 PHASE 2 WEST
A101 1/8" = 1'-0"

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- W WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	8" VINYL BOARD AND BATTEN
2	1x3 PVC TRIM
3	1x6 PVC TRIM
4	5" VINYL CLAPBOARD
5	1x12 PVC FASCIA
6	BRICK CLADDING
7	ASPHALT SHINGLES
8	18" STANDING SEAM METAL ROOF



OWNER:
COMMUNITY COLLEGE SYSTEM OF NEW HAMPSHIRE
28 COLLEGE DR.
CONCORD, NH 03301
P: (603) 344-5377

CONSTRUCTION MANAGER:
TBD

PLAN KEY:

PROJECT TITLE / ADDRESS:
ROOSEVELT SCHOOL HOUSING PHASE 2
438 WASHINGTON STREET
KEENE, NH 03431

SCALE: AS NOTED DWN BY: Author
JOB #: 3809 CHK BY: Checker
PRINT DATE: 5/8/2023 4:29:50 PM
ISSUE DATE:

NOT FOR CONSTRUCTION

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

A201
SHEET NUMBER OF 6 ARCHITECTS

PROGRESS - NOT FOR CONSTRUCTION

TO BE EDITED

one inch = one foot
 one and one half inches = one foot
 three quarter inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot

Autodesk Docs: 0319 ROOSEVELT
 SCHOOL KEENE HOUSING PHASE 2
 HOUSING PHASE 2: 2/1/2023



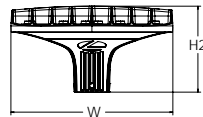
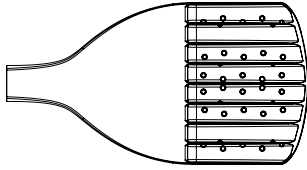
D-Series Size 0 LED Area Luminaire



d[#]series

Specifications

- EPA:** 0.44 ft²
(0.04 m²)
- Length:** 26.18"
(66.5 cm)
- Width:** 14.06"
(35.7 cm)
- Height H1:** 2.26"
(5.7 cm)
- Height H2:** 7.46"
(18.9 cm)
- Weight:** 23 lbs
(10.4 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED													
Series	LEDs	Color temperature ²		Color Rendering Index ²		Distribution		Voltage		Mounting			
DSX0 LED	Forward optics	(this section 70CRI only)				AFR	Automotive front row	T5M	Type V medium	MVOLT	(120V-277V) ⁴	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹ RPA5 Round pole mounting (#5 drilling, 3" min. RND pole) ⁹ SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰ MA Mast arm adapter (mounts on 2.3/8" OD horizontal tenon)	
	P1 P5	30K	3000K	70CRI		T1S	Type I short	T5LG	Type V low glare	HVOLT	(347V-480V) ^{5,6}		
	P2 P6	40K	4000K	70CRI		T2M	Type II medium	T5W	Type V wide	XVOLT	(277V-480V) ^{7,8}		
	P3 P7	50K	5000K	70CRI		T3M	Type III medium	BLC3	Type III backlight control ³				
	P4	(this section 80CRI only, extended lead times apply)				T3LG	Type III low glare ³	BLC4	Type IV backlight control ³				
	Rotated optics					T4M	Type IV medium	LCCO	Left corner cutoff ³				
	P10 ¹ P12 ¹	27K	2700K	80CRI		T4LG	Type IV low glare ³	RCCO	Right corner cutoff ³				
	P11 ¹ P13 ¹	30K	3000K	80CRI		TFTM	Forward throw medium						
			35K	3500K	80CRI								
			40K	4000K	80CRI								
		50K	5000K	80CRI									

Control options		Other options		Finish (required)	
Shipped installed		Shipped installed		Shipped installed	
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc ^{11, 12, 18, 19}	PER7	Seven-pin receptacle only (controls ordered separate) ^{14, 19}	HS	Houseside shield (black finish standard) ²⁰
PIR	High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc ^{13, 18, 19}	FAO	Field adjustable output ^{15, 19}	L90	Left rotated optics ¹
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹⁴	BL30	Bi-level switched dimming, 30% ^{16, 19}	R90	Right rotated optics ¹
PERS	Five-pin receptacle only (controls ordered separate) ^{14, 19}	BL50	Bi-level switched dimming, 50% ^{16, 19}	CCE	Coastal Construction ²¹
		DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	HA	50°C ambient operation ²²
				Shipped separately	
				EGSR	External Glare Shield (reversible, field install required, matches housing finish)
				BSDB	Bird Spikes (field install required)
				DDBXD	Dark Bronze
				DBLXD	Black
				DNAXD	Natural Aluminum
				DWHXD	White
				DDBTXD	Textured dark bronze
				DBLTXD	Textured black
				DNATXD	Textured natural aluminum
				DWHGXD	Textured white



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DSX0-LED
Rev. 03/15/23
Page 1 of 9



WEDGE1 LED

Architectural Wall Sconce



Catalog Number

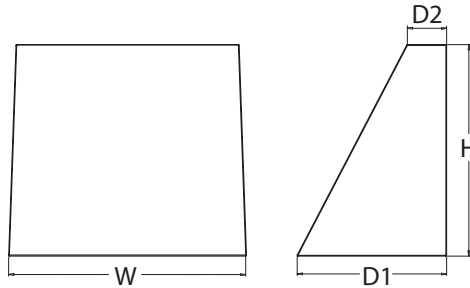
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P1 P2	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.
		30K 3000K	90CRI	VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K ¹ 5000K				

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DDBTXD Textured dark bronze
	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD WEDGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE1PBBW DDBXD U WEDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

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WEDGE1 LED
 Rev. 11/21/22



STORMWATER MANAGEMENT PLAN

**ROOSEVELT SCHOOL HOUSING
438 WASHINGTON STREET
KEENE, NH 03431**

FOR
**MONADNOCK AFFORDABLE HOUSING
831 COURT STREET
KEENE, NH 03431**

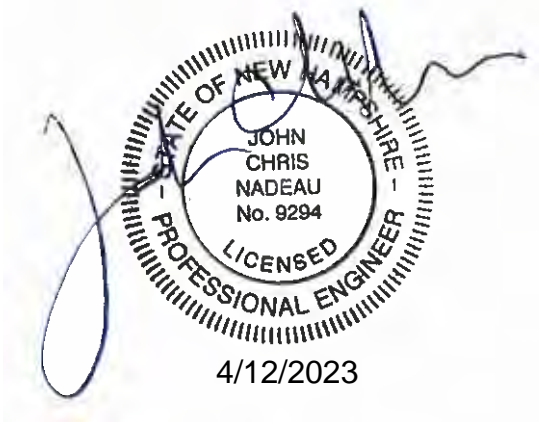
BY
NOBIS GROUP®

(800) 394-4182

www.nobis-group.com

Nobis Project No. 100569.000

APRIL 12TH, 2023



NARRATIVE

Project Description

The approximate 2.4-acre subject site (Site) is located at 438 Washington Street in Keene, New Hampshire, catalogued as Tax Map 531 Lot 54 within the Low Density (LD) District. The Site is currently developed with a 2-story brick building, associated parking (bituminous pavement and gravel surface), basketball court, sidewalks, and utilities. The Site is primarily used by the Community College of New Hampshire for classrooms and offices for the institution. The Site abuts both Washington Street and Woodbury Street and is bound by residential communities to the north, south, east, and west.

The proposed development consists of the demolition of the gymnasium associated with the existing brick building and the construction of two multi-family housing buildings, landscape areas, parking, sidewalks, playground area, community garden, associated underground utilities, and stormwater controls. Access to the site will remain the same with two driveways off Washington Street. The proposed development will be constructed in two phases. Phase 1 will consist of the construction of a 12,676 SF, 2-story building with 30 units, parking, driveways, dumpster enclosure, utilities, and stormwater controls. Phase 2 will consist of the partial demolition of the existing building, the renovation of the existing building, and the construction of an approximate 8,548 SF 2-story building addition(s) with 30 units.

Stormwater controls are proposed within this Site consisting of a closed drainage system that includes catch basins, field inlets, drainage manholes, roof drains, and a subsurface infiltration gallery that will overflow treated stormwater into the existing drainage system within Washington Street. The Site will be raised approximately 3-4' along the south property line, however, the overall topography of the Site will not be significantly altered and will not change existing stormwater patterns.

The purpose of this report is to demonstrate that the proposed Site improvements will not adversely affect surrounding resources through implementation of specific stormwater best management practices (BMPs) to control stormwater quality and quantity.

Existing Site Conditions

The project Site consists of an existing 2-story brick building which is primarily used as school classrooms and offices, basketball court, associated parking areas (bituminous pavement and gravel surface), utilities, and a stormwater control. Along the northern property line there is an existing 8-ft tall retaining wall along Woodbury Street and to the northwest portion of the Site there are steep slopes. The Site generally slopes southeast from a highpoint along Woodbury Street toward the existing drainage system in Washington Street. There is one existing drainage structure within the Site (CB 653) that collects stormwater runoff from the building (roof drains) and the parking area along Washington Street. From there, the water is directed to the drainage system in Washington Street. Stormwater runoff also flows off Site to the abutting property (Tax Map 531-53) and to CB 656 and CB (un-named) which directs runoff to the existing drainage system within Washington Street.

Proposed Site Conditions

The proposed phased project includes the construction of a 12,676 SF 2-story building (phase 1), partial demolition of the existing building (phase 2), renovation of the existing building (phase 2), and the construction of an approximately 8,548 SF 2-story addition(s) to the existing building (phase 2 – total phase 2 building footprint = 16,914 SF). Other associated construction will include landscape areas, playground area, community garden area, sidewalks, parking, underground utilities, and stormwater controls.

The additional stormwater runoff from the proposed impervious development will be directed into a new on-site closed drainage system that includes the construction of field inlets (nyloplast), catch basins, drainage manholes, 15” HDPE drainpipes, 6” PVC drainpipes, and a subsurface infiltration gallery (comprised of Stormtech MC-3500 Chambers) for infiltration and treatment of stormwater. The gallery is designed to infiltrate the majority of the stormwater and is also equipped with an overflow pipe, that will be used during higher storm events, directing treated stormwater to the drainage system within Washington Street

Soils

Based on the test pits performed by a certified wetlands soil scientist the soils on the site are categorized as Udorthents which are moderately well drained to excessively well-draining soils and are considered Hydrologic Soil Group (HSG) A for the drainage analysis. The infiltration rate used for the subsurface infiltration gallery is 5 in/hr. Confirmatory testing shall take place before the construction of the subsurface gallery for infiltration and depth to estimate seasonal high-water table. If the native soils have an infiltration rate higher than 10 in/hr then the soils will need to be amended 2-ft below the stone base of the system.

Points of Interest

For this drainage analysis, two points of interest have been established: OFFSITE (Tax Map 531-31) (POI 1) and Washington Street Drainage System (POI 2). POI 1 flows southwest off-site to the abutting residential property. POI 2 is the existing drainage system within Washington Street.

Erosion and Sediment Control Practices / Site Stabilization

The contractor will be responsible for all temporary erosion and sediment control measures during construction, while the property owner will be ultimately responsible for maintaining all permanent erosion and sediment control measures as may be required.

During construction activities BMPs including sediment logs, inlet protection at catch basins, tracking control pads, maintaining a clean paved surface, and temporary seeding and mulching will be used to control the quality of stormwater leaving the site.

Summary of Results

Flow

POI #	DESCRIPTION		STORM EVENT					
			2 Year (cfs)	10 Year (cfs)	25 Year (cfs)	100 Year (cfs)	2 Year (ac-ft)	10 Year (ac-ft)
POI 1	Offsite (Tax Map 531-31)	EXIST. =	0.0	0.0	0.0	0.0	0.00	0.00
		PROP. =	0.0	0.0	0.0	0.0	0.0	0.00
POI 2	Washington Street Drainage System	EXIST. =	1.7	3.4	4.8	7.7	0.18	0.35
		PROP. =	1.3	2.2	2.9	6.9	0.10	0.17

Conclusions

The preceding table and following calculations reflect the results of the proposed Site improvements on the peak stormwater discharge rates. The peak flow has been retained on the Site and therefore will not impact off-site systems or downgradient properties in the modeled storm events. The post-development peak flow rates and volumes will be less than the existing flow rates and volumes as a result of attenuation and infiltration provided by the proposed subsurface stormwater gallery.

Calculations are included for the 2-year, 10-year, 25-year, and 100-year storm events.

MEMORANDUM

Ref: 2252A

To: Jonathan Halle, AIA, ASLA, EDAC, LEED AP
Warren Street Architects

From: Stephen G. Pernaw, P.E., PTOE

Subject: Roosevelt School Housing – Traffic & Parking Study
Keene, New Hampshire

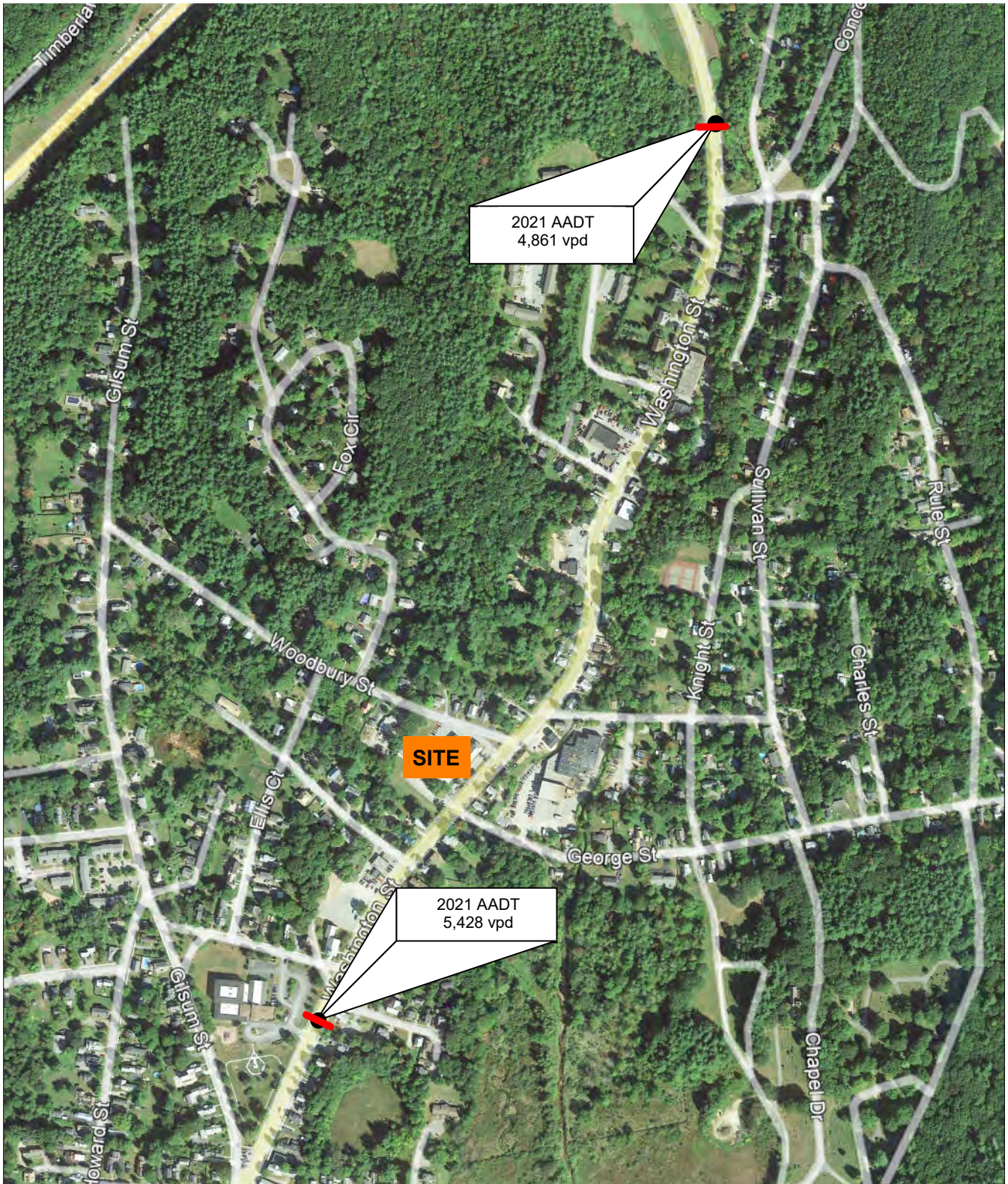
Date: February 16, 2023

As requested, Pernaw & Company, Inc. has conducted this Traffic/Parking study for your office on behalf of Keene Housing regarding the proposed Roosevelt School Housing project at 438 Washington Street, in Keene, New Hampshire. The site is situated at the southwest corner of the Washington Street/Woodbury Street intersection. The purpose of this memorandum is to summarize the results of our research of available traffic count data, the trip generation analyses for the former and proposed uses at the subject site, and a parking demand evaluation. To summarize:

Proposed Development – According to the plan entitled “*Conceptual Site Plan,*” Sheet C-1, dated February 2023 that was prepared by Nobis (see Attachment 1), this project involves the construction of a new two-story 30-unit affordable apartment building behind the existing school (Phase 1), and then renovations to the Roosevelt School to provide 30 additional affordable apartments (Phase 2).

Access to the site will be provided by the two existing site driveways on Washington Street: the northerly site driveway will continue as a one-way enter-only driveway, and the southerly site driveway will function as a full-access driveway (for arrivals and departures). Similar to all residential developments, this 60-unit affordable housing facility will be in operation seven days a week, and 24 hours per day. The location of the subject site is depicted on Figure 1.

Existing Conditions – Washington Street functions as a two-lane minor arterial roadway with a general north-south orientation in the immediate study area. The roadway is delineated with a four-inch double-yellow centerline (passing maneuvers prohibited) and four-inch single-white edge lines. Paved shoulders and sidewalks are present on both sides of the roadway. Marked crosswalks are present on the north and east legs of the Washington Street/George Street intersection. The speed limit is posted at 30 mph in both directions on Washington Street.



 = AUTOMATIC TRAFFIC RECORDER LOCATION (NHDOT)



2252A

Figure 1

Site Location

Traffic Evaluation, Proposed Roosevelt School Housing, Keene, New Hampshire

Existing Traffic Volumes – Research at the New Hampshire Department of Transportation (NHDOT) revealed that short-term automatic traffic recorder counts were conducted on Washington Street to the north and the south of the subject site by the NHDOT in July 2020 and August 2021. The northerly count station is located approximately 0.5 mile from the site. This section of Washington Street carried an estimated Annual Average Daily Traffic (AADT) volume of approximately 4,861 vehicles per day (vpd) in 2021, down from 5,888 vpd in 2019 (pre-Covid 19). The southerly count station is located approximately 0.2 miles from the subject site. This section of Washington Street carried a slightly higher AADT volume of approximately 5,428 vpd in 2021.

The raw data from the 2020 and 2021 traffic counts is summarized graphically on Page 4 and shows the daily and hourly variations in traffic demand on the corridor. The hourly traffic volumes in the area typically reach peak levels during the morning and late afternoon on weekdays; thus, reflecting typical commuting patterns. The detail sheets pertaining to these counts are attached (see Attachments 2-6).

Findings & Conclusions

1. Traffic counts conducted by the NHDOT at two nearby locations on Washington Street in July 2020 and August 2021 revealed that the highest traffic hours occurred from 7-8 or 8-9 AM, and again from 3-4 or 4-5 PM on weekdays. On weekends, peak traffic flow tends to occur during the midday.
2. During the worst-case weekday PM peak hour period, the 60 affordable dwelling units are expected to generate approximately 28 vehicle-trips (16 arrivals, 12 departures). By way of comparison, the former Community College likely generated approximately 83 vehicle-trips during the same hour. From this, it is reasonable to conclude that the proposed affordable housing project is less intensive than the previous community college from a traffic operations, capacity and safety standpoint.
3. The parking demand study demonstrates that proposed parking supply (70 stalls) exceeds the anticipated parking demand by a comfortable margin based on three separate and independent sources:
 - The Keene Housing parking data indicates a peak demand of 40 occupied stalls.
 - The ITE parking generation rates indicates a peak parking demand of 59 occupied stalls.
 - The ULI parking ratios indicate a peak parking demand of 51 occupied stalls.



Lisa Mausolf
Preservation Consultant

6 Field Pond Drive
Reading, MA 01867
781-944-5958
lmausolf@att.net

December 12, 2022

Marika Labash
NH Division of Historical Resources
19 Pillsbury Street
Concord, NH 03301-3570

Re: Roosevelt School, 438 Washington St., Keene RPR

Dear Marika:

On behalf of Warrenstreet Architects and Keene Housing, I am submitting the enclosed Request for Project Review. Should you have any questions regarding the form, please do not hesitate to contact me. I've also enclosed two stamped/addressed envelopes. If you wouldn't mind, could you please send the results to both myself and Jonathan Halle? Thanks very much for your assistance.

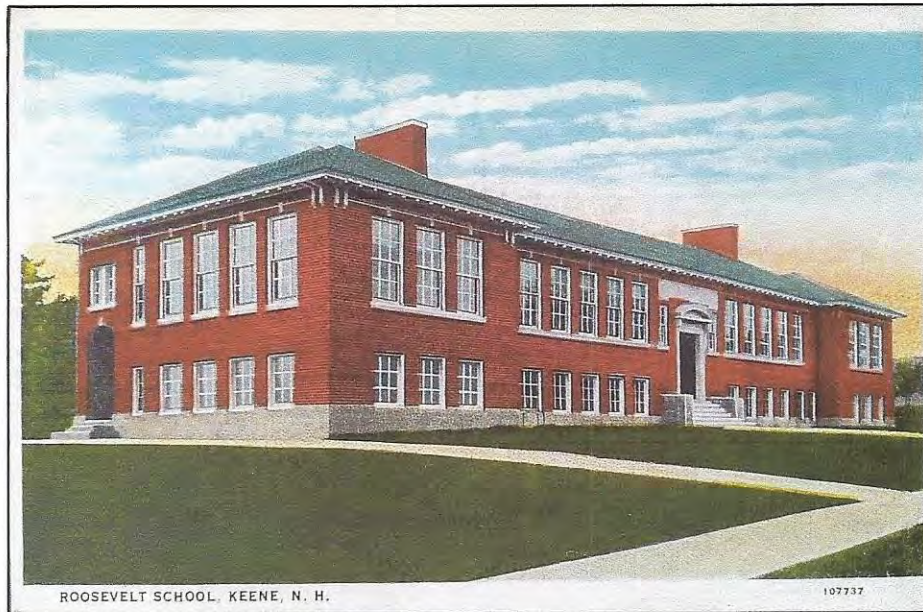
Sincerely,

A handwritten signature in cursive script that reads "Lisa Mausolf". The signature is written in black ink and is positioned above the typed name and title.

Lisa Mausolf
Preservation Consultant

Description of the Proposed Project

The Roosevelt School at 438 Washington Street, corner of Woodbury Street, was constructed in 1922. The Neo-Classical brick elementary school was designed by Boston architect Clarence P. Hoyt who also designed the Keene High School at 17 Washington Street (1912). The building has seen various exterior alterations over the years including the replacement of the original multi-paned double-hung windows, the blocking of the original main entrance and the construction of a large c.1970 addition to the southwest.



c.1930 Postcard showing original 1922 school.



View of original building with c.1970 addition at left.

The building was utilized by the Keene School District until 2009. In its later years it was home to the Center for Instructional Resources, Technology and Training, a life education program for Keene High School students. It was purchased by the Community College System in 2009 and until recently was occupied by River Valley Community College.

Keene Housing proposes to acquire the building and renovate the existing building into approximately twenty housing units. New construction consisting of three or four story buildings would be built to the northwest and southwest of the existing building and contain an additional 66 to 80 units of housing. Project design is currently in its early stages and conceptual plans are included in this submittal. Keene Housing is currently investigating various funding options which may include NH Housing Finance Authority and/or CDBG funds.

The 2.4 acre parcel surrounding the school building is largely paved. There are no known archaeological resources on the site.



Photo 1: View looking SW-W at main façade and northeast elevation of original school



Photo 2: View looking SW from Woodbury Street at original school building.



Photo 3: View looking SE from Woodbury Street. Rear elevation of original building at left and c.1970 addition at right.



Photo 4: View looking north from Washington Street. C.1970 addition at left and original school building to right.