

City of Keene Planning Board

AGENDA - AMENDED

Monday, July 22, 2024

6:30 PM

City Hall, 2nd Floor Council Chambers

- I. Call to Order Roll Call
- II. Minutes of Previous Meeting June 24, 2024
- III. Final Vote on Conditional Approvals
- IV. Continued Public Hearing
 - a. WITHDRAWN PB-2024-05 Congregate Living & Social Services Conditional Use Permit - Live Free Recovery, 973 Marlboro Rd - Applicant Live Free Recovery Services LLC, on behalf of owner BTD Properties LLC, proposes to operate a residential drug and alcohol treatment facility on the property located at 973 Marlboro Rd (TMP #249-004-000). The parcel is 1.1 ac and is located in the Rural District.

V. Public Hearings

- a. PB-2024-06 Subdivision 435 Chapman Rd Applicant Cardinal Surveying & Land Planning, on behalf of owner Cornelius W. & Ruth R. Schenck Irrevocable Trust, proposes to subdivide the ~48-ac parcel at 435 Chapman Rd (TMP #239-041-000) into three lots approximately 3.57 ac, 3.80 ac, and 40.63 ac in size. The parcel is located in the Rural District.
- b. PB-2024-07 Site Plan Dinkbee's Redevelopment, 510 Washington St Applicant Fieldstone Land Consultants PLLC, on behalf of owner OM 510 Washington Street LLC, proposes to demolish the existing Dinkbee's building on the property at 510 Washington St (TMP #532-003-000), construct a new ~6,256-sf building in its place, and expand the number of vehicle fueling stations. Waivers are requested from Sections 20.2.1.b, 20.6.E, 20.7.2.C, and 20.14.3.D of the LDC related to the submittal of a drainage report, parking lot landscaping, light trespass, and parking. The parcel is 0.74 ac and is located in the Commerce District.
- c. <u>PB-2024-08 Cottage Court Conditional Use Permit Townhomes, 0 Ellis Ct</u> Applicant Sampson Architects LLC, on behalf of owner POMAH LLC, proposes to construct a two-unit townhome on the parcel at 0 Ellis Ct (TMP #535-012-000). The parcel is 0.18 ac and is located in the Medium Density District.

VI. Advice and Comment

a. Planning Board Review and Comment on Proposed Development at 57 Marlboro St. and 3 Aliber Pl. – In accordance with RSA 674:41, sub-section I.(d), owner Jared Goodell seeks Planning Board review and comment regarding his request for City Council authorization for the issuance of building permits where the street giving access to the lot upon which the buildings are proposed to be placed is a private road.

VII. Master Plan Update

a. Project Updates

VIII. <u>Training: Site Plan Review Process</u>

- IX. Staff Updates
- X. New Business

XI. Upcoming Dates of Interest

- Joint Committee of the Planning Board and PLD August 12th, 6:30 PM
- Planning Board Steering Committee August 13th, 11:00 AM
- Planning Board Site Visit August 21st, 8:00 AM <u>To Be Confirmed</u>
- Planning Board Meeting August 26th, 6:30 PM

1 City of Keene 2 **New Hampshire** 3 4 5 PLANNING BOARD 6 **MEETING MINUTES** 7 Monday, June 24, 2024 6:30 PM Council Chambers, 8 **City Hall Members Present: Staff Present:** Harold Farrington, Chair Mari Brunner, Senior Planner Roberta Mastrogiovanni, Vice Chair Megan Fortson, Planning Technician Mayor Jay V. Kahn Councilor Michael Remy Sarah Vezzani Armando Rangel Kenneth Kost Michael Hoefer, Alternate Stephon Mehu, Alternate **Members Not Present:** Tammy Adams, Alternate Ryan Clancy Randyn Markelon, Alternate 9 10 11 12 I) Call to Order - Roll Call 13 14 Chair Farrington called the meeting to order at 6:30 PM and roll call was taken. Mr. Mehu and Mr. 15 Hoefer were invited to join the session as voting members 16 17 II) Minutes of Previous Meetings - May 13, 2024 & May 20, 2024 18 19 A motion was made by Vice Chair Mastrogiovanni to approve the May 13, 2024 meeting minutes. 20 The motion was seconded by Mayor Kahn and was unanimously approved. 21 22 Chair Farrington offered the following correction to the May 20, 2024 meeting minutes: 23 Line 262 – there is no indication of a vote for the motion that was made. 24 25 A motion was made by Vice Chair Mastrogiovanni to approve the May 20, 2024 minutes as 26 amended. The motion was seconded by Mayor Kahn and was unanimously approved. 27 28

III) Final Vote on Conditional Approvals

Chair Farrington stated that as a matter of practice, the Board will now perform a final vote on all conditionally approved plans after all of the "conditions precedent" have been met. This final vote will be the final approval and will start the 30-day appeal clock.

The Chair asked whether there were any applications tonight that were ready for a final vote.

Senior Planner, Mari Brunner, stated that there were two applications tonight that are ready for a final vote. The first one is SPR-12-17, Modification #2, which is a site plan for Archway Farm, located at 183 Arch Street. This application had three conditions precedent to final approval: getting the owner's signature on the final plan set; submitting five paper copies and a digital copy of the final plan set; and the submittal of a security in form and amount acceptable to the Community Development Director to cover the cost of sediment and erosion control and landscaping. All of these conditions have been met.

A motion was made by Vice Chair Mastrogiovanni that the Planning Board issue final site plan approval for SPR-12-17, Modification #2. The motion was seconded by Mayor Kahn and carried on a unanimous vote.

Ms. Brunner stated the second item is SPR-01-13, Modification #3, which is a site plan for the Cheshire County Shooting Sports Education Foundation located at 19 Ferry Brook Road. This application also had three conditions precedent to final approval: getting the owner's signature on the final plan sets; the submittal of five paper copies and a digital copy of the final plan set; and the submittal of a security in a form and amount acceptable to the Community Development Director and City Engineer to cover the cost of sediment and erosion control.

A motion was made by Vice Chair Mastrogiovanni that the Planning Board issue final site plan approval for SPR-01-13, Modification #3. The motion was seconded by Mayor Kahn and carried on a unanimous vote.

IV) Public Hearing

 a. <u>PB-2024-05 – Congregate Living & Social Services Conditional Use Permit – Live Free Recovery, 973 Marlboro Rd</u> - Applicant Live Free Recovery Services LLC, on behalf of owner BTD Properties LLC, proposes to operate a residential drug and alcohol treatment facility on the property located at 973 Marlboro Rd (TMP #249-004-000). The parcel is 1.1 ac and is located in the Rural District.

Chair Farrington stated that since the Board agenda packet was sent out, there has been communication from the applicant requesting to continue this application to the July Planning Board meeting to address issues that need to be resolved with the Marlboro Zoning Board.

Chair Farrington opened the public hearing and asked for public comment.

PB Meeting Minutes June 24, 2024

Mr. Bruce Robbins of 5 Main Street, Marlborough addressed the Board and stated that he is a direct abutter to this property on the west, south, and east sides. He indicated the Marlboro Zoning Board denied this application due to the 24 hour commercial nature of this business operating next to a residential zone. He indicated the playground that exists at this location is to be turned into a smoking area that is only ten feet from his property and this would prevent him from enjoying the outdoors.

With no further public comment, the Chair closed the public comment portion of the meeting.

A motion was made by Vice Chair Mastrogiovanni that the Planning Board continue PB-2024-05 to the July 22, 2024 Planning Board meeting at 6:30 pm. The motion was seconded by Councilor Michael Remy and was unanimously approved.

V) Nomination of City Representative to SWRPC Commissioners

Ms. Brunner stated the City received an interest form from Michael Conway, who is interested in serving on the Board of Southwest Region Planning Commission (SWRPC). The City's process, which is laid out in State Statute, is for the Planning Board to formally nominate the individual. The nomination then goes before City Council for their vote. She noted the City already has two members on SWRPC's Commissioners.

A motion was made by Vice Chair Mastrogiovanni that the Planning Board nominate Michael Conway to serve as a Commissioner for Southwest Region Planning Commission. The motion was seconded by Mayor Kahn.

Mayor Kahn indicated that Todd Horner from the Commission and the nominee were present tonight, if the Board wishes to hear from them. The Chair invited Mr. Horner to speak.

Mr. Horner addressed the Board and explained that SWRPC is a nonprofit public agency, a voluntary association of municipalities, that is authorized under New Hampshire RSA 36. He stated their mission is essentially to provide member municipalities with technical assistance and guidance on planning issues related to land use, housing, economic development, transportation, etc. Mr. Horner stated their relationship with the City is perhaps a little different compared to some of their smaller member communities that don't have staff to assist with planning issues, process applications, or handle zoning questions.

He felt their relationship with the City has been very productive over the years. He referred to some of the projects and activities they are working on with the City, including Community Development Block Grant (CDBG) Administration activities, which support housing infrastructure, as well as other improvements that are intended to benefit low- and moderate-income people. They are also administering a CDBG grant that is part of the funding for the Roosevelt School rehabilitation.

The City has representation on SWRPC's Transportation Advisory Committee, which among other activities guides the 10-year planning process for this region related to transportation planning, which in turn guides investments and transportation infrastructure at the state level. This is how

the region's priorities are conveyed to New Hampshire DOT and other such entities. He indicated they are currently leading a feasibility study looking at regional transit and different operating models for improving public transportation options in Keene and the surrounding areas.

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125 Chair Farrington asked for the actual geographical boundaries of the southwest region. Mr. Horner 126 stated they have 33 member municipalities, and their service area includes all of Cheshire County, 127 Western Hillsborough County and one town in Sullivan County.

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The Mayor asked how many regional planning commissions exist in the state. Mr. Horner stated there are nine across the state.

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The Mayor noted that with Mr. Conway's qualification as an environmental engineer and Mr. Kost's qualification as a landscape architect, they will bring a lot of expertise to SWRPC that smaller towns might not see.

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Mr. Michael Conway addressed the Board and reminded them that they may remember him in connection with the Habitat for Humanity property on Old Walpole Road. He stated that he is still involved with Habitat for Humanity and will continue to serve them. He stated he has an education and career background in environmental engineering and felt he can be a good resource for SWPRC in more than one way.

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142 The motion made by Vice Chair Mastrogiovanni carried on a unanimous vote.

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VI. Master Plan Update

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a. Project Updates

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Ms. Brunner stated that since the May Planning Board meeting, the City has hosted a scenario planning workshop (i.e. – a "think tank") which was held over a two-day period on May 30th and 31st and had about 60 people in attendance. After that planning workshop, one of the outcomes was the identification of key drivers shaping Keene's future and the exploration of different plausible future scenarios that could happen for Keene. At the end of the second day, the participants were asked to indicate their preferred future for Keene and their least desired future for Keene, which helped guide the eight visioning sessions that were held last week. The consultant made a presentation at the end of the visioning sessions to the City Council.

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Ms. Brunner stated the purpose of those visioning sessions was to test and validate the outcomes of the think tank with a broader audience. Throughout the month of July, there will be visioning sessions held on an "on demand basis." Another round of these sessions will be held in August and will be open to the general public – exact dates have not been determined yet.

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August 6th will be the next Master Plan Steering Committee meeting, which will be a round table discussion where the Steering Committee will be asked to identify focus areas and the strategic pillars for the plan.

Ms. Brunner that stated all this information is on the Master Plan website (keenemasterplan.com), which also has the think tank report and community snapshot report along with the economic and demographic data that was collected. Ms. Brunner noted the survey closed on June 8th and this data is also available on the website.

Mr. Kost stated he had attended one of the sessions at the YMCA and asked how well attended the other sessions were. Ms. Brunner stated the session at the YMCA was a small group consisting of eight individuals, whereas the session at the Senior Center had about 20 participants, similar to the number of people who attended the other two sessions as well. The Elm City Rotary Club was the biggest session with nearly 60 attendees and the Kiwanis Club had about 20 people.

VII. Staff Updates

a. Future Planning Board Training Topics

Ms. Brunner stated that she was advised that there had been a discussion at a recent Planning Board meeting about conducting trainings to keep the Board current with its regulations. She indicated that for tonight's discussion, she has a list of topics she feels might interest the Board and that she would like to get its feedback.

The topics are as follows:

- 1. <u>Site Plan Review</u>: Reviewing the Board's authority for site plan review and the purpose of it; Thresholds in the regulations for major and minor site plan review; What the major site plan review process looks like in Keene; Items the Board should be considering; An overview of the site development standards; Off Site improvements; Timeframes to act and the types of decisions the Board can make and what should be going into that.
- 2. <u>Subdivision Review:</u> Same format as for site plan, to review the Board's authority, purpose, process, role in reviewing the subdivision standards.
- 3. *Driveways:* Ms. Brunner explained Planning Board has jurisdiction over commercial driveways. Single- and two-family driveways are reviewed through the City Engineer's office. However, driveway approvals are oftentimes done as part of a site plan approval. There are distinct driveway standards that need to be met anytime a street access is being modified or new ones are being created.
 - 4. <u>Conditional Use Permits:</u> Their purpose and the types of conditional use permits the City reviews. In Keene, there is a process known as concurrent review where the Board reviews conditional use permits at the same time as any other approvals that are required for a project (such as site plan review).
 - 5. **Zoning Ordinance:** Review relationship of the zoning ordinance to the subdivision regulations and site plan regulations, as well as the Board's amendment process in relation to the zoning ordinance.
 - 6. *Earth Excavation Permit:* Ms. Brunner stated that the City has had only one of these types of permits to date, but there is likely to be another coming before the Board in the future.

This concluded Ms. Brunner's presentation.

The Chair asked each Board member to indicate items they would like reviewed.

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Mr. Hoefer stated he would like a better understanding of the approval of larger projects, such as the Home Depot site in the Monadnock Marketplace Plaza.

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Mr. Kost stated he had listened to Ms. Brunner's presentation on Thursday where she had talked about creative or innovative ideas for zoning in Keene and felt it was done very well. Mr. Kost stated site plan review and conditional use permits (CUPs) were important to him. He stated he would also like a review of the meeting process for the Planning Board itself. For example, what are we voting on, acceptance of application completeness, all the different steps that the Board goes through.

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Councilor Remy stated he would like a review of site plans, conditional use permits, and a clearer understanding of what the Board is supposed to consider during review.

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Ms. Mastrogiovanni suggested site plan and subdivision review as well as a review of the Site Development Standards.

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Mayor Kahn asked staff if they consider any of the items on the list to be outdated and asked if anything would require an update in order to be more useful. Ms. Brunner stated that staff maintains a running list of potential changes to the Land Development Code, including changes to the Planning Board's Regulations, the Zoning Ordinance, etc. She stated that most of the changes staff have identified are included in Article 25, which outlines the application procedure and submittal requirements for each type of application.

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Mayor Kahn suggested site plan review and conditional use permits as areas he would like to review.

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240 Mr. Rangel suggested site plan review, conditional use permits, and subdivision applications.

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Ms. Vezzani asked for a review of what she should look for during a site visit.

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244 Mr. Mehu asked for a review of CUP's.

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Councilor Haas addressed the Board and suggested as part of the training to review the efficiency of the review process.

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Ms. Brunner addressed the Board again and stated that as of July 1st, Megan Forston, who is currently the department's Planning Technician, will be moved to the position of Planner. Evan Clements will remain as a Planner and will also be taking on the role of Zoning Administrator.

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253 VIII. New Business

None

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- 256 IX. <u>Upcoming Dates of Interest</u>
 - Joint Committee of the Planning Board and PLD July 8th, 6:30 PM

	PB Meeting Minutes June 24, 2024	DR
258	• Planning Board Steering Committee – July 9th, 11:00 AM	
259	• Planning Board Site Visit – July 17th, 8:00 AM – To Be Confirmed	
260	• Planning Board Meeting – July 22nd, 6:30 PM	
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262	3. Adjournment	
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264	There being no further business, Chair Farrington adjourned the meeting at 7:16 PM.	
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266	Respectfully submitted by,	
267	Krishni Pahl, Minute Taker	
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269	Reviewed and edited by,	

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Megan Fortson, Planner

DRAFT



MEMORANDUM

TO: Planning Board

FROM: Community Development Staff

DATE: July 12, 2024

SUBJECT: Agenda Item III - Final Vote on Conditional Approvals

Recommendation:

To grant final approval for any projects that have met all their "conditions precedent to final approval."

Background:

This is a standing agenda item in response to the "George Stergiou v. City of Dover" opinion issued by the NH Supreme Court on July 21, 2022. As a matter of practice, the Planning Board issues a final vote on all conditionally approved projects after the "conditions precedent to final approval" have been met. This final vote will be the final approval and will start the 30-day appeal clock.

As of the date of this packet, there were no applications ready for final approval.

If any projects meet their conditions precedent between date of this packet and the meeting, they will be identified and discussed during this agenda item.

All Planning Board actions, including final approvals, are posted on the City of Keene website the day after the meeting at KeeneNH.gov/planning-board.



From: <u>Tara Kessler</u>

To: <u>Megan Fortson; Mari Brunner; Evan Clements; Jesse Rounds</u>

Cc: <u>Jason Reimers</u>; <u>Ryan Gagne</u>

Subject: Re: Request to Continue Live Free Recovery Services CUP Application for 973 Marlboro St to July

Date: Wednesday, July 10, 2024 11:13:31 AM

Attachments: <u>image001.png</u>

image002.png Outlook-vqnksotq.png

Hello Megan,

Live Free Recovery Services has decided to withdraw its CUP application for the site at 973 Marlboro Rd, as it will not be appealing the decision of the Marlborough ZBA to deny its Special Exception. Would you please confirm that you have received this withdrawal request and let me know if you need any additional material/info.

Thank you for your assistance with the application process.

Kind regards,

Tara

Tara Kessler, Planner Paralegal

Offices in Concord & Keene, New Hampshire and Norwich, Vermont

kessler@nhlandlaw.com

Phone 603.352.1928 Cell: 401-339-2889



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PB-2024-06 - 3-LOT SUBDIVISION - 435 CHAPMAN ROAD

Request:

Applicant Cardinal Surveying & Land Planning, on behalf of owner Cornelius W. & Ruth R. Schenck Irrevocable Trust, proposes to subdivide the ~48-ac parcel at 435 Chapman Rd (TMP #239-041-000) into three lots approximately 3.57 ac, 3.80 ac, and 40.63 ac in size. The parcel is located in the Rural District.



Figure 1. The 48-ac parcel at 435 Chapman Rd (TMP #239-041-000).

Background:

The 48-acre subject parcel is located at 435 Chapman Rd (TMP #239-041-000) in southeast Keene along the east side of Chapman Rd (Figure 1). The lot is located in the Rural District and is surrounded by single-family residential uses and undeveloped parcels on all sides. The Branch River and the Town of Roxbury are located ~0.13 miles away from the easternmost property boundary. The parcel is currently developed with a single-family home, garage, and a few other outbuildings that are accessed from a gravel driveway off Chapman Rd.

The applicant proposes to subdivide the parcels into three lots that will be approximately 3.57 ac, 3.80 ac, and 40.63 ac in size. The 40.63-ac lot will serve as the site for the existing single-family home and the two ~ 3 -ac lots will be available for development.

Determination of Regional Impact:

After reviewing the application, staff have made a preliminary evaluation that the proposed subdivision does not appear to have the potential for "regional impact" as defined in RSA 36:55. The Board will need to make a final determination as to whether the proposal, if approved, could have the potential for regional impact.

Completeness:

The applicant has requested exemptions from submitting a narrative that addresses the Site Development Standards outlined in Section 21 of the Land Development Code (LDC), separate existing and proposed conditions plans, a drainage report, traffic analysis, and soil analysis. After

reviewing each request, staff have made the determination that the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as "complete."

Departmental Comments:

There were no departmental comments on this application.

Application Analysis: The following is a review of the Subdivision and Planning Board development standards relevant to this application.

<u>20.2.1 - Lots:</u> The proposed subdivision will create three lots that are each greater than 2-ac in size, are at least 200'-wide at the building lines, and have greater than 50' of frontage along Chapman Rd as required in the Rural District under Section 3.1.2 of the LDC. This standard appears to be met.

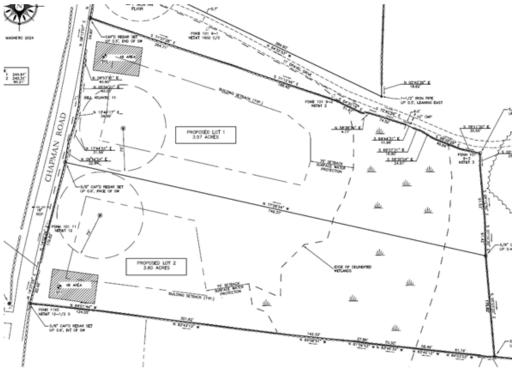


Figure 2. A snippet of Sheet 2 of the plan set showing the location of the wetlands and 75' wetlands buffer.

20.2.2 - Character of Land for Subdivision: Wetlands are located towards the rear of the proposed 3-ac lots (Figure 2). Additionally, the project narrative states there are areas of precautionary and prohibitive slopes present at the rear of the 40.63-ac parcel that were not surveyed due to their location outside of the proposed subdivision area. Despite these site features, the proposed plans show that the two new lots can be safely developed without posing a danger to health or peril from fire, flood, poor drainage, excessive slope, or other hazardous conditions. This standard appears to be met.

<u>20.2.3 – Scattered or Premature Development:</u> The proposed subdivision would create two new lots in an area with existing residential development. This standard does not apply.

<u>20.2.4 – Preservation of Existing Features:</u> The proposed subdivision plan shows that there are stone walls around and within portions of the existing 48-ac parent parcel. Portions of these stone walls will be used as the property boundaries for the two new 3-ac lots.

To address potential impacts to wetlands, the applicant has added Note #4 under the "City of Keene Site Development Standards" on Sheet 1 of the plan set specifying that all development on the parcels must comply with all federal and state wetlands and surface water regulations, the Surface Water Protection Ordinance in Section 11 of the LDC, and any other applicable City regulations. The 75-foot surface water protection buffer is also shown on the plan.

With respect to steep slopes, Note #1 under the "Site Development Standards" section of Sheet 1 states that any work done within areas of precautionary and/or prohibitive slopes may require the submittal of a Hillside Protection Conditional Use Permit (CUP) for review by the Keene Planning Board. This standard appears to be met.

- **<u>20.2.5 Monumentation:</u>** The project narrative states that rebar has been set at all new lot corners. Planning Staff recommend that the Public Works Director or their designee perform an inspection of the lot monuments, or that a security be submitted to ensure the monuments will be set prior to final approval. This standard appears to be met.
- <u>20.2.6 Special Flood Hazard Areas:</u> The subject parcel does not appear to be located near any Special Flood Hazard Areas. This standard is not applicable.
- **20.2.7 Fire Protection & Water Supply:** Note #7 under the "Site Development Standards" on Sheet 1 of the plan set states that any future buildings shall have an adequate and approved fire protection system installed. This standard appears to be met.
- <u>20.2.8 Utilities:</u> The proposed subdivision plans show two potential well and septic system locations. Note #8 under the "Site Development Standards" on Sheet 1 of the plan set states that private sewer and water systems will be required for any future building on the lots. The applicant has also submitted test pit data, which is included as an attachment to this staff report. This standard appears to be met.

Planning Staff recommend including a condition of approval related to submitting documentation that state subdivision approval has been obtained from NHDES, which is required for any proposed lots that are less than 5-ac in size per State statute Emv-We 1000. Additionally, it is recommended that a note be added to Sheet 1 of the plan set with the approval number.

- <u>21.2 Drainage & Stormwater Management:</u> No development is proposed at this time; however, staff recommend a subsequent condition of approval related to the submittal of a stormwater management plan prior to the issuance of a building permit for either lot.
- <u>21.3 Sediment & Erosion Control:</u> Note #3 under the "Site Development Standards" on Sheet 1 states that each project shall be designed to prevent erosion and sedimentation during and subsequent to construction. This standard appears to be met.
- **21.8 Sewer & Water:** City water is available near all proposed lots; however, Note #8 under the "Site Development Standards" on Sheet 1 specifies that each of the two 3-ac lots will be serviced by a private well and septic system. This standard appears to be met.

<u>21.9- Traffic & Access Management:</u> The proposed subdivision plan shows that the single-family residence on the 40.63-ac parcel will be accessed via the existing gravel driveway on Chapman Rd. Additionally, Note #5 under the "Site Development Standards" on Sheet 1 also states that a Street Access Permit must be obtained from the Public Works Department prior to any construction. This standard appears to be met.

21.11 - Surface Waters & Wetlands: As discussed above, Sheet 2 of the plan set shows that there are surface waters present at the rear of the two 3-ac parcels and also shows the 75' surface water buffer that must be maintained from the edge of the wetlands. Note #4 under the "Site Development Standards" on Sheet 1 of the plan set specifies that any development in these areas must comply with local, state, and federal wetlands regulations. Planning Staff recommend two conditions of approval related to the submittal of a stormwater management plan and flagging of the wetlands prior to the development of either of the new lots. This standard appears to be met.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

"Approve PB-2024-06 as shown on the plan set identified as "Title Sheet, Existing and Proposed Conditions, 3-lot Subdivision, Map 239-041-000, 435 Chapman Road, Keene, NH 03431" prepared by Cardinal Surveying & Land Planning at varying scales on June 14, 2024 and last revised on July 3, 2024 with the following conditions:

- 1. Prior to final approval and signature of the plans by the Planning Board Chair, the following conditions precedent shall be met:
 - a. Owner's signature appears on both sheets of the plan set.
 - b. Submittal of four (4) paper copies, two (2) mylar copies, and a digital copy of the complete plan set.
 - c. Inspection of lot monuments by the Public Works Director or their designee following their installation or the submittal of a security in an amount deemed satisfactory to the Public Works Director to ensure that the monuments will be set.
 - d. Submittal of a check in the amount of \$77.00 made out to the City of Keene to cover the cost of recording fees.
 - e. Submittal of documentation demonstrating that the application has received state subdivision approval from NHDES. A note with the NHDES approval number shall be added to Sheet 1 of the plan set.
- 2. Subsequent to final approval and signature by the Planning Board Chair, the following conditions subsequent shall be met:
 - a. Prior to the issuance of a building permit for new residential construction, a stormwater management plan shall be submitted to the Community Development Department for review and approval by the City Engineer.
 - b. At the Community Development Director's discretion, the 75' wetland buffer shall be flagged and inspected by the Community Development Director or their designee prior to the development of the new lots."



If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION					
3-Lot Subdivision	NUMBER OF LOTS PROPOSED: 3				
PROJECT ADDRESS(ES): 435 Chapman Road					
SECTION 2: CONTACT INFORMATION					
PROPERTY OWNER	APPLICANT				
NAME/COMPANY: Ruth R Schenck & Pieter Schenck, Co-Trustees of the Cornelius W. Schenck and Ruth R. Schenck Irrevocable Trust	NAME/COMPANY: Cardinal Surveying & Land Planning				
MAILING ADDRESS: 435 Chapman Road, Keene, NH 03431	PO Box 160, Sullivan, NH 03445				
Pieter Schenck 646-688-5711	603 209-1989				
ряснепск@redstreamtechnology.com	wendy@cardinalsurveying.net				
Pieter Schenck Digitally signed by Pieter Schenck Date: 2024.06.14 09:44:13 -04'00'	SIGNATURE:				
Pieter Schenck, Trustee	Wendy Pelletier				
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:				
NAME/COMPANY:	TAX MAP PARCEL #(s): 239.041.000.000.000				
MAILING ADDRESS:					
PHONE:					
EMAIL:	PARCEL SIZE: 48 QC DATE STAMP:				
SIGNATURE:	ZONING: RUN 1 4 2024				
PRINTED NAME:	PROJECT #:				

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE ITEMS BELOW. <u>BOTH DIGITAL & PHYSICAL COPIES OF APPLICATION MATERIALS</u> MUST BE SUBMITTED USING THE METHODS BELOW.

- Email: communitydevelopment@keenenh.gov, with "Planning Board Application" in the subject line. (<u>NOTE</u>: Large files should be submitted using a flash drive or a file-sharing platform, such as Drop Box.)
- Mail / Hand Deliver: Community Development (4th Floor), Keene City Hall, 3 Washington St, Keene, NH 03431

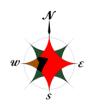
The submittal requirements for subdivision and BLA applications are outlined further in **Article 20** and **Article 26.10** of the <u>Land Development Code (LDC)</u>. You may request an exemption from submitting any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information may be requested by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS						
CERTIFIED NOTICE LIST (See Attachment A for more information.)						
2 SETS OF MAILING LABELS (See Attachment A for more information.)						
PROJECT NARRATIVE (See Section 1 of Attachment B for more information.)						
FEES: Fill in the information below to calculate the total fee. □ \$200 base fee □ \$100 fee per lot x³ lots □ \$62 legal ad fee □ \$422 current USPS certificate of mailing rate x number of abutters □ 632.84 (TOTAL FEE) NOTE: Please call the Community Development Department for the current certificate of mailing rate. Checks should be made paya-						
WAIVERS (See Section 2 of Attachment B for additional miles miles	ER(S) REQUESTED VAIVER(S) REQUESTED					
PLAN SETS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED				
LOCATION MAP	/					
EXISTING CONDITIONS PLAN						
PROPOSED CONDITIONS PLAN						
TECHNICAL REPORTS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED				
DRAINAGE REPORT		V				
TRAFFIC ANALYSIS		V				
SOIL ANALYSIS		V				
OTHER REPORTS / ANALYSES		'				
LOT MONING TRITE						

LOT MONUMENTS

Per Article 20.2.5 & Article 23.3.2 of the Land Development Code, lot monuments must be installed by the developer and verified by the Public Works Director, or security in an amount deemed satisfactory to the Public Works Director must be posted prior to final approval and signature of subdivision plans by the Planning Board. Please be aware that the Planning Board may require that this section be satisfied as a condition precedent to final approval of the plan.



CARDINAL SURVEYING & LAND PLANNING

PO Box 160
Sullivan, NH 03445
(603) 209-1989
www.cardinalsurveying.net

Three Lot Subdivision Cornelius W. Schenck and Ruth R. Schenck 435 Chapman Road Keene, NH 03431

Project Narrative

TM 239-041-000 is a 48 acre parcel in the rural zone with approximately 575' of frontage on Chapman Road. There is an existing gravel driveway accessing a house and detached garage. The lot is mostly wooded with the exception of 3 acres around the house. The land slopes gradually away from the road to the existing house site. Steep slopes begin approximately 100' from the rear of the house and extend to the lot line.

The owners are proposing to subdivide 2 building lots along Chapman Road. Proposed lot 1 is 3.57 Acres, lot 2 is 3.80 acres and the remaining lot is 40.63+- acres. The proposed lots will be accessed directly from Chapman Road.

Development Standards

Section 19.2.1 The proposed lots meet all zoning requirements

Section 19.2.2 The proposed lots are gently sloping, have adequate building areas outside the wetland buffer setback and do not pose a risk to health or peril from fire, flood, poor drainage.

Section 19.2.3 The proposed subdivision is not scattered or premature and makes very good use of the property and fits well with the surrounding development.

Section 19.2.4 The proposed lots are along Chapman Road and preserve the wetland area further back, the existing house site and steep slopes further into the main lot.

Section 19.2.5 Rebar has been set at all new lot corners.

Section 19.2.6 N/A

Section 19.2.7 Note 7 under City of Keene Development Standards on sheet 1 of 2 in the plan set.

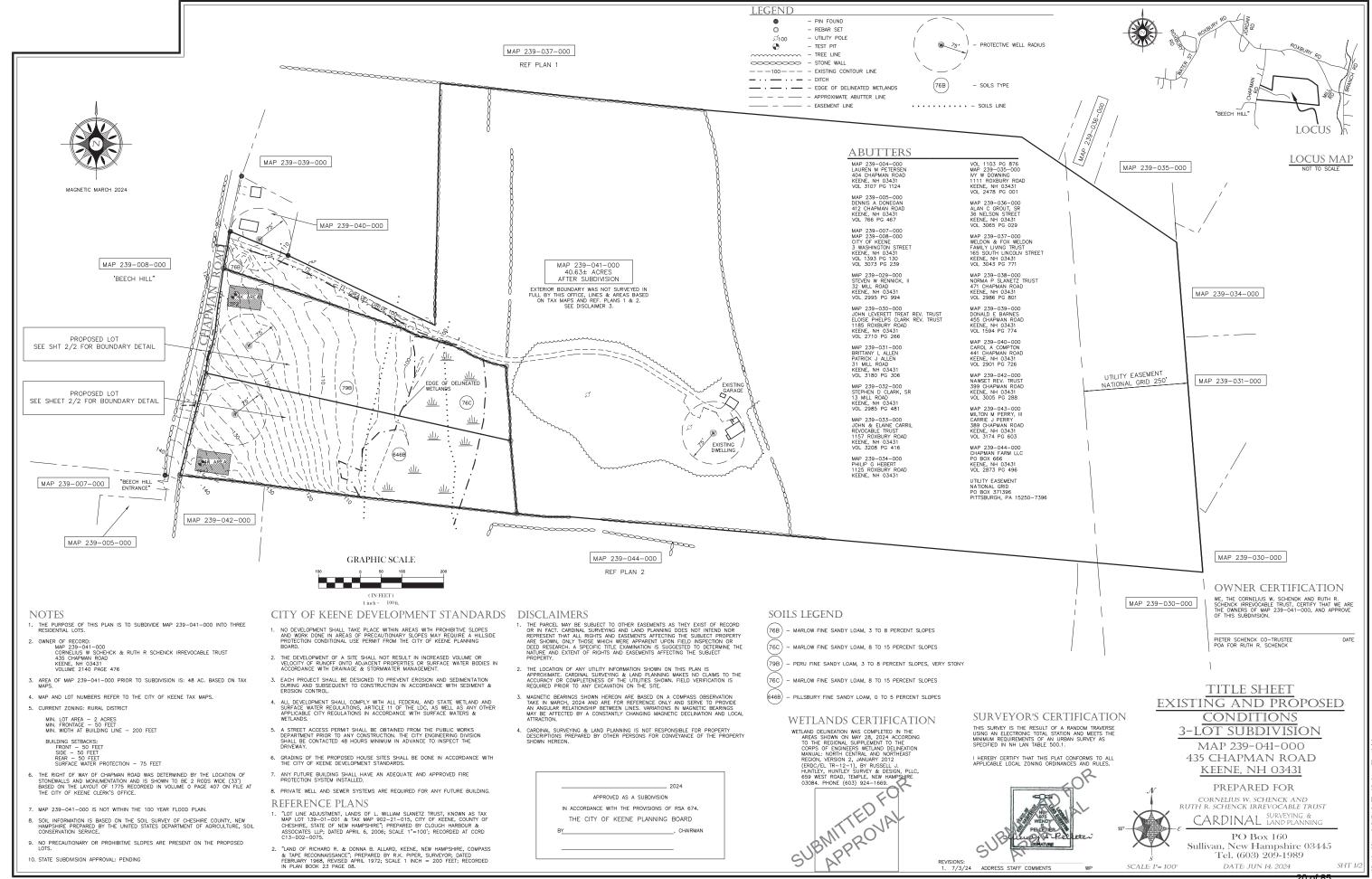
Section 19.2.8 Note 8 under City of Keene Development Standards on sheet 1 of 2 in the plan set.

Section 20: N/A This is a proposed single family home lot which is exempt from these standards.

Waivers are being requested from the Site Development Standards as noted in the application.

Article 25.10.5.b.2.i-Contours-A waiver is sought from showing contours on the entire site. Contours are shown within the area of the proposed lots only.

Article 25.10.5.b.2.v- Hillside Protections Overlay District – A waiver is sought from showing the prohibitive and precautionary slopes at the rear of the lot. These areas were not surveyed. There is no proposed new construction near or within those areas.



Huntley Survey & Design, PLLC

New Hampshire & Vermont ~ Land Surveying * Wetlands Delineation & Permitting * Septic System Design

Test Pits for NH State Subdivision Application

prepared for Cardinal Surveying & Land Planning

Land of Cornelius W. & Ruth R. Schenk Irrevocable Trust 435 Chapman Road, Keene, NH 03431 Tax Map Parcel 239-041

May 28, 2024

Russell J. Huntley
Huntley Survey & Design, PLLC
NHLLS No.877
CWS No.156
Designer No.1274

Excavation provided by Garth Tichy



H24-032 Soils Log Cornelius W. & Ruth R. Schenk Irrevocable Trust May 23, 2024

Page 2 of 3

Soil map unit:

79B Peru fine sandy loam 0 to 8% slopes, very stony

Drainage Class:

Moderately well drained, Group III

Pit observed by:

Russell Huntley, Huntley Survey & Design, PLLC

Pits Excavated by: Date Observed:

Garth Tichy May 23, 2024

RH-1

1"-0"

Forest Duff

0"-12"

7.5YR 2.5/1; fine sandy loam; friable; granular; many roots

12"-21"

10YR 3/6; fine sandy loam; friable; subangular blocky; > 20% stones and small boulders; some roots 21"-30"

10YR 4/4; loamy sand; friable; subangular blocky; 20% stones; few roots 30"-50"

5Y 4/2; sand; friable; subangular blocky; no roots, squeezable water (saturated) 10YR 3/4 C2P Redox Concentrations

50" Pit Bottom; no ledge, soil saturation observed at 30"

ESHWT: 30" (no roots, saturation, redox)

Percolation Rate: 8 MPI



Huntley Survey & Design, PLLC

H24-032 Soils Log Cornelius W. & Ruth R. Schenk Irrevocable Trust May 23, 2024

Page 3 of 3

Soil map unit:

79B Peru fine sandy loam 0 to 8% slopes, very stony

Drainage Class:

Moderately well drained, Group III

Pit observed by:

Russell Huntley, Huntley Survey & Design, PLLC

Pits Excavated by:

Garth Tichy

Date Observed:

May 23, 2024

RH-2

1"-0"

Forest Duff

0"-12"

10YR 2/2; fine sandy loam; friable; granular; many roots

12"-24"

10YR 3/4; fine sandy loam; friable; subangular blocky; many roots

24"-48"

2.5Y 5/2; loamy sand; firm; subangular blocky; no roots, moist-

10YR 5/6 C2P Redox Concentrations

48" Pit Bottom; no ledge, no free water observed

ESHWT:

24" (no roots, firm, redox)

Percolation Rate: 8 MPI



PB-2024-07 - Site Plan Review - Dinkbee's Gas Station Redevelopment - 510 Washington St

Request:

Applicant Fieldstone Land Consultants PLLC, on behalf of owner OM 510 Washington Street LLC, proposes to demolish the existing Dinkbee's building on the property at 510 Washington St (TMP #532-003-000), construct a new ~6,256-sf building in its place, and expand the number of vehicle fueling stations. Waivers are requested from Sections 20.2.1.b, 20.6.E, 20.7.2.C, and 20.14.3.D of the LDC related to the submittal of a drainage report, parking lot landscaping, light trespass, and parking. The parcel is 0.74 ac and is located in the Commerce District.

Background:

The subject property located at 510 Washington Street is an existing gas station/convenience store and laundromat located on the western side of Washington Street, between June Street to the north and Giffin Street to the south. The street access for the property is from Washington Street and currently has three large street access points that run along the majority of the frontage of the property. The property is surrounded by the Low-Density residential zoning district on all sides.

The applicant proposes to redevelop the site by demolishing the existing building and constructing a new 6,256 SF, two-unit building, adding a third fueling station, expanding the fueling canopy, adding additional parking



Fig 1: 510 Washington Street outlined in yellow

spaces, and formalizing the parking areas. The laundromat will be removed, and the convenience store expanded. The second unit will be retail space; however, a tenant for that space has not yet been identified. The property received a Variance to allow for a 20-foot rear setback instead of the 50-foot rear setback normally required to make room for the expanded building footprint.

The proposal includes an overall reduction in impervious surface, 26 parking spaces, landscape islands, and parking lot trees. A new underground storage tank to accommodate the third pumping station is also proposed. The property is not located within a flood hazard area.

The applicant has requested three waivers, including: Section 21.2.1.B "Runoff Volume and Velocity" for stormwater and drainage data, Section 21.7.2.C "Light Trespass" for light trespass of .2-footcandles where only .1-footcandles is permitted, and Section 21.14.3.D to allow for off-street parking to be in front of the proposed building. The applicant also requests approval for an alternate landscape plan related to the screening of parking from the public right-of-way.

Determination of Regional Impact:

After reviewing the application, staff have made a preliminary evaluation that the proposed site plan does not appear to have the potential for "regional impact" as defined in RSA 36:55. The Board will need to make a final determination as to whether the proposal, if approved, could have the potential for regional impact.

Completeness:

The applicant has requested exemptions from submitting a drainage report, historic evaluation, screening analysis, architectural and visual appearance analysis, and soil analysis. After reviewing each request, staff have made the determination that the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as "complete."

Departmental Comments:

Engineering: A Drainage Report stamped by a Professional Engineer, licensed in the state of NH should be provided. Staff are aware that the applicant has requested a waiver from the Planning Board for this requirement and will let the Board decide if such a report is necessary.

Application Analysis: The following is a review of the Planning Board development standards relevant to this application.

21.2 <u>Drainage</u>: The applicant states in their narrative that the proposed redevelopment of the property will result in an impervious surface reduction of 6.64% due to the removal of pavement in the northeast corner of the lot and the addition of new landscape areas. The applicant proposes to ty into an existing 18" corrugated plastic pipe that directs flow from the north of the site to the south of the property. The roof drains for the existing building and gas canopy are currently tied to this drainage culvert at the manhole.

The plan proposes to install a new catch basin to re-route the water around the new building and then outlet the flow to the south of the property. The plan also includes a stone infiltration trench to be installed parallel to the edge of pavement along the northwest side of the site. The applicant notes that the trench will further reduce runoff from the paved area when compared to the existing condition.

The applicant has submitted a waiver request from Section 21.2.1.B "Runoff Volume and Velocity." This section pertains to the requirement to submit sufficient drainage calculation information, in the form of a Drainage Report, to demonstrate compliance with the Planning Board's requirement that no increase in the volume or velocity of runoff onto adjacent properties shall result from the development of a site. The Board should use the Planning Board waiver criteria listed in Section 26.12.14 of the LDC, listed below, to evaluate the waiver request:

- "1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or,
- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.

- 3. In granting a waiver the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur."
- 21.3 <u>Sediment & Erosion Control</u>: The applicant proposes to install silt fencing along the western and southern portions of the property during demolition and construction. The catch basins will be equipped with temporary silt sock and permanent oil/debris hoods. The lot will be stabilized with loam and grass seed, mulch or new pavement once construction is completed. It appears that this standard has been met.
- 21.4 <u>Snow Storage & Removal</u>: Snow storage is proposed along the west side of the property on the grass area adjacent to parking lot. It appears that this standard has been met.
- 21.5 <u>Landscaping</u>: The applicant states in their narrative that the project proposes to remove pavement in various locations on the site to improve green/ open space between the building and street as well as adjacent properties. The proposal includes an expansion of landscaping along Washington Street and within the parking areas. The parking lot standards require that the site have three trees, which have been proposed along Washington Street. Proposed landscaping includes oak, maple, and hawthorn trees, evergreen shrubs, rhododendron, and other ornamental shrubs. A condition of approval regarding a landscape security is suggested in the motion language below. It appears that this standard has been met.
- 21.6 Screening: The applicant states in their narrative that the current condition of the site includes two unscreened dumpsters. The dumpster located on the southern corner of the site will be removed and a new dumpster pad/enclosure is proposed to be located on the northwestern side of the parking area and fueling stations. The enclosure will be a six-foot-tall solid fence with arborvitae evergreens planted around the enclosure. The site contains existing vegetation that screens the site from the west and south. A stockade fence will be installed to screen the property to the south from the proposed parking area. The applicant notes that HVAC equipment has not been designed for the new building, but any rooftop mechanicals will be screened according to applicable City regulations.

The applicant is requesting an alternate landscape screening plan for the parking area as allowed by section 9.4.4.A.5, which states, "The Planning Board may approve an alternative design for screening of parking lots from public rights-of-way as part of a site plan review, if they determine the proposed design generally meets the intent of this Article." The applicant states in their request that the existing conditions of the site do not meet the requirements and the proposed landscaping screen plan improves the overall condition of the site. The applicant believes that the intent of the regulation is served. The Board will need to determine if the standard has been met.

21.7 <u>Lighting</u>: The applicant states in their narrative that site lighting will be provided by building-mounted, pole-mounted, and canopy-mounted light fixtures. The proposal includes seven wall mounted fixtures, two pole mounted fixtures, and 6 canopy mounted fixtures. All proposed fixtures have a CRI of 80 and a color temperature of 3000k. The fixtures are full cutoff LEDs.

The parking areas have an average illumination of 3-footcandles and a uniformity ratio of 4:1. The canopy lighting shall not exceed 5.5-footcandles as required when adjacent to a residential zoning district. The proposed canopy illumination is 5.3-footcandles.

The applicant has submitted a waiver request from section 21.7.2.C "Light Trespass" for light trespass of .2-footcandles where only .1-footcandles is permitted at the property line of an adjacent property. The applicant states in their waiver request that there is an existing City-owned streetlight near the corner of the property. In addition, the abutting property has a light source that also illuminates this area. The Board should evaluate the waiver request using the criteria listed above under "21.2 Drainage."

- 21.8 <u>Sewer & Water</u>: The site is currently serviced with municipal water and sewer. Existing service connections will be utilized for the redevelopment. It appears that this standard has been met.
- 21.9 <u>Traffic & Access Management</u>: The applicant states in their narrative that the proposal will improve internal circulation for both vehicles and pedestrians by formalizing the parking areas and reducing the existing curb cuts along Washington Street. The plan also formalizes an existing access easement to the property located to the west of the subject parcel and identified as TMP 531-045. The applicant anticipates that the addition of a new pump station will have a negligible impact on traffic demand. A traffic report is anticipated prior to the Planning Board meeting but has not been submitted to staff at this time. The Board will need to determine if this standard has been met.

The applicant has submitted a waiver request from Section 21.14.3.D to allow for two parking spaces in front of the proposed building. The Board should evaluate the waiver request using the criteria listed above in section 21.2 of this report.

- 21.10 <u>Filling & Excavation</u>: The applicant states in their narrative that filling and excavation will be limited to the removal of the existing building and hardscape as well as digging the new building foundation and new underground storage tank. Earthwork will be minimal due to the developed nature of the site. The site is located near NH Route 9 and Washington Street provides direct access to the highway. It appears that this standard has been met.
- 21.11 <u>Surface Waters & Wetlands</u>: There are no surface waters located on the property. This standard is not applicable.
- 21.12 <u>Hazardous & Toxic Materials</u>: The applicant states in their narrative that the existing and proposed use of the property is for a refueling station. Hazardous and toxic materials will be stored on site and include gasoline and diesel fuel. All required federal and state permits will be submitted to the Community Development Department for review. Copies of the underground storage tank permit, issued by NHDES, will be sent to the department as well. It appears that this standard will be met.
- 21.13 <u>Noise</u>: The applicant states in their narrative that there is no anticipated increase in noise levels with the proposed redevelopment as the use of the property will remain the same. It appears that this standard has been met.

21.14 Appearance: The submitted elevations depict a 27' tall single-story building with muted earth tone colors. The elevation does not include a material list; however, the façade materials appear to be clapboard siding, decorative stone cladding, and wooden accents. Windows are proposed along the building front and the left elevation that will face Washington Street. In determining if the proposed architectural designs meet the standard, the Board should consider the following:

Section 21.14.2. Visual Interest:

- C "Architectural features shall not serve primarily as an advertisement, commercial display, or identifying characteristics corresponding to corporate identity."
- D "Architectural features shall conform to accepted architectural principles of design and construction."
- G "Exterior materials, textures, and colors shall minimize visual aggressiveness and shall harmonize with the City's distinctive architectural identity and unique character. Surfaces with glossy finishes, reflective glass or dark tinted exteriors, or untreated aluminum, stainless steel, or metal exterior finishes shall be discouraged."



Fig 2: Primary building façade, facing north



Fig 3: Side façade facing Washington Street to the east

Recommended Motion:

If the Board is inclined to approve this request, the following motions are recommended:

"Grant a waiver from Section 21.2.1.B "Runoff Volume and Velocity" of the Land Development Code for the requirement to submit stormwater and drainage data in the form of a Drainage Report stamped by a Professional Engineer licensed in the state of New Hampshire."

"Grant a waiver from Section 21.7.2.C "Light Trespass" of the Land Development Code to allow light trespass of .2-footcandles on an adjacent property where only .1-footcandles is permitted."

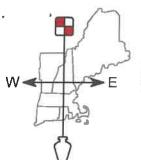
"Grant a waiver from Section 21.14.3.D "Site Design and Relationship to Surrounding Community" of the Land Development Code to allow for required off street parking to be located in front of the building where parking is normally required to be located on the sides and rear of buildings."

"Approve PB-2024-07 as shown on the plan identified as "510 Washington Street Gas Station Redevelopment" prepared by Fieldstone Land Consultants at a scale of 1 in. = 20 ft. dated June 14, 2024 and last revised July 8, 2024, and the architectural elevations prepared by Metropol Design at a scale of 1/4 in. = 1 ft. dated July 8, 2024 with the following conditions:

- 1. Prior to final approval and signature by the Planning Board Chair, the following conditions precedent shall be met:
 - A. The owner's signature shall appear on the plan.
 - B. Submittal of security for landscaping, sedimentation and erosion control and "as built" plans in a form and amount acceptable to the City Engineer.
 - C. A revised elevation set with the proposed façade materials labeled.
 - D. Submittal of five full-size paper copies and one digital copy of the final plan.
- 2. Subsequent to final approval and signature by the Planning Board Chair, the following conditions shall be met:
 - A. Prior to the commencement of site work, the Community Development Department shall be notified when all erosion control measures are installed and the Community Development Director, or their designee, shall inspect the erosion control measures to ensure compliance with this site plan and all City of Keene regulations."



ij you nave questions about now to complete this form, please call: (603) 332-3440 or email: communityaevelopment@keenenn.gov					
SECTION 1: PROJECT INFORMATION					
PROJECT NAME:	TYPE OF APPLICATION BEING SUBMITTED:				
Dinkbee's Convenience Store Redevelopment	MAJOR PROJECT APPLICATION				
PROJECT ADDRESS(ES): 510 Washington Street	☐ MINOR PROJECT APPLICATION				
EXISTING OR PREVIOUS USE: Gas station, convenience store, laundromat	PROPOSED USE: Gas station, convenience store, retail space				
GROSS FLOOR AREA OF NEW CONSTRUCTION (in square feet) 6,256 square feet	GROSS FLOOR AREA OF EXISTING BUILDINGS/STRUCTURES (in square feet) 3,345 SF (includes fueling canopy)				
AREA OF PROPOSED NEW IMPERVIOUS SURFACES (in square feet) -2,145.3 square feet	TOTAL AREA OF LAND DISTURBANCE (in square feet)				
SECTION 2: CONTA	ACT INFORMATION				
PROPERTY OWNER	APPLICANT				
NAME/COMPANY: OM 510 Washington Street, LLC	NAME/COMPANY: OM 510 Washington Street, LLC				
MAILING ADDRESS: 5 Patriot Ridge Lane, Westborough, MA 01681	MAILING ADDRESS: 5 Patriot Ridge Lane, Westborough, MA 01681				
PHONE:	PHONE:				
607-596-3474					
EMAIL:	EMAIL:				
acres1922@gmail.com					
SIGNATURE:	SIGNATURE:				
PRINTED NAME:	PRINTED NAME:				
Rakesh Patel	Rakesh Patel				
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:				
NAME/COMPANY: Fieldstone Land Consultants, PLLC	TAX MAP PARCEL #(s): 532-003-000-000-000				
MAILING ADDRESS: 206 Elm Street, Milford, NH 03055					
PHONE: (603)672-5456	PARCEL SIZE: O. THO DATE STAMP:				
jenoonan@fieldstonelandconsultants.com SIGNATURE:	ZONING DISTRICT: COMMON OF JUN 1 4 2024				
PRINTED NAME. John Noonan	PROJECT #: By				



FIELDSTONE

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LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456 www.FieldstoneLandConsultants.com

June 13, 2024

FLC#3661.00 / JEN

Map 532 Lot 003-000 OM 510 Washington Street, LLC 16 East Main Street Westborough, MA 01581 (510 Washington Street)

Map 518 Lot 023-000 Darron V. Friedman 2 West Diane Drive Keene, NH 03431 (527 Washington Street)

Map 518 Lot 026-000 John J. Carland Jr., Faye E. Carland 521 Washington Street Keene, NH 03431 (0 off Washington Street)

Map 518 Lot 005-000 Robert Orr, Donna O'Hara-Orr 8 June Street Keene, NH 03431

Map 531 Lot 045-000 Charles D. Tousley Rev. Trust P.O. Box 626 Keene, NH 03431 (508 Washington Street)

Map 532 Lot 002-000 Dennis E. Flagg, Eileen M. Flagg 504 Washington Street Keene, NH 03431

Map 532 Lot 006-000 Patel K. Dharmesh 503 Washington Street Keene, NH 03431 List of Abutters
Tax Map 532 Lot Number 003
Keene, New Hampshire

Map 518 Lot 001-000 Shakour Diversified Inc P.O. Box 487 Keene, NH 03431 (520 Washington Street)

Map 518 Lot 024-000 Jerusalem Lodge #104 Masonic Association 525 Washington Street Keene, NH 03431

Map 518 Lot 003-000 Brett A. King, Sr., Kelly J. King 524 Washington Street Keene, NH 03431

Map 519 Lot 037-000 Fox Trail Farm LLC P.O. Box 626 Keene, NH 03431 (0 Fox Ave)

Map 532 Lot 001-001 Toby Tousley P.O. Box 626 Keene, NH 03431 (500 Washington Street)

Map 532 Lot 004-000 Diane E. Burke, Daniel P. Burke 515 Washington Street Keene, NH 03431

Map 532 Lot 007-000 Jonathan R. Turgeon, Amy L. Campbell 499 Washington Street Keene, NH 03431 Map 518 Lot 002-000 Jean M. Forbus Living Trust 522 Washington Street

Keene, NH 03431

JUN 1 4 2024

G

Map 518 Lot 025-000 John J. Carland, Jr. 521 Washington Street Keene, NH 03431

Map 518 Lot 004-000 Chakrya Duggan 526 Washington Street Keene, NH 03431

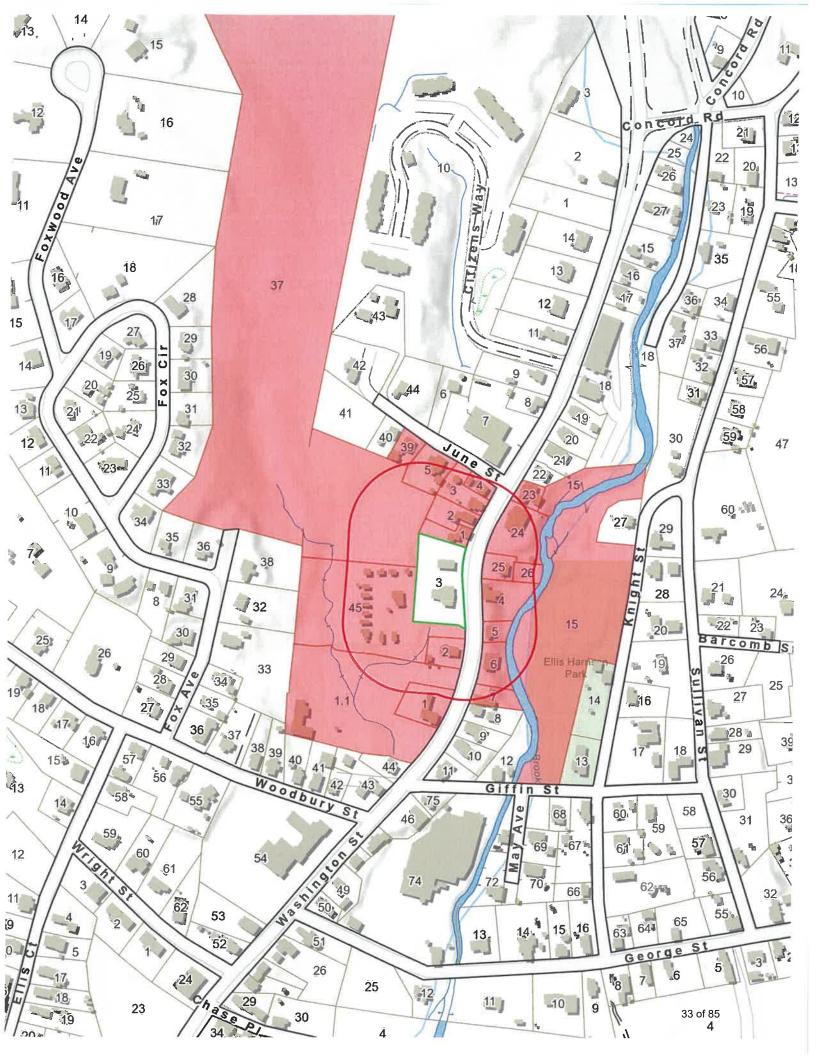
Map 519 Lot 039-000 Warren A Denico III, Kristin Marie Denico 14 June Street Keene, NH 03431

Map 532 Lot 015-000 City of Keene 3 Washington Street Keene, NH 03431 (0 Giffin Street)

Map 532 Lot 005-000 Jordan J. Estrada, Brianna Estrada 27 Valleyview Drive Merrimack, NH 03054 (507 Washington Street)

Map 532 Lot 001-000 Toby D. Tousley P.O. Box 626 Keene, NH 03431 (490 Washington Street)

Engineer: Fieldstone Land Consultants, PLLC 206 Elm Street Milford, NH 03055



Surveying

Engineering

Land Planning

Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456 www.FieldstoneLandConsultants.com

Site Plan Application Narrative

OM 510 Washington Street, LLC Dinkbee's Gas Station Redevelopment Tax Map Parcel 532-003 510 Washington St. Keene, New Hampshire



June 14, 2024

Project Narrative:

Fieldstone Land Consultants, on behalf of OM 510 Washington Street, LLC, is submitting this narrative as part of the Planning Board Site Plan review application. The applicant is looking to expand the existing gas station, convenience store, and retail space (currently a laundromat). The proposal consists of razing the existing building, constructing a new 6,256 SF building with two separate units, increasing parking spaces, additional gas pumps, expanding the fuel pump canopy area, and formalizing parking areas.

The site is located on Tax Map 532, Lot 003 with the access and frontage on Washington Street. The size of the lot is listed as 0.744 acres with 233.5' of frontage per the City of Keene tax maps. The zoning district is Commerce (COM). The current use on the property is a gas station with a small convenience store and a laundromat combined in one building, and the use is permitted in this zone. The proposed use would be similar to the existing condition, but expand the space for the convenience store, replace the laundromat with a new retail space, provide separate units, and provide more parking on site. The proposal would also increase the number of gas pumps and the installation of a new underground fuel storage tank. Twenty-six parking stalls, including one ADA space, are proposed.

To accommodate the new building, we were granted a variance from Article 5.1.2 *Dimensions & Siting*, Minimum Rear Setback. The property abuts a residential district, the required rear setback is 50 feet; we were granted a 19.1-foot rear setback in order to hold the 20-foot front setback. While increasing the building size, adding additional gas pumps and parking, the redevelopment of this parcel will reduce the overall impervious surface by 6.64% from existing conditions. The property is bordered by the Low Density District on all sides. The entire parcel lies outside of the limits of the Flood Hazard Area.

We are requesting a waiver from Article 20.14.3(D) of the LDC to allow for off street parking in front of the proposed building. The existing conditions of the site provide employee parking in front of the structure; the area between Washington Street and the building front is almost entirely paved with a small landscaped island between the parking/access area and the street. Site is paved beyond the southern property border, with access encroaching through Tax Map Parcel 532-002. Two of the proposed parking spaces will be in front of the building, while two full and two partial proposed parking spaces will be to the sides of the building and nearer to the ROW than the building. The large proposed landscape island will prevent informal parking in front of the building in the future.

Below is an outline of the Site Development Standards on the application and how each is addressed.



BULL BASION CHAIR BULL SALES CHAIR C

3661.00 OM 510 Washington Street, Keene Page 2 of 3

20.2 Drainage & Stormwater Management:

This project proposes to construct a building with associated site improvements. The site improvements consist of walkways, lighting, landscaping, reworking the travel patterns and parking layout and limits of pavement. To incorporate Low Impact Design elements, the redevelopment of this property proposes to decrease the impervious cover or lot coverage by 6.64% due to the removal of pavement adjacent to the northernmost parking area and increases in landscaped areas. Since the total impervious surface of the subject property will be reduced as a result of the proposed redevelopment, stormwater will continue to be directed to existing drainage and stormwater management areas.

20.3 Sediment and Erosion Control:

Silt fence will be installed along the down gradient perimeter of the development area to prevent sediment travel. All catch basins will have temporary silt socks during construction and permanent oil/debris hoods installed, along with 3-foot deep sumps. Disturbed areas will be stabilized as shown on the site plan with loam and plantings, mulch or new pavement. The site has been designed with sedimentation and erosion controls. Please see the attached Site Plan Set.

20.4 Snow Storage & Removal

This plan proposes adequate snow storage. Snow storage is designated in areas shown on the site plan.

20.5 Landscaping

The redevelopment of the subject property proposes to remove pavement in various locations to improve green/open space between the street and adjacent properties. The plans also include the expansion of landscaping along Washington Street. There will also be landscaping within the reworked parking areas to make the site more aesthetically appealing and to reduce impervious areas. The existing conditions have almost no landscaping between the front of the existing structure and Washington Street, this landscaping is an immense improvement. We believe that this proposal meets the City Zoning and Development Standards as it pertains to Landscaping and that the redevelopment of this site will be an improvement to the area.

20.6 Screening

There are two existing, unscreened dumpster locations on the site. The dumpster in the southwest corner of the property serves Tax Map Parcel 531-045 and will be relocated to the adjacent parcel. The remaining dumpster will be screened with arborvitae to reduce visibility from the public way. Existing vegetation provides screening to the west and south. HVAC equipment is not designed at this time, but it is noted that it must meet the City screening standards once installed.

20.7 Lighting

Site lighting will be provided by building mounted, pole mounted, and canopy mounted, full cutoff LED light fixtures. The lighting levels are shown on the Lighting Plan located within the plan set. From our review of the regulations, we believe that the lighting design for this project meets the City standards. It is noted for hours of operation and 50% of the lights will be on motion sensors to provide security lighting. There are no lights proposed near property lines or public ways.

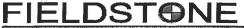
20.8 Sewer & Water

The site is currently connected to municipal sewer and water. The proposed building will utilize the existing service connections onto the site. Any utility fit up work will meet the City standards as detailed in the plan set.

20.9 Traffic & Access Management

This project proposes to construct a 6,256 S.F. two-unit retail building, additional fueling station with associated site improvements. This proposal does not change the use of the building but improves traffic circulation internally and onto Washington Street. There are three existing curb cuts, the southernmost curb cut encroaches through Tax Map Parcel 532-002 approximately 11 feet. There is a 15-foot wide right-of way for access to Tax Map Parcel 531-045. Existing access and traffic movement on the site allows for vehicular movement from the northernmost access through the site to the southernmost access, resulting in informal parking areas in front of the existing structure.

The site improvements proposed will reduce the amount of existing impervious cover on-site while formalizing



LAND CONSULTANTS, PLLC

3661.00 OM 510 Washington Street, Keene Page 3 of 3

the number of parking spaces and potential traffic over what presently exists. This project also proposes to reduce the width of the existing curb cuts, discontinue the encroachment onto Tax Map Parcel 532-002, and formalize the location of the right-of-way to Tax Map Parcel 531-045 allowing for better traffic flow and safety entering and exiting the site. Based on this evaluation this project should have no adverse impacts on the traffic characteristics of the surrounding roadway network.

20.10 Filling & Excavation

Filling and Excavation will be required for the removal of the existing building, the removal of portions of the existing paved areas, the construction of the new building and associated foundation, the construction of proposed walkways, the installation of the new underground fuel storage tank, and utility connections if necessary.

This project does not propose any excavation or filling of jurisdictional wetland or floodplain areas.

Since this proposal consists of replacement and expansion of an existing building on the subject parcel the amount of earthwork for this project is relatively minor and the specifications to complete this work properly are contained in the plan set. The materials transported to and from the site will utilize Washington Street.

20.11 Surface Water & Wetlands

There are no wetlands or surface waters within the proposed project limits or on-site. This project will therefore have no impacts on any jurisdictional wetland areas or surface waters.

20.12 Hazardous & Toxic Materials

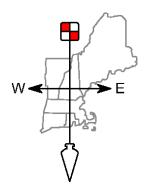
The existing and proposed use of this site includes a refueling station. As such, hazardous or toxic materials (as defined by NH RSA 339-A:2) will be stored onsite including gasoline and diesel fuel. Copies of all state and federal permits and plans as required by the NH Department of Environmental Services for the proposed use will be submitted to the City's Building and Health Official and the Fire Department for review. The permitting of the underground fuel storage tank will be completed with NHDES and copies sent to the City.

20.13 Noise

There is no anticipated increase in noise levels from the existing conditions to the proposed improvements as the use is remaining largely the same.

20.14 Architecture & Visual Appearance

The architectural plans for this project are pending at this time, but will be submitted prior to the Planning Board meeting. The new building will be a major improvement from the existing building and increase the aesthetics of the property.



206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456 www.FieldstoneLandConsultants.com

July 8, 2024

City of Keene Planning Board

Attn: Evan Clements City Hall - 4th Floor 3 Washington Street-Keene, NH 0343

RE: PB-2024-07, TMP #532-003-000

Dinkbee's Convenience Store Redevelopment

Waiver Request

Dear Planning Board,

Fieldstone Land Consultants, on behalf of OM 510 Washington Street, LLC, is submitting this waiver request for Planning Board approval. The proposed project consists of expanding the existing gas station, convenience store, and retail space. The proposal consists of razing the existing building, constructing a new 6,256 SF building with two separate units, increasing parking spaces, additional gas pumps, expanding the fuel pump canopy area, and formalizing parking areas. Based on the Community Development review letter, dated June 28, 2024, we are hereby seeking waivers for following standards in the Land Development Code (LDC).

Waiver 1:

§ 20.2.1.B Runoff Volume and Velocity: States that the applicant shall provide sufficient data in the form of a drainage report prepared by a NH licensed engineer to demonstrate compliance with requirement. The redevelopment plans will reduce overall impervious surfaces on the subject property. Stormwater will be directed to existing stormwater management areas, following existing, established flow pathways to existing discharge points. An infiltration trench will be constructed along the rear of the property to mitigate any potential water trespass off of the site. We are requesting a waiver for this requirement, as allowed per Section Article 25.12.14.A.

1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations: If the applicant is required to adhere to this section of the regulations, it will impose an unnecessary hardship. The engineering work required to produce this information will add significant time and cost to the project. The spirit and intent of the ordinance will be met by approving the waiver for this section. The purpose of the regulation is to



Dinkbee's Convenince Store Redevelopment Lot 532-003 – Waiver Request

Page 2 of 4

demonstrate no increase in peak flow rates off of the property during storm events as a result of proposed improvements. The proposed improvements reduce impervious areas and add an additional LID. The proposed improvements will use existing discharge points. As such a stormwater and drainage report is unnecessary for the proposed improvements.

- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations. The site plan demonstrates both the reduction in impervious area and the existing stormwater management conditions on the subject property. The proposed conditions demonstrate grading of the site that will continue to direct stormwater to existing discharge points after redevelopment.
- 3. In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur. There will be no increase in adverse impacts by granting this waiver.

Waiver 2:

§ 20.6.E. Parking Lots: States that parking lots shall be designed and screened in accordance with Article 9 of this LDC. Article 9.4.4.A. addresses parking lot screening and perimeter landscape area. The existing conditions of the subject property do not comply with these regulations along the northern and southern boundaries of this property. The proposed redevelopment of the subject property will follow existing, historic buffers and edge of pavement along the northeastern boundary of the property with some removal of impervious surface beyond the existing curb. The existing conditions do not comply with this regulation, the proposed improvements, while not meeting the regulation will improve over existing conditions. The existing southern access driveway on the property trespasses across the southern property line. The proposed redevelopment will reduce and formalize this access point. A stockade fence is proposed for screening between the proposed parking area and the property to the south. We are requesting a waiver for this requirement, as allowed per Section Article 25.12.14.A.

1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations: If the applicant is required to adhere to this section of the regulations, it will impose an unnecessary hardship. The subject property has two established business operations onsite and no existing landscape buffer in the areas in question. Providing an eight-foot wide landscape buffer along these sections of parking will limit the expansion of this business property by limiting the number of parking spaces that can fit on the property. The proposed improvements will allow for the expansion of business on the property. Complying with this regulation would prevent the property owner and applicant from investing in this redevelopment and expansion. The purpose of this regulation is to screen



Dinkbee's Convenince Store Redevelopment Lot 532-003 – Waiver Request

Page 3 of 4

adjacent properties from new parking areas, the access and parking areas on this property have been long established with no screening. Improvements to the northern parking area will mimic existing conditions and the addition of a stockade fence to the south will improve existing conditions.

- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations. The site plan demonstrates that the waiver will carry out the spirit and intent of the regulations. The proposed improvements as shown on the site plan demonstrate that the redevelopment of the site will be more in compliance with these regulations than existing conditions.
- 3. In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur. There will be no increase in adverse impacts by granting this waiver.

Waiver 3:

§ 20.7.2.C Light Trespass: States that the maximum light level of any light fixture cannot exceed 0.1-footcandle measured at the property line and cannot exceed 1-footcandle measured at the right-of way line of a street. The redevelopment plans include a pole mounted light fixture in the northeastern corner of the subject property. The proposed foot candle reading for this light is 0.2-footcandles at the property line. Existing lighting features on the adjacent property (TMP 518-001-000) in addition to an existing street light approximately 10 feet distant to the proposed light already illuminate the area of the property line in excess of 0.1-footcandles. We are requesting a waiver for this requirement, as allowed per Section Article 25.12.14.A.

- 1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations: If the applicant is required to adhere to this section of the regulations, it will impose an unnecessary hardship. The proposed light is intended to illuminate the parking and refueling area. The proposed light is necessary for the safety and security of customers and workers on the property. The light trespass will not exceed existing conditions. The spirit and intent of the ordinance will be met by approving the waiver for this section. The purpose of the regulation is to demonstrate no excessive light trespass on adjacent properties. This area is and should be well lit to preserve safe and secure conditions on the property and the adjacent commercial property. As such, we request a waiver to this regulation.
- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the



Dinkbee's Convenince Store Redevelopment Lot 532-003 – Waiver Request

Page 4 of 4

regulations. The site plan demonstrates the minimal light incursion at the northeast corner of the property. The adjacent property is also developed as a commercial property with their own site lighting to provide safety and security on the premises. The spirit and intent of the regulation is to prevent unwanted light trespass, it is clear from existing conditions that lighting is both wanted and necessary in this location to provide safety and security for these businesses, their workers, and their patrons. The proposed lighting demonstrates the intent to meet this goal with as little light trespass as possible.

3. In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur. There will be no increase in adverse impacts by granting this waiver.

Thank you for your consideration in granting the waivers outlined above.

Best Regards,

FIELDSTONE LAND CONSULTANTS, PLLC

John Noonan Project Engineer

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456 www.FieldstoneLandConsultants.com

Evan J. Clements Community Dev. Planner City of Keene 3 Washington St – 4th Floor Keene, NH 03431

July 8, 2024

RE: **Response to Staff Comments**

PB-2024-07 Site Plan Application

Dinkbee's Convenience Store Redevelopment

Mr. Clements:

On behalf of our client, Rakesh Patel of OM 510 Washington Street, LLC, we are hereby submitting revised plans based on the staff comment letter, dated June 28, 2024. The staff comments and our responses are listed below:

- Please submit color elevations of the proposed building so they can be reviewed for compliance with the Planning Board's Architectural and Visual Appearance standards in section 20.14 of the LDC.: Color elevations and architectural plans are included herewith.
- Please provide an estimate of the traffic generated by the existing and proposed development using the most recent version of the ITE Trip Generation Manual (available at Keene Public Works, 350 Marlboro St.). Please be aware that any project involving 100 or more vehicle trips per day shall demonstrate that the project will not diminish the capacity or safety of existing city streets, bridges, or intersections.: The estimated traffic in the ITE Trip Generation Manual is based on number of gas pumps with 8 or less, under Land Use Code 945: Convenience Store/Gas Station. The estimated number of trips per day would not change substantially, as we have 4 pump stations existing and 6 pump stations proposed. We do not foresee any impact on the City Streets based on the proposed condition to warrant a traffic report. We will submit trip calculations for the existing and proposed scenarios prior to the Planning Board meeting.
- Please submit a drainage analysis to demonstrate that there will be no net increase in runoff (volume or velocity) from the site. A waiver request letter has been included for this check list item, as there is a reduction in impervious area and stormwater will continual to flow to the existing discharge points.
- a. The proposed drainage pipe (previously blocked off/discontinued but now proposed to be used) extends beyond the property line onto adjacent private property. Please describe who will be taking ownership and how this infrastructure will be maintained in the future.: The direction of the blocked off culvert was incorrect and has been corrected on the plan. The northern pipe is blocked off, however, the existing 18" HPDE corrugated plastic pipe is an active drainage structure that flows from the north to the south of the property. The existing building's roof drains and gas canopy roof drains are tied to this culvert at the existing drain manhole. The drain manhole has an 18" HDPE culvert that outlets to the south of the property. The plan is install a catch basin to re-route the water around the new building, and still outlet to the south as it currently does. The proposed drainage will also include a stone infiltration trench parallel to the edge of the pavement along the northwest side of the site. This infiltration trench will further reduce pavement runoff when compared to the existing condition.
- While the proposed dumpster location is the same as the existing location, the area is being redeveloped along with the rest of the site. The dumpster area will need to comply with section 20.6.2.A, "Service Areas" of the LDC of the Planning Board's Screening standards, which states "Waste storage containers (e.g. dumpsters or bulk storage containers) shall be fully screened by a solid enclosure of wood, masonry, vinyl or other material deemed acceptable by the Planning Board." Please either revise the plan to include a dumpster enclosure area that meets this standard or submit a waiver request.: A dumpster enclosure fence has been added to the plans, in addition to the concrete pad.

3145.00 Patel Page | 1



- 5. A second, smaller dumpster is shown in the southeast corner of the property. The project narrative states that this dumpster will be relocated to the adjacent parcel. Since this dumpster is proposed to be moved off site, please remove it from the proposed conditions plan: The dumpster has been removed from the proposed plans, as it will be relocated onto the abutter's property.
- 6. Please submit separate cut sheets for all proposed light fixtures. Please note that these cut sheets will need to show a color rendering index (CRI) that is greater than 70.: The lights are shown on the plans and cutsheets provided herewith. The CRI for the proposed lights is 80, as listed in Design Notes #2 (Sheet LT-1).
- 7. The photometric plan shows light trespass of 0.2 footcandles on the southeast corner of the abutting property to the north when only 0.1 footcandles are allowed. Please revise the plan to remedy the light trespass or submit a waiver request.: There is currently a City owned street light that illuminates this area of the street and abutting property. The abutter also has wall mounted lights in this same area, so the added light from the proposed site will not impact the abutter. For these reasons, we are submitting a waiver request.
- 8. The northern parking area, adjacent to the residential zoning districts to the west and the southern parking area, adjacent to the residential zoning district to the south will need to be landscaped as required by section 9.4.4.A, "Perimeter Landscape Area" of the LDC. Please revise the Landscape Plan to propose landscaping that meets the requirements of the above section.: The northern parking has been revised to maintain the existing pavement and add additional parking to the west. The existing trees will remain along the northern property line and the new spaces. It should be noted that the northern adjacent lot is not residential zoning.

 The southern parking is located in an area that is currently paved. As there is no room to provide a landscaped buffer, a 6'H vinyl fence has been provided. The pavement encroachment into the abutting property to the south has been eliminated, and this proposed layout/entrance will be a great improvement to the aesthetics to this area. We have requested a waiver for perimeter landscaping in this area and are asking the Planning Board to approve an alternative landscaping plan.
- 9. Please be aware that a copy of the crossing easement language will need to be submitted prior to final approval by the Planning Board.: Understood. The crossing easement language will likely remain the same as the existing easement language with an addition of "following centerline of driveway", as the existing does indicate the precise location of the easement.
- 10. Please be aware that the existing water and sewer infrastructure extending to the property's boundary has been replaced by the city recently; however, city engineering staff recommend replacing these services beyond the Right-of-Way.: We obtained tie cards from the City Public Works for the locations shown on the plans. The plans already show that the services from the Right-of-Way to the building will be replaced (sheet UT-1). The utilities that service the rear lot will also be maintained.

We believe that the above responses and revised plans have addressed the items outlined by City staff. If you have any questions or need further clarification, please do not hesitate to contact me at <u>jenoonan@fieldstonelandconsultants.com</u> or (603) 672-5456.

Best Regards,

John Noonan

Fieldstone Land Consultants

3145.00 Patel Page | 2

SITE DEVELOPMENT PLANS

510 WASHINGTON STREET GAS STATION REDEVELOPMENT

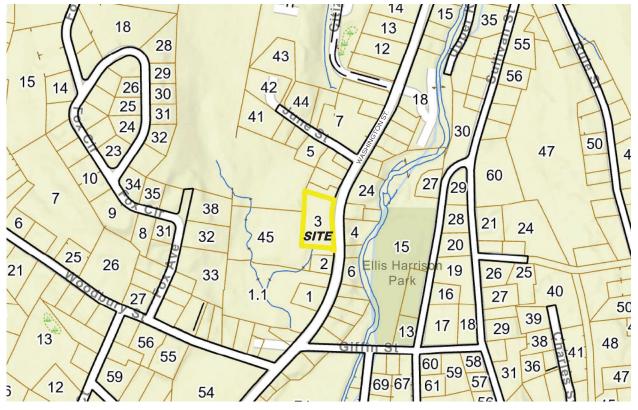
- TAX MAP 532, LOTS 003 -

(WASHINGTON STREET)

KEENE, NEW HAMPSHIRE

JUNE 14, 2024

LAST REVISED: JULY 8, 2024



SCALE: 1"=400'

PREPARED FOR: RAKESH PATEL

6 PATRIOT RIDGE LANE, WILBRAHAM, MA 01095

LAND OF:

OM 510 WASHINGTON STREET, LLC

16 EAST MAIN STREET, WESTBOROUGH, MA 01581



Surveying + Engir	neering + Land Planning + Permitting + S
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W \ E	LAND CONSULTANTS
1	206 Elm Street, Milford, NH 030
冷	Phone: (603)-672-5456 Fax: (603)
\	www.FieldstoneLandConsultants

SHEET INDEX					
PAGE	SHEET	TITLE			
1 2 3 4 5 6 7 8 9 10	CV-1 EX-1 SP-1 GR-1 UT-1 LS-1 LT-1 DT-1 DT-2 DT-3	COVER SHEET EXISTING CONDITIONS PLAN SITE PLAN GRADING & DRAINAGE PLAN UTILITY PLAN LANDSCAPING PLAN LIGHTING PLAN EROSION CONTROL DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS			
11	DT-4	CONSTRUCTION DETAILS (SEWER)			

OWNER'S SIGNATURE:	DATE:

APPROVED BY THE KEENE, NH PLANNING BOARD FOR PHASE
ON DATE:
CERTIFIED BY:

ı										
	A	7/8/24		REVS PER	STAFF COM	MENTS			JEN	CEB
1	REV.	DATE		DESCRIPTION			C/0	DR	CK	
	FILE: 3661	CV00A.dwg	PROJ. NO.	3661.00	SHEET:	CV-1	PAGE NO.	of 85°	11	THE REAL PROPERTY.



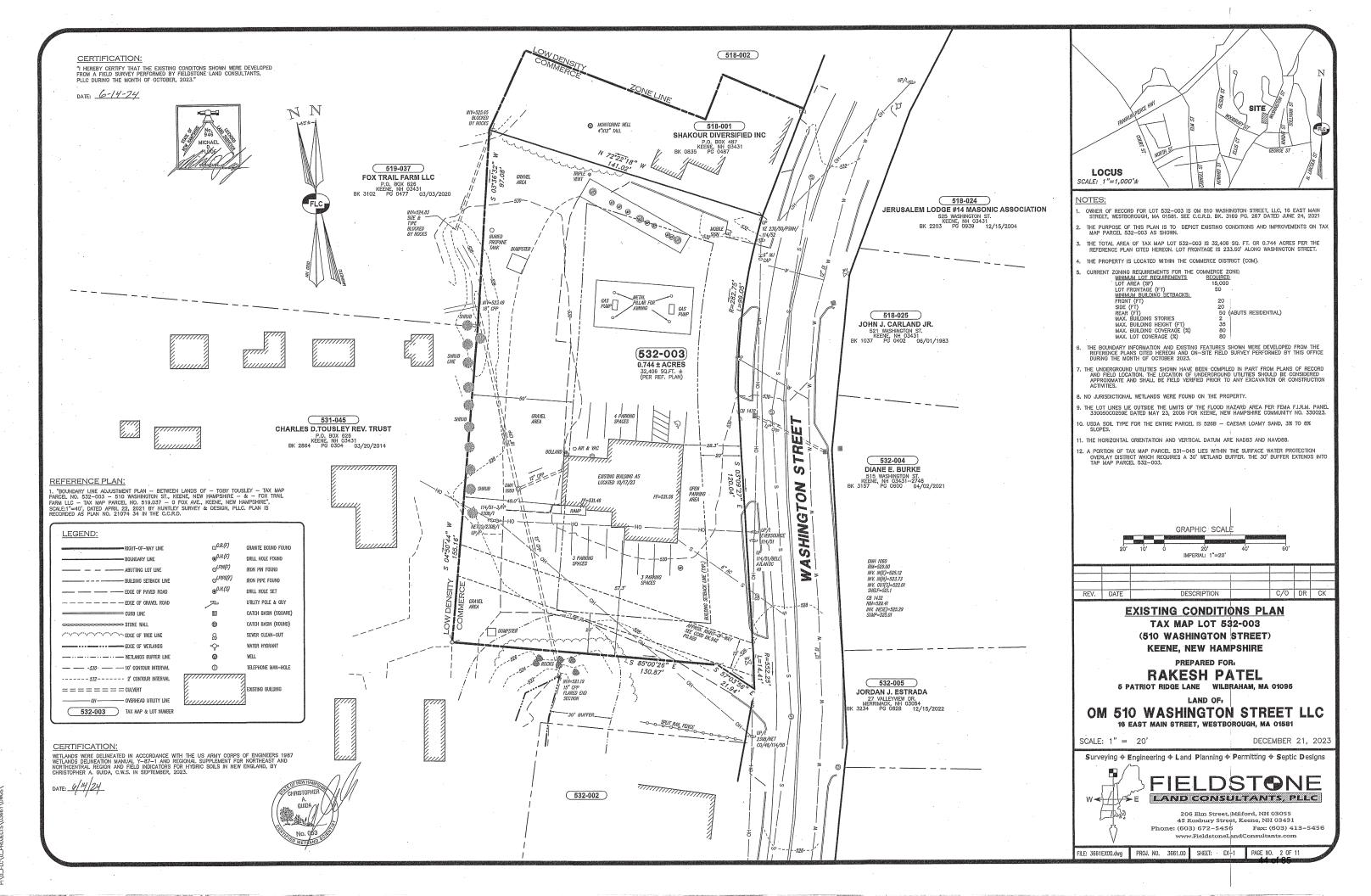
THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCAT
 AND PRESERVE ALL UTILITY SERVICES.

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION

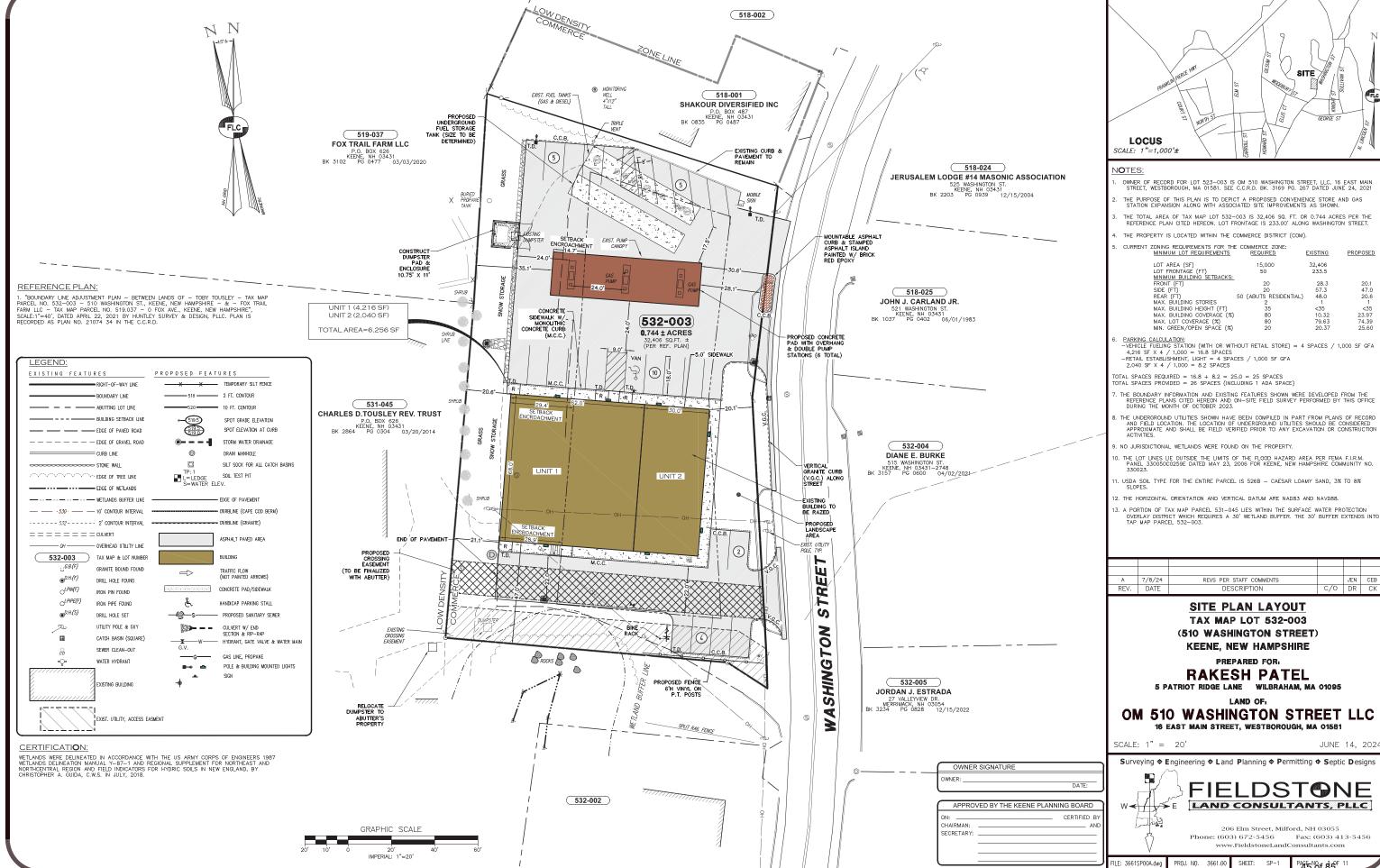
HE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

DIGSAFE.COM

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SITE

EXISTING

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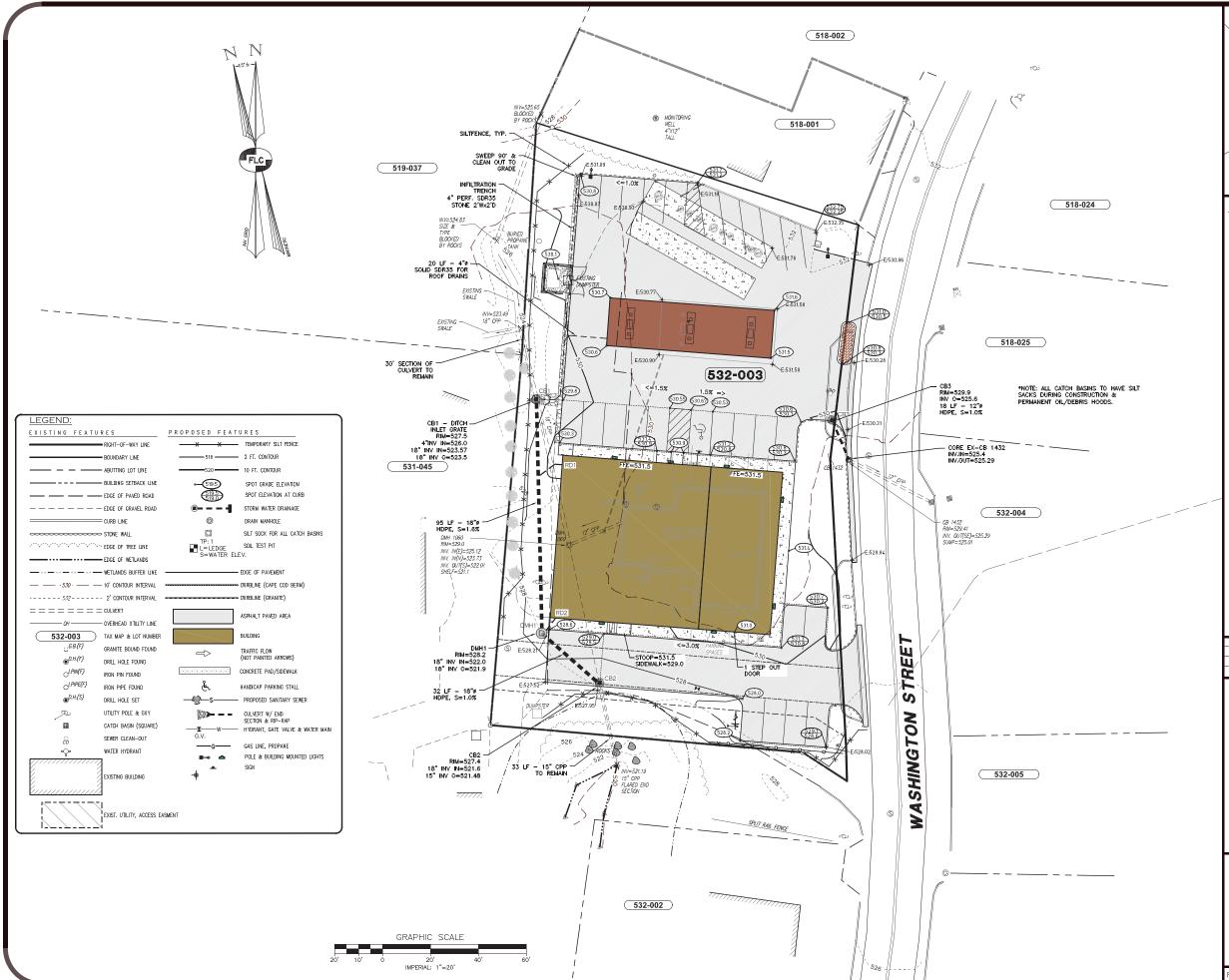
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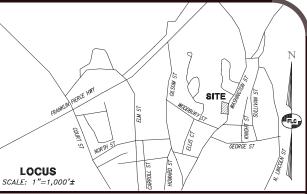
PROPOSED.

20.1 47.0 20.6

JEN CEB

JUNE 14, 2024





NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED CONVENIENCE STORE AND GAS STATION EXPANSION ALONG WITH ASSOCIATED SITE IMPROVEMENTS AS SHOWN.
- THE TOTAL AREA OF TAX MAP LOT 532-003 IS 32,406 SQ. FT. OR 0.744 ACRES PER THE REFERENCE PLAN CITED HEREON. LOT FRONTAGE IS 233.00' ALONG WASHINGTON STREET.
- THE PROPERTY IS LOCATED WITHIN THE COMMERCE DISTRICT (COM).

 MINIMUM LOT REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF)	15,000	32,406	
LOT FRONTAGE (FT)	50	233.5	
MINIMUM BUILDING SETBACKS:			
FRONT (FT)	20	28.3	20.1
SIDE (FT)	20	57.3	47.0
REAR (FT)	50 (ABUTS RESIDENTIAL)	48.0	20.6
MAX. BUILDING STORIES	` 2	1	1
MAX. BUILDING HEIGHT (FT)	35	<35	<35
MAX. BUILDING COVERAGE (%)	80	10.32	23.97
MAX. LOT COVERAGE (%)	80	79.63	73.01
MIN. GREEN/OPEN SPACE (%)	20	20.37	27.01

PARKING CALCULATION:
--VEHICLE FUELING STATION (WITH OR WITHOUT RETAIL STORE) = 4 SPACES / 1,000 SF GFA
4,216 SF X 4 / 1,000 = 16.8 SPACES
--RETAIL ESTABLISHMENT, LIGHT = 4 SPACES / 1,000 SF GFA
2,040 SF X 4 / 1,000 = 8.2 SPACES

TOTAL SPACES REQUIRED = 16.8 + 8.2 = 25.0 = 25 SPACES

TOTAL SPACES PROVIDED = 26 SPACES (INCLUDING 1 ADA SPACE)

- THE BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HERCON AND ON—SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONITH OF OCTOBER 2023.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- NO JURISDICTIONAL WETLANDS WERE FOUND ON THE PROPERTY.
- 11. USDA SOIL TYPE FOR THE ENTIRE PARCEL IS 526B CAESAR LOAMY SAND, 3% TO 8%
- 2. THE HORIZONTAL ORIENTATION AND VERTICAL DATUM ARE NAD83 AND NAVD88.
- 13. A PORTION OF TAX MAP PARCEL 531-045 LIES WITHIN THE SURFACE WATER PROTECTION OVERLAY DISTRICT WHICH REQUIRES A 30' WETLAND BUFFER. THE 30' BUFFER EXTENDS INTO TAP MAP PARCEL 532-003.

Α	7/8/24	REVS PER STAFF COMMENTS		JEN	CEB
RFV.	DATE	DESCRIPTION	C/0	DR	CK

GRADING & DRAINAGE PLAN TAX MAP LOT 532-003 (510 WASHINGTON STREET)

KEENE, NEW HAMPSHIRE

PREPARED FOR

RAKESH PATEL 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095

LAND OF:

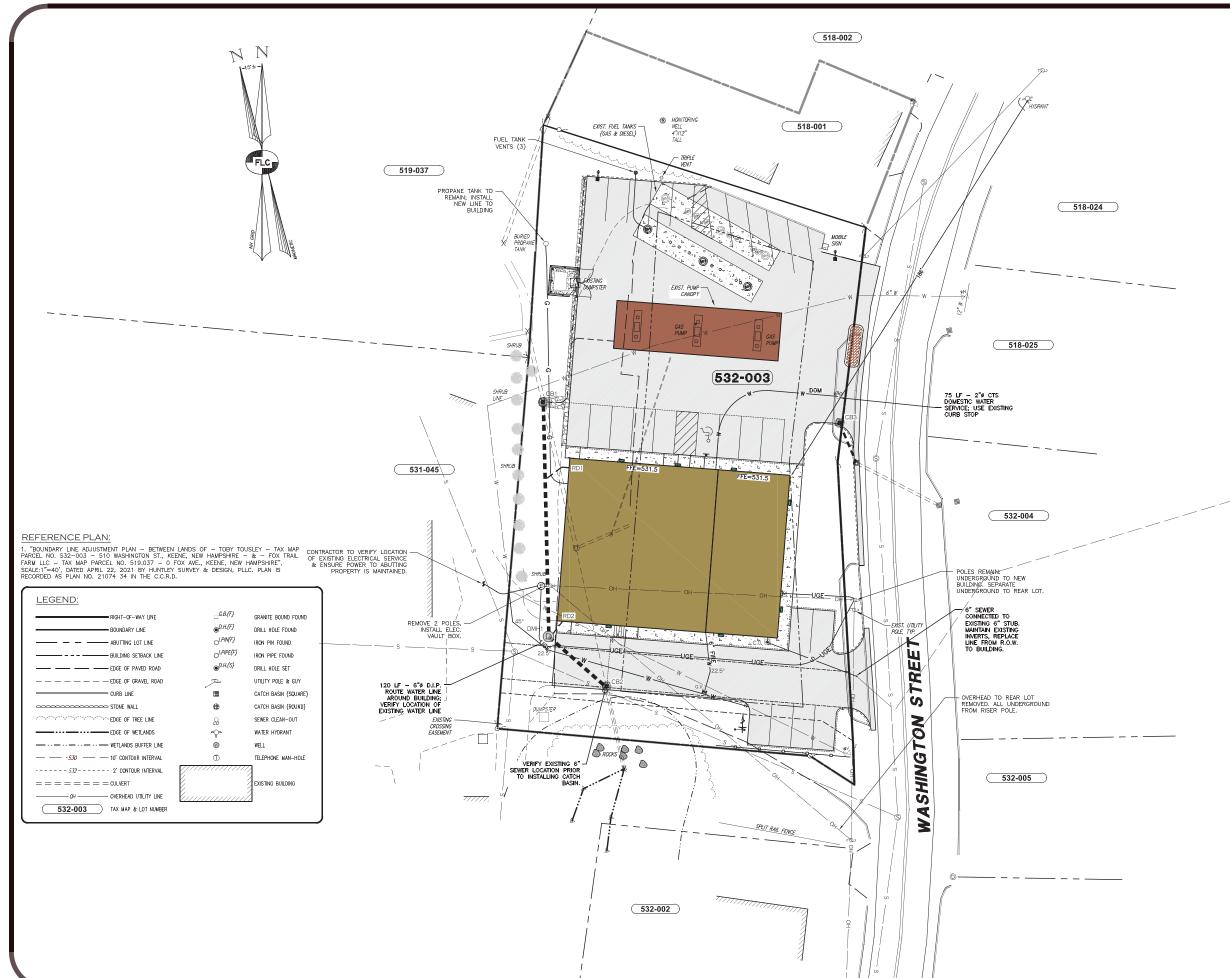
OM 510 WASHINGTON STREET LLC 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



Phone: (603) 672-5456 Fax: (603) 413-5456

FILE: 3661SP00A.dwg PROJ. NO. 3661.00 SHEET: GR-1 PARENO F & SP



UTILITY NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF KERNE AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF KEINE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHOOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADDPRIED 2010 ARE HEREY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PILANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CONTROL TYPICAL OF VARIOUS TO CONTROL TYPICAL OF VARIOUS TO CONTROL TYPICAL OF VARIOUS OR ACENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CAUSTON-CONTROL
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EMSTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTION. THE ENGINEER SHALL BE NOTHED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EMSTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS. THE WATER AND SEWER CONNECTIONS IN WASHINGTON STREET WILL REQUIRE AN EXCAVATION PERMIT AND COORDINATION WITH KEENE PUBLIC WORKS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KEENE FIRE DEPARTMENT REGULATIONS. BASED ON TEST PITS, THIS IS UNLIKELY TO BE PRESENT.
- ALL DISTURBED NON-PAYED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED. THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- 10. ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS. THE POWER SERVICE SIZES SHALL BE VERIFIED BY AN ELECTRICAL ENGINEER AND EVERSOURCE.
- ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS
- 12. ALL PROPANE GAS WORK SHALL CONFORM TO THE SUPPLIER'S GAS SPECIFICATIONS. PROVIDE SHUTOFF VALVE AND REQULATOR FOR EACH BUILDING. THE PROPANE TANKS SHALL BE INSTALLED BELOW GRADE & HAVE ANTI-ELOTATION BLOCKS INSTALLED.
- 14. SEWER SERVICES AT EACH UNIT SHALL HAVE INDIVIDUAL CLEAN-OUTS INSIDE THE BUILDING.
- 15. CONTRACTOR TO COORDINATE WITH CITY DPW ON SEWER TIE-IN ON WAHSINGTON STREET. THE EXISTING SEWER FLOW MUST BE MAINTAINED AND PUMP AROUND MANHOLE DURING TIE IN.
- 16. ALL UNITS WILL HAVE FIRE SUPPRESSION SPRINKLER SYSTEMS AND EXISTING FIRE HYDRANTS ARE LOCATED ON WASHINGTON STREET.
- 16. ALL HVAC EQUIPMENT SHALL MEET THE SCREENING STANDARDS OF THE L.D.C.: ROOF MOUNTED EQUIPMENT SHALL BE SETBACK 10° FROM EDGE. GROUND-MOUNTED EQUIPMENT TO BE LOCATED SO AS NOT TO BE VISIBLE FROM THE PUBLIC WAY SCREEN IF VISIBLE.
- 17. FIRE ALARM SYSTEM TO BE HANDLED AS PART OF THE BUILDING PERMIT.
- 18. ALL UNDERGROUND FUEL STORAGE SHALL CONFORM TO NHDES SPECIFICATIONS.
- 19. MAXIMUM LOT COVERAGE: 80% (0.744 AC x 0.8=0.595 AC, 32,406 SF X 0.8=25,925 SF) PROPOSED LOT COVERAGE: BUILDINGS = 6,392 SF, PAVEMENT = 16,443 SF TOTAL IMPERVIOUS = 22,835 SF (22,835 ±SF / 32,406 SF) = 70.4%±
- 20. SNOW STORAGE SHALL BE DONE ON SITE. IN THE EVENT OF EXCESSIVE SNOW, SNOW WILL BE TRUCKED OFF SITE, AS NECESSARY.
- BUILDING CORNERS ARE TO BE PINNED BY A SURVEYOR PRIOR TO FOUNDATION CONSTRUCTION.



Α	7/8/24	REVS PER STAFF COMMENTS		JEN	CEB
REV.	DATE	DESCRIPTION	c/o	DR	CK

UTILITY PLAN TAX MAP LOT 532-003 (510 WASHINGTON STREET) KEENE, NEW HAMPSHIRE

PREPARED FOR:

RAKESH PATEL 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095

LAND OF:

OM 510 WASHINGTON STREET LLC 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

SCALF: 1" = 20'

Surveying & Engineering & Land Planning & Permitting & Septic Designs



FIELDSTONE LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456

FILE: 3661SP00A.dwg PROJ. NO. 3661.00 SHEET: UT-1 PAGETNO.F & SP 1

DUERCUS RUBRA (RED OAK)

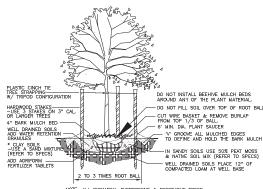
ILEX VERTICILLATA (WINTERBERRY SHRUB) (5) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE)

THUJA OCCIDENTALIS (AMERICAN ARBORVITAE) (8) 3 GAL. 2'-3'

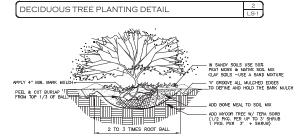
(3) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE) COR CORNUS AMOMUM (SILKY DOGWOOD SHRUB) (2) 3 GALLON CONTAINER, 2.5' - 3'H (8'H MATURE)

INSTALL 1/2" STAINLESS BOLTS INTO DROP-IN ANCHORS BY HILTI. SET TWO 8"0 SONOTUBES FILLED WITH CONCRETE TO CONNECT BASE PLATES TO.

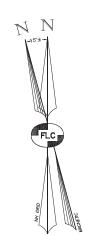
5 - BIKE WAVE BIKE RACK BIKE RACK DETAIL



NOTE: ALL PYRAMIDAL EVERGREENS & DECIDIOUS TREES SHALL BE PLANTED W/ ROOTS HORMONE ENHANCER.



B & B SHRUB PLANTING DETAIL





DESIGN NOTES:

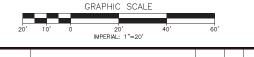
1. LANDSCAPING REQUIREMENTS:

TREES (SITE) 1/10 PARKING SPACE (26 SP) PARKING PERIMETER TREES

PROPOSED

LANDSCAPING NOTES:

- EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES.
- 3. EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
- Until all grading and construction has been completed within the immediate area no plant material shall be installed.
- 5. UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1—SEAR OR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS.
- IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING
- Unless otherwise noted loam and seed all disturbed areas with a minimum 4" of suitable loam. Slopes greater than 3:1 shall be protected with an erosion control blanket.
- WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- 12. PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
- 13. ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS TO PROMDE SAFE PASSAGE OF PEDESTRIANS, BICYCLISTS, AND MOTORISTS.
- 14. ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
- PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
- 16. ALL LANDSCAPING APPROVED AS PART OF THE SITE PLAN SHALL BE CONSIDERED AS ELEMENTS OF THE SITE, IN THE SAME MANNER AS PARKING, BUILDING MATERIALS, AND OTHER TIE DETAILS. ANY CHANGES WILL REQUIRE APPROVAL BY THE OWNER AND CITY COMMUNITY DEVELOPMENT DIRECTOR.
- 17. BIKE RACKS ARE PROPOSED AT THE LOCATION SHOWN.
- 18. ALL HVAC EQUIPMENT SHALL BE ROOF MOUNTED OR NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY.



Α	7/8/24	REVS PER STAFF COMMENTS		JEN	CEB
REV.	DATE	DESCRIPTION	c/o	DR	CK
		·			

LANDSCAPE PLAN **TAX MAP LOT 532-003** (510 WASHINGTON STREET) KEENE, NEW HAMPSHIRE

PREPARED FOR:

RAKESH PATEL 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095

LAND OF:

OM 510 WASHINGTON STREET LLC 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



206 Elm Street, Milford, NH 03055 Phone: (603) 672-5456 Fax: (603) 413-5456

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XSPS

GAS CANOPY FIXTURE:



Mirada Small Wall Sconce Silicone

WALL MOUNTED FIXTURE:



POLE MOUNTED FIXTURE:

DESIGN NOTES:

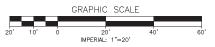
1. LIGHTING REQUIREMENTS:

PARKING LOTS	REQUIRED	PROPOSED
AVERAGE	3.5 Fc MAX	3.0 Fc AVG.
MINIMUM	0.33 Fc	0.3 Fc
U. RATIO (AVG/MIN)	5:1	3.6
MAX AT PROP. LINE	0.1 Fc	0.0 Fc
MAX AT R.O.W.	1.0 Fc	0.0 Fc
WALKWAYS/SIDEWALKS		
MINIMUM	0.5 Fc	N.A.
MAXIMUM	5.0 Fc	N.A.
LUMENS	1200 L MAX	N.A.
GAS CANOPY		
UNDER CANOPY MAX.	12.5 Fc MAX	12.3 Fc MAX
RES. CANOPY MAX.	5.5 Fc MAX	5.3 Fc MAX

- 2. ALL PROPOSED LICHTING MUST BE GREATER THAN 70 (CRI) COLOR RENDERING INDEX. 80 CRI IS SPECIFIED.
- ALL PROPOSED LIGHTING MUST BE 3500 KELVIN COLOR-TEMPERATURE OR LESS. THE PROPOSED FIXTURES ARE 3000 KELVIN.

LIGHTING NOTES:

- LIGHTING SHALL BE INSTALLED AND ARRANGED SO AS NOT TO REFLECT OR CAUSE GLARE UPON ABUTTING LAND, HIGHWAYS AND ROADS.
- 2. ALL FIXTURES ARE FULL CUTOFF, LED FIXTURES. FLOOD LIGHTING AND UP-LIGHTING ARE PROHIBITED.
- LIGHTING IS PROVIDED VIA BUILDING MOUNTED LIGHTS, CANOPY LIGHTS, AND POLE MOUNTED LIGHTS.
- 4. MOUNTING HEIGHT OF ALL PROPOSED WALL MOUNT LIGHTING FIXTURES SHALL BE 12 FEET ABOVE FINISH GRADE ON THE BUILDINGS. LOCATED AT EACH BUILDING UNIT.
- 5. POLE MOUNTED LIGHTS ARE TO BE MOUNTED 20 FEET ABOVE FINISH GRADE.
- ALL LIGHTS ARE TO BE SETUP ON PHOTOCELLS TO AUTOMATICALLY TURN OFF DURING DAYLIGHT HOURS. TIMER SHALL BE INSTALLED TO LIMIT HOURS FROM 6 AM 10 PM. IF OPERATING 24/7 THE LIGHTING MUST REDUCE BY 50% FOR SECURITY LIGHTING.
- 7. ALL FIXTURES AND HARDWARE ARE TO BE DARK BRONZE IN COLOR TO MATCH.
- 8. LIGHT FIXTURES ARE AVAILABLE THROUGH EXPOSURE 2 LIGHTING. ANY CHANGE IN FIXTURE MUST BE APPROVED BY THE OWNER, DESIGN ENGINEER, AND CITY OF KEENE.



A X/XX/XX
REV. DATE XXXXXXXXXXXXXXXX XXX XXX DESCRIPTION

> **LIGHTING PLAN TAX MAP LOT 532-003** (510 WASHINGTON STREET) KEENE, NEW HAMPSHIRE

> > PREPARED FOR:

RAKESH PATEL 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095

LAND OF:

OM 510 WASHINGTON STREET LLC 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



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PAGONO F 85°F

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70CRI-IMSBT1-CXX / 4SQ B3 INDUSTRIES, S11G20 S AB 4BC WALL MOUNTED 12' AFG 3000K Single 70CRI-IMSBT1-CXX INDUSTRIES, XWS-LED-03L-SIL-FT-UNV-DIM-30-WALL MOUNTED 12' AFG Single 70CRI-IMSBT1-CXX INDUSTRIES,

20' POLE

INDUSTRIES,

MRS-LED-06L-SIL-LC-UNV-DIM-30-

MRS-LED-06L-SIL-RC-UNV-DIM-30-

70CRI-IMSBT1-CXX / 4SQ B3

11G20 S AB 4BC

Single

Single

FUELING YARD LESS UNDER CANOPY UNDER CANOPY ONLY

Illuminance (Fc) Average = 2.00 Minimum = 0.5Avg/Min Ratio = 4.00

Max/Min Ratio = 10.60

3000K

Average = 9.39 Maximum = 12.3 Minimum = 5.7Avg/Min Ratio = 1.65 Max/Min Ratio = 2.16

Illuminance (Fc)

- 1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
- ALL SOIL EROSION AND SEDMENT CONTROL MESSURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
- 3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
- 4. INSTALL BILET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. BILET PROTECTION BMB'S SHALL REMAIN UNTIL THE SITE IS STRAILED. CONSTRUCTION OF STORMARDER BASINS AND TREATMENT SWALES SHALL OCCUR PROTO TO AND EARTH MOVING OPENION THAN UNIL INFLUENCE STORM WATER ROUNDS.
- THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMAZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
- 6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
- 7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25—INCH OR GREATER RAYELL SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF—SITE AND BE PERMANENTLY STABILIZED.
- 8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPS ARE STABILIZED. THE SITE WILL BE SUBJECT TO ENVIRONMETINAL MONITORING.
- 9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABULZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABLEZED WITHIN 72 HOURS OF PIRAL GEORDING.
- 10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.

- 11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 A BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAYED;
 B. A NIMMAM OF 85X VECHAZIOE ORIVINIT HAS BEEN ESTABLISHED;
 C. A MINIMAM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED, DEL NISTALLED, DEL NI
- BEEN INSTALLED; OR

 D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 12. EROSION CONIROL BLANKEIS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN BIONET SCISION SHORT TERM BUODERGANAGE LOUGHE-NET STIMM BUNKET, OR PROVED EQUAL.
- 13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
- 14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. Ff.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. I
CREEPING RED FESCUE PERENNIAL RYEGRASS KENTUCKY BLUEGRASS REDTOP	0.92 LBS 1.15 LBS 0.58 LBS 0.12 LBS	CREEPING RED FESCUE PERENNIAL RYEGRASS REDTOP ALSIKE CLOVER BIRDSFOOT TREFOIL	0.80 LBS 0.69 LBS 0.12 LBS 0.12 LBS
**APPLICATION RATE TO		**APPLICATION	
2.8 LBS PER 1,000 1	SF**	*1.85 LBS PEI	R 1.000 SF**

15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STEPPED SOIL SHALL BE STOCKPIED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:
STEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND
AGROUPLUMPL UNESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL,
FERTILIZER AND UNESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE OATS	2.5 LBS 2.5 LBS	1 INCH 1 INCH	8/15 TO 9/15 4/15 TO 10/15 8/15 TO 9/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

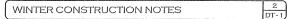
B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

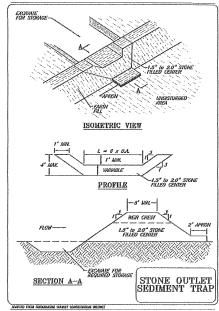
ME	PLANT ESTABLISHMENT AS FOLL	OWS:	
	TYPE	RATE PER 1,000 SF	USE AND COMMENTS
	STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
	WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
	FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
	CRUSHED STONE 1/4" TO 1-1/2" DIA.	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN
- 17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WAIER BODY. IN T CASE ALL FERHILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE HIROGEN FERHILIZER. SHALL BE A LEAST 50X SLOW RELEASE HIROGEN COMPONENT. ON FERHILIZER SCOPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WAIER. THESE ARE REGULATED LIMITATIONS.
- 18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPUED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED UGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
- 20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSING. THE CONTRACTOR SYMLL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, MEATHER OR CONSTRUCTION METHODS WARRANT.
- 21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WELLAWDS.
- 22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
- 23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430-53 AND ART JOOD REGARDING INACINE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

	EDOCION CONTROL NOTES	1 1	
-	EROSION CONTROL NOTES	DT-1	

- 1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED CROWIH BY OCTOBER 151H, OR WHICH ARE DISTURBED AFTER OCTOBER 151H, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLIABLE GROSON CONTING. BLANKETS ON SLOPES GREATER THAN 3-1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCIONED NETTING, ELSEWHERE. THE INSTALLATION OF BROSON CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT COURT OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- 3. AFTER OCTOBER 151H, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK MAS STOPPED FOR THE WINTER SEASON, STALL BE PROTECTED WITH A MINIMUM OF 3 INCISES OF CRUSHED GROVEL OR PROPERLY INSTALLED ENGINE OUTROOL BATKETS COVERED WITH HAY. OTHER STABILIZATION OPIDIONS ARE TO BE APPROVED BY THE APPROPRIATE ACENCIES AND THE DESIGN ENGREER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD STOULD BE CLEARED OF ACCOUNTAGED SAWN AFTER ELEH STORM MEXIT.





- 1. The trap shall be installed as close to the disturbed area or source of sediment as possible;
- 2. The maximum contributing drainage area to the trap shall be less than 5 acres;
- 3. The minimum volume of the trap shall be 3,600 cubic feet of storage for each acre of
- 4. The side slopes of the trap shall be 3:1 or flatter, and shall be stabilized immediately after their construction;

- 6. The trap shall be cleaned when 50 percent of the original volume is filled; and
- 7. The materials removed from the trap shall be properly disposed of and stabilized

SEDIMENT TRAP TAMP SOIL OVER MAT / SLOPE STAPLES

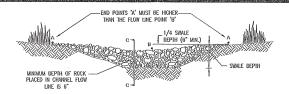
- NOTES:

 NOTES:

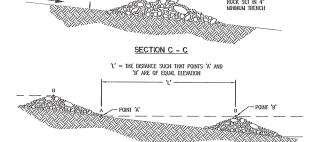
 DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S PECIFICATIONS.
- INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN BIONET SC150BN SHORT TERM BIODEGRADABLE DOUBLE-NET STRAW BLANKET OR EQUAL ON ALL SLOPES EXCEEDING 3' HORZ: 1' VERT.
- 3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
- 4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- 5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
- 6. BECH AT THE TOP OF THE SLOPE BY ANCHORNO THE BLANKET AS SHOUL. FIGLI THE BLANKETS DOWN THE SLOPE, ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS, REFER TO MANUFACTURERS STAPLE GAILE FOR CORRECT STAPLE PATTERN,
- 7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL, DO NOT STRFTCH.
- 8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- 9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DIMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO RESEABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERRILIZED, RESEABLD AND REMUCKED AS DIRECTED.
- 11. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

EROSION BLANKETS - SLOPE INSTALLATION





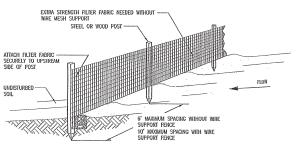
VIEW LOOKING UPSTREAM



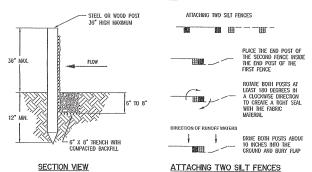
PROFILE - CHECK DAM SPACING

- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- 3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
- STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILERING.
- WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
- 6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.





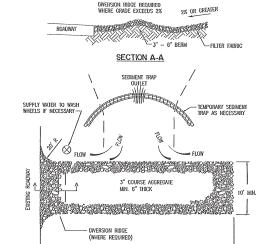
PERSPECTIVE VIEW



SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.

- SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
- 3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/A-INCH STONE.
- SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
- 5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

6 DT-1 SILT FENCE



(MAY BE 50' WHERE DIVERSION RIDGE IS PROVIDED) PLAN VIEW

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TIMP SEDIMENT.
- 2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
- THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- 4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS
- 5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
- 7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF—SITE.
- NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
- 10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- 11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT



DESCRIPTION

EROSION CONTROL DETAILS TAX MAP LOT 532-003 (510 WASHINGTON STREET) KEENE, NEW HAMPSHIRE

PREPARED FOR RAKESH PATEL 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095

SCALE: NOT TO SCALE

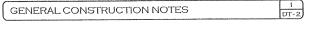
JUNE 14, 2024

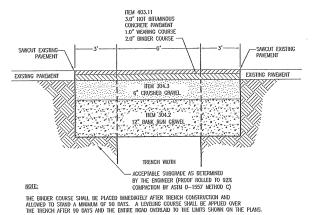
Surveying Φ Engineering Φ Land Planning Φ Permitting Φ Septic Designs FIELDSTONE LAND CONSULTANTS, PLLC 206 Elm Street, Milford, NH 03055

www.FieldstoneLandConsultants.com PROJ. NO. 3661.00 SHEET: DT-1 PAGE NO. 8 OF 11

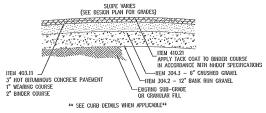
Phone: (603) 672-5456 Fax: (603) 413-5456

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF KEENE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFINING THE LOCATION, SZE, AND ELEVATION OF ALL EXSTING UTILITIES STORM OR NOT SHOWN ON THESE PLANS AND SHALL VERBEY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AMOFOR DURING CONSTRUCTION. FELICIONIE LAND CONSULTANTS, PLLC, AS THE DESIGN EXAMPLES, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXSTAND UTILITIES FOUND INTERFERENCE WITH THE PROPPOSED CONSTRUCTION SO THAT REJECTIVAL ACTION MAY BE TAKEN BEFORE PROCECULING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT "DISSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE
 PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILIT
 OF THE OWNER.
- AHY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTORE LAND CONSULTANTS, PLLC PROFI TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MAUMOING THE PROJECT PER RSA 430-53 AND ACR 3800 RECARDING INASINE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

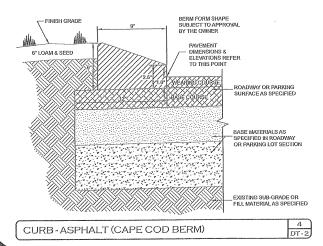


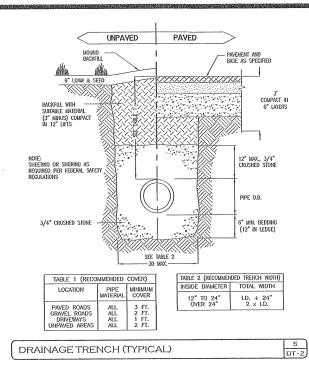


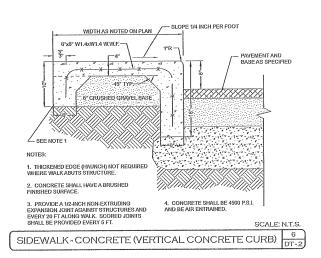


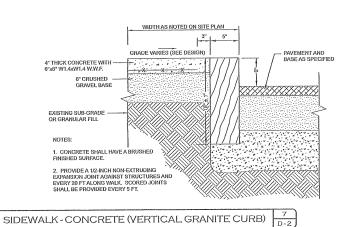


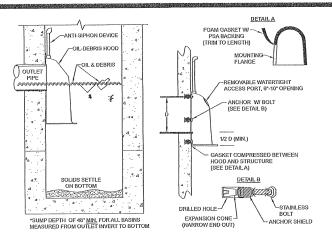








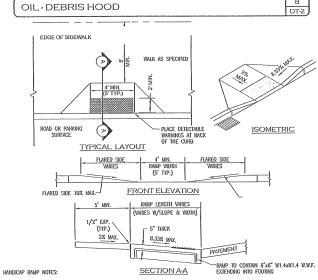




INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A
DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.)
BELOW THE PIPE INVERT. MINIMUM DISTANCE
FOR PIPES C12* I.D. IS 6*.

NOTES:

- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANCE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- 3. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" J.D.
- 4. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF $12^{\prime\prime}$ ACCORDING TO STRUCTURE CONFIGURATION.
- 5. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8' STAINLESS STEEL BOLTS AND OIL—RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

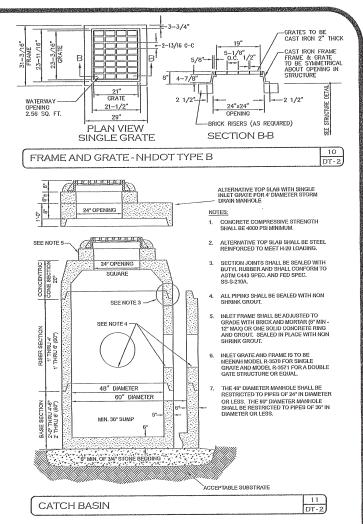


- 1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
- THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB PAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%, THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE PAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEXIMED ALONG HELE CURB.
- 3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
- 4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMPS OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMPS OR LANDINGS.
- 5. THE BOTTOM OF THE SIDEWALK CURB PAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE PAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK
- 5. THE SIDEWALK CURB PAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LICHT-COLORED CONCRETE OR LICHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SUP-PERSYSTAM (GROUN EMPSHE)).
- DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALICHED PERPENDICULAR TO THE GRADE BREAK BEINEEN THE RAMP, PLANDED TRANSITION OF MANINGA AND THE STREAM.
- 8. A LEVEL LANDING 5"-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE ERRORS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEXET AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING A" DEEP SHALL BE PROVIDED AT ALL PRESISTION PUSH BUTTONS AT SIGNALIZED ROSSINGS.

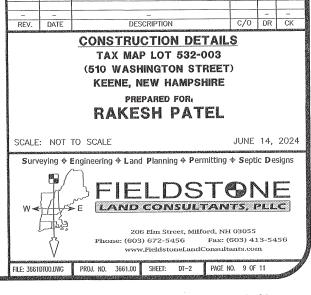
9 DT-2

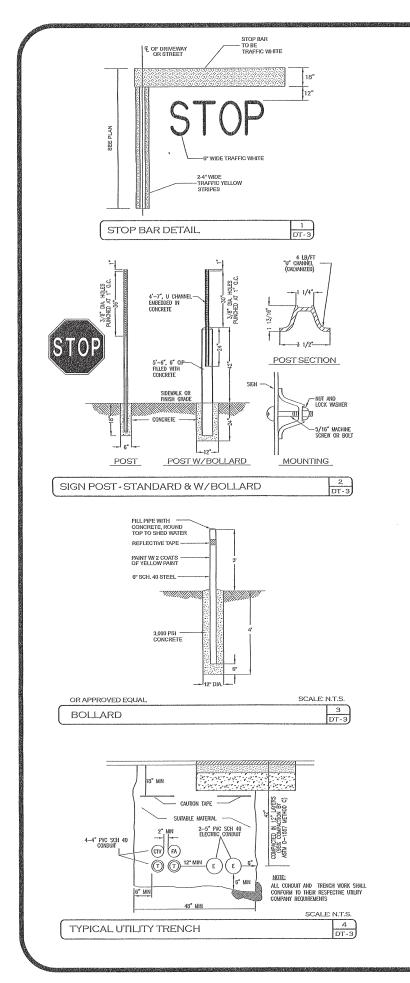
- 9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
- 10. FOR NEW CONSTRUCTION ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

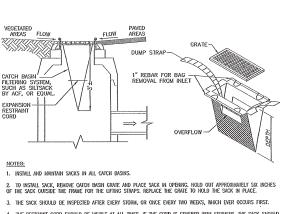
HANDICAP SIDEWALK RAMP - HCR1



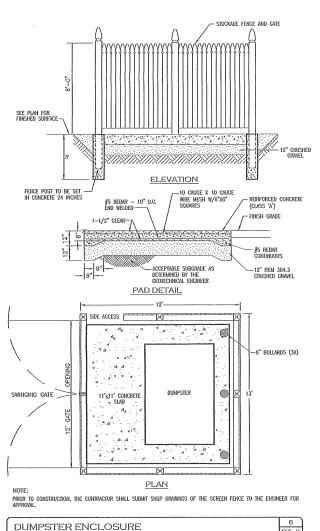


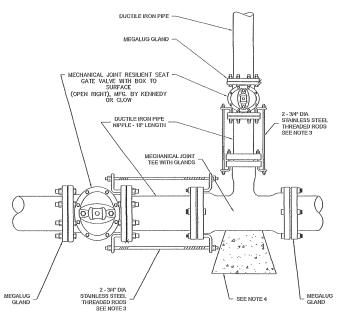








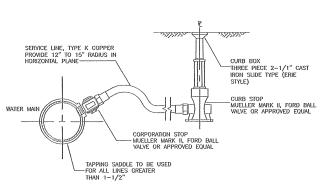




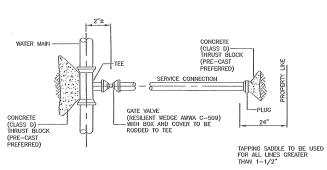
- NOTES:

 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO KEENE PUBLIC WORKS (K.P.W.) TECHNICAL SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
- 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
- 4. MIN 2'x2'x4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH K.PW. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH SUZE TO BE BASED ON SUZE OF FITTING AND PRESSURE IN WATERMAIN.

7 DT-3 WATER MAIN TEE

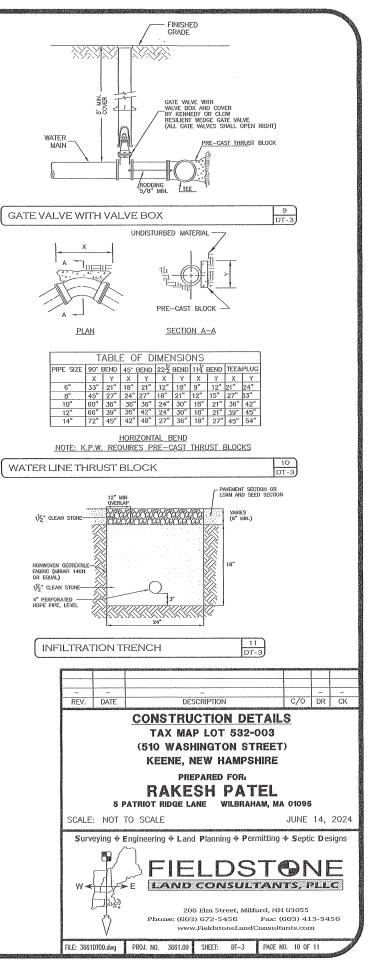


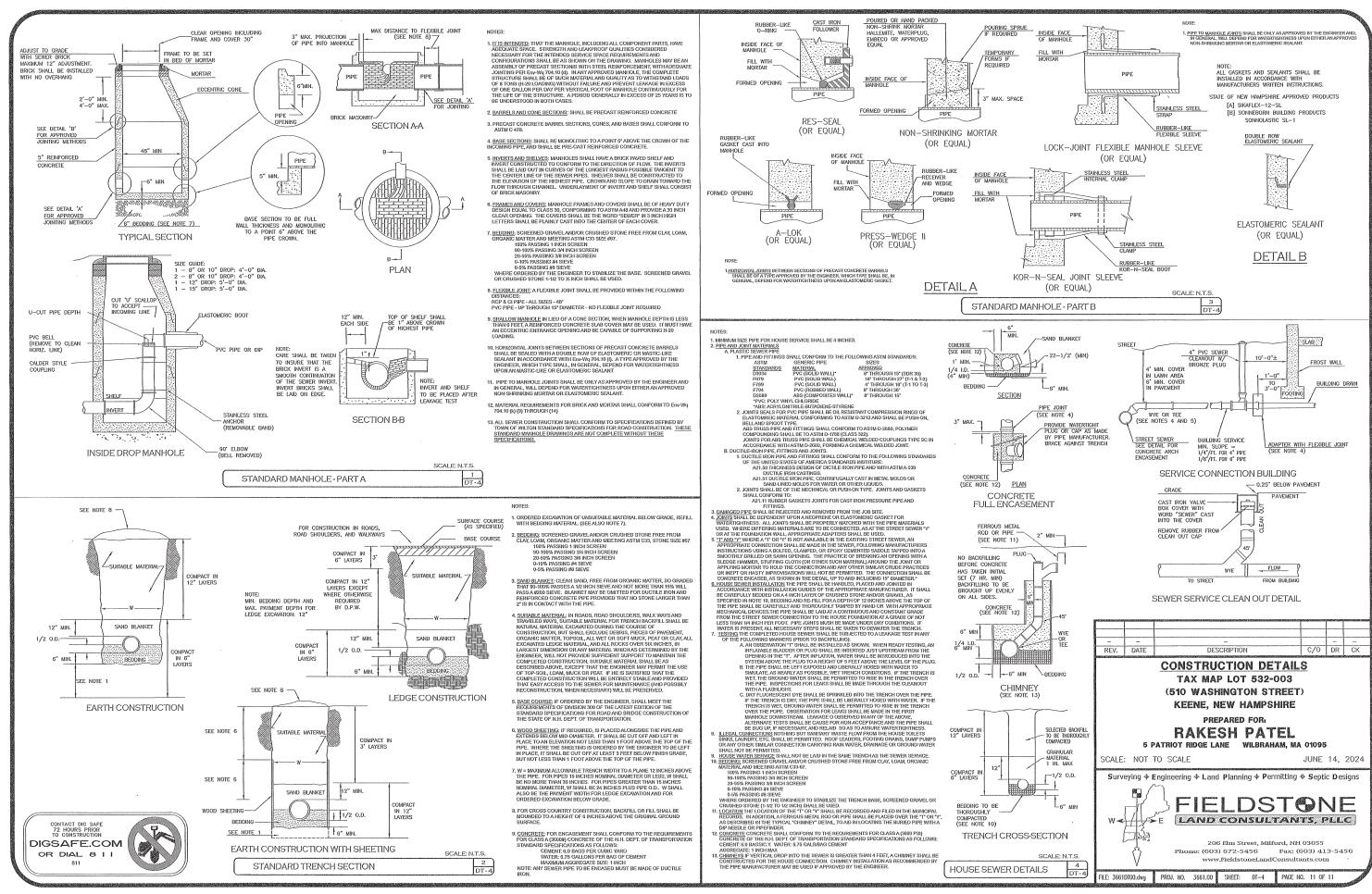
SERVICE CONNECTION 3/4" THRU 2"



SERVICE CONNECTION 4" AND OVER

8 DT-3 WATER SERVICE CONNECTION DETAILS









 PROJECT NUMBER
 240531

 DATE
 07/08/2024

 DRAWN BY
 TE

 MANAGED BY
 ZE

510 WASHINGTON ST KEENE, NH CONVENIENCE STORE ELEVATIONS

A - 200

______54 of 85 1/4" = 1'-0

ESIGN 2
Engineering-Contracting-Realestate Development

528 Hampden St, R, Holyoke, MA 01040 C (774) 464-5051 C (774) 464-5050

Beirut Central District, Lebanon Riad El Solh: P.O.Box: 11-7942 Tel +961 1 990 700 Fax +961 1 990 701 C +961 71 838 837 C +961 3 838 837

The Meydan Hotel, Nad Al Sheba Dubai, P.O Box 35195, U.A.E. C +971 50 744 2415

www.Metropol.Design

CLIENT:

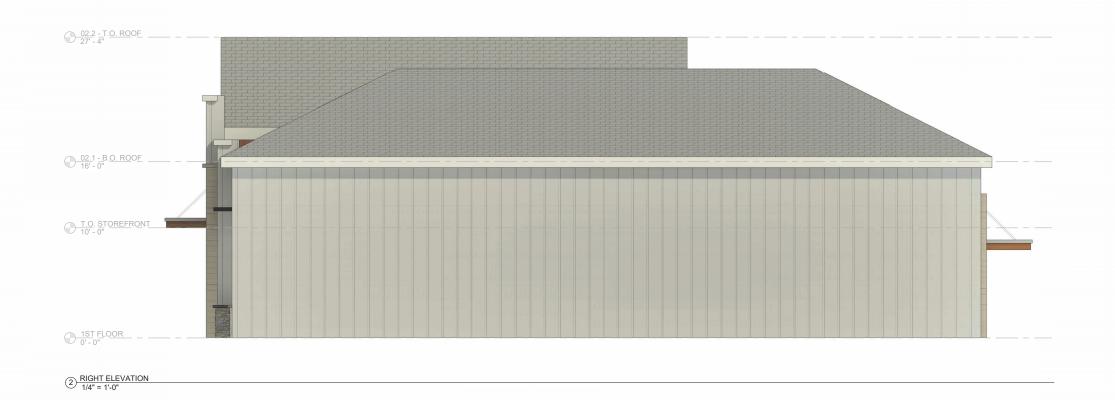
OM 510 WASHINGTON ST LLC

5 PATRIOT RIDGE LN, WILBRAHAM, MA 01095

NOTES:

REVISION	DESCRIPTION	DATE
		_







528 Hampden St, R, Holyoke, MA 01040 C (774) 464-5051 C (774) 464-5050

Beirut Central District, Lebanon Riad El Solh: P.O.Box: 11-7942 Tel +961 1 990 700 Fax +961 1 990 701 C +961 71 838 837 C +961 3 838 837

The Meydan Hotel, Nad Al Sheba Dubai, P.O Box 35195, U.A.E. C +971 50 744 2415

www.Metropol.Design

CLIENT:

OM 510 WASHINGTON ST LLC

5 PATRIOT RIDGE LN, WILBRAHAM, MA 01095

NOTES:

301010	
1000	

DESCRIPTION

510 WASHINGTON ST KEENE, NH CONVENIENCE STORE

ELEVATIONS

PROJECT NUMBER	240531
DATE	07/08/2024
DRAWN BY	TE
MANAGED BY	ZE

PB-2024-08 - COTTAGE COURT CONDITIONAL USE PERMIT - 0 ELLIS COURT

Request:

Applicant and owner Pomah LLC proposes to construct a two-family dwelling on the property located at 0 Ellis Ct (TMP #535-012-00). The site is 0.18 acres in size and is located in the Medium Density District.

Background:

The subject parcel is a vacant, undeveloped lot with frontage on Colony Court. The lot was created in 2007 as part of a two-lot subdivision, S-13-06. City water is available on Colony Court and city sewer is available from Ellis Court. There is a 20-foot sewer easement across the south end of the adjacent property to the east and a 20-foot access easement across the north end of the same property to allow for future access from Ellis Ct. These easements are shown on the subdivision plan, which is included as an attachment to this staff report.



Figure 1. Aerial image of 0 Ellis Ct. (outlined in yellow).

Adjacent uses include a four-unit multi-family building to the north, a

duplex to the east, and single-family homes to the south and west. The parcel is 8,000 square feet in size and is in the Medium Density District.

The applicant proposes to construct a two-family dwelling that will be managed by a Property Management Entity. Although this lot does not meet the minimum lot size requirements for two dwelling units, a two-family dwelling use is allowed if it is developed in accordance with the Cottage Court Overlay district requirements and the proposal receives a conditional use permit (CUP) from the Planning Board. This project does not meet the threshold for site plan review.

Determination of Regional Impact:

After reviewing the application, staff have made a preliminary evaluation that the proposed duplex does not appear to have the potential for "regional impact" as defined in RSA 36:55. The Board will need to make a final determination as to whether the proposal, if approved, could have the potential for regional impact.

Completeness:

The applicant requests exemptions from submitting an existing conditions plan, a lighting plan, a landscaping plan, and technical reports that are not relevant to this project (traffic, soil, historic,

and screening analysis). Staff recommend that the Board grant these exemptions and accept the application as "complete."

Departmental Comments:

- Engineering:
 - 1. It is recommended that the water service connection be made on Colony Court. The applicant also needs to be aware that there is no sewer main on Colony Court.
 - 2. The applicant needs to demonstrate that no net change in runoff will result from the proposed building.
 - 3. The proposed driveway must be appropriately aligned or adequately offset with the existing driveway on the opposite side of the street to prevent potential turning conflict per Land Development code: 9.3.2.d.
 - 4. The sewer pipe buried more than 10 feet below the surface shall be ductile iron pipe per Land Development code: 22.3.12.c.
 - 5. The applicant needs to provide detail drawings for proposed underdrain system and method of connection to the City drainage system.

Application Analysis: The following is a review of the Cottage Court Overlay requirements.

17.5.1 Development Types Allowed

This section details the development types allowed, dimensional requirements, and the allowed density and height. The proposal is to develop a single parcel of land with a property management entity, which is an allowed development type. The table below compares the applicable requirements of this section to the proposed site design. All requirements appear to be met.

	Required	Proposed
Minimum tract size	None	8,000 square feet
Minimum tract frontage	30 feet	110 feet
Perimeter setback from	15 feet (or building line)	21 feet
road		
Perimeter setback from	Rear: 15 feet	Rear: ~19 feet
other tract boundaries	Side: 10 feet	Side: ~21 feet
Density	None	Two units per 8,000 sf
Height	2.5 stories or 35 feet max.	2 stories, 32 feet

17.5.3 Conditional Use Permit Standards

- A. <u>Dwelling unit size</u>: This standard requires a maximum average size of 1,250 square feet gross floor area (gfa) and a maximum building footprint of 900 square feet per unit. The proposed units would each be 1,140 square feet gfa and would have a footprint of 608 square feet per unit. This standard has been met.
- B. <u>Parking:</u> This standard requires a minimum of one parking space per unit and a maximum of one parking space per bedroom. Each unit within the duplex would have two bedrooms. The applicant proposes four parking spaces, (two surface and two garage). This standard has been met.

- C. <u>Building Separation</u>: Only one building is proposed on the lot. This standard does not apply.
- Driveways: The applicant proposes a shared driveway on Colony Court that is 10 feet wide at the property line. City Engineering staff reviewed the proposed grading plan and determined that the proposed grading is acceptable; however, they note that the driveway must be either aligned with, or offset from, the existing driveway on the opposite side of the street to prevent potential turning conflicts. Staff recommend that a note be added to the plan which states that any modification to the driveway and street access location shall be reviewed and approved by the City Engineer.
- E. <u>Internal Roads</u>: No internal roads are proposed; this standard does not apply.
- F. <u>Screening</u>: This standard states that either a six-foot tall fence or a landscaped buffer is required for screening if the proposed building type (not density) is more intense than the adjacent building type. The proposed building type is a two-family dwelling unit, which is more intense than the adjacent single-family dwellings to the south and west. The applicant proposes to maintain existing vegetation on the site as a landscape buffer and provided photos to show the condition of the existing vegetation, which are included as an attachment to this staff report. The board will need to determine if the proposed screening is sufficient.

17.5.4 Architectural Guidelines

This section includes guidance to promote developments that are respectful of the context of the surrounding neighborhood. The guidelines are included below, and the architectural elevations are included as an attachment to this staff report.

The applicant proposes a two-unit townhouse with vinyl siding and an asphalt shingle roof. The architectural design appears to include simple, clear massing with vertical/repetitive fenestration and contextual materials. The surface parking spaces are proposed to be screened by the existing vegetated buffer, which the applicant proposes to maintain. The board will need to determine whether this standard has been met.

EASIER TO APPROVE

Narrow to the Frontage
Parking Screened from Frontage
Base Differentiated
Taller Ceiling Heights
Natural / Integral Materials
Structural Expression
Thicker Wall Depth
Simple, Clear Massing
Vertical Fenestration
Repetitive Fenestration
Contextual Materials
Landscaping Unifies

MORE DIFFICULT TO APPROVE

Wider to the Frontage
Parking Visible from Frontage Building
Building Monolithic
Shorter Ceiling Heights
Composite and Cladding
Surface Expression
Thinner Wall Depth
Complex Massing
Horizontal Fenestration
Mixed Fenestration
Unrelated Materials
Landscaping is unorganized.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

Approve PB-2024-08 as shown on the site plan identified as "Site Grading Plan, POMAH, LLC" prepared by Fieldstone Land Consultants at a scale of 1 inch = 10 feet and dated June 21, 2024, and on the architectural plans identified as "Proposed Townhouse, 0 Ellis Court, Keene, NH 03431" prepared by Sampson Architects at varying scales and dated May 21, 2024, with the following conditions:

- 1. Prior to final approval and signature of the plans by the Planning Board Chair, the following conditions shall be met:
 - a. Engineer's stamp appears on the site grading plan.
 - b. Owner's signature appears on the site plan and architectural plans.
 - c. Submittal of five (5) paper copies and one digital copy of the site plan and architectural plans.
- 2. Subsequent to final approval and signature by the Planning Board Chair, the following conditions shall be met:
 - a. City Engineer review and approval of sediment and erosion control and stormwater management designs prior to the issuance of a building permit.
 - b. Any future modification to the street access shall be reviewed and approved by the City Engineer.

Landscaping Photos Submitted by the Applicant



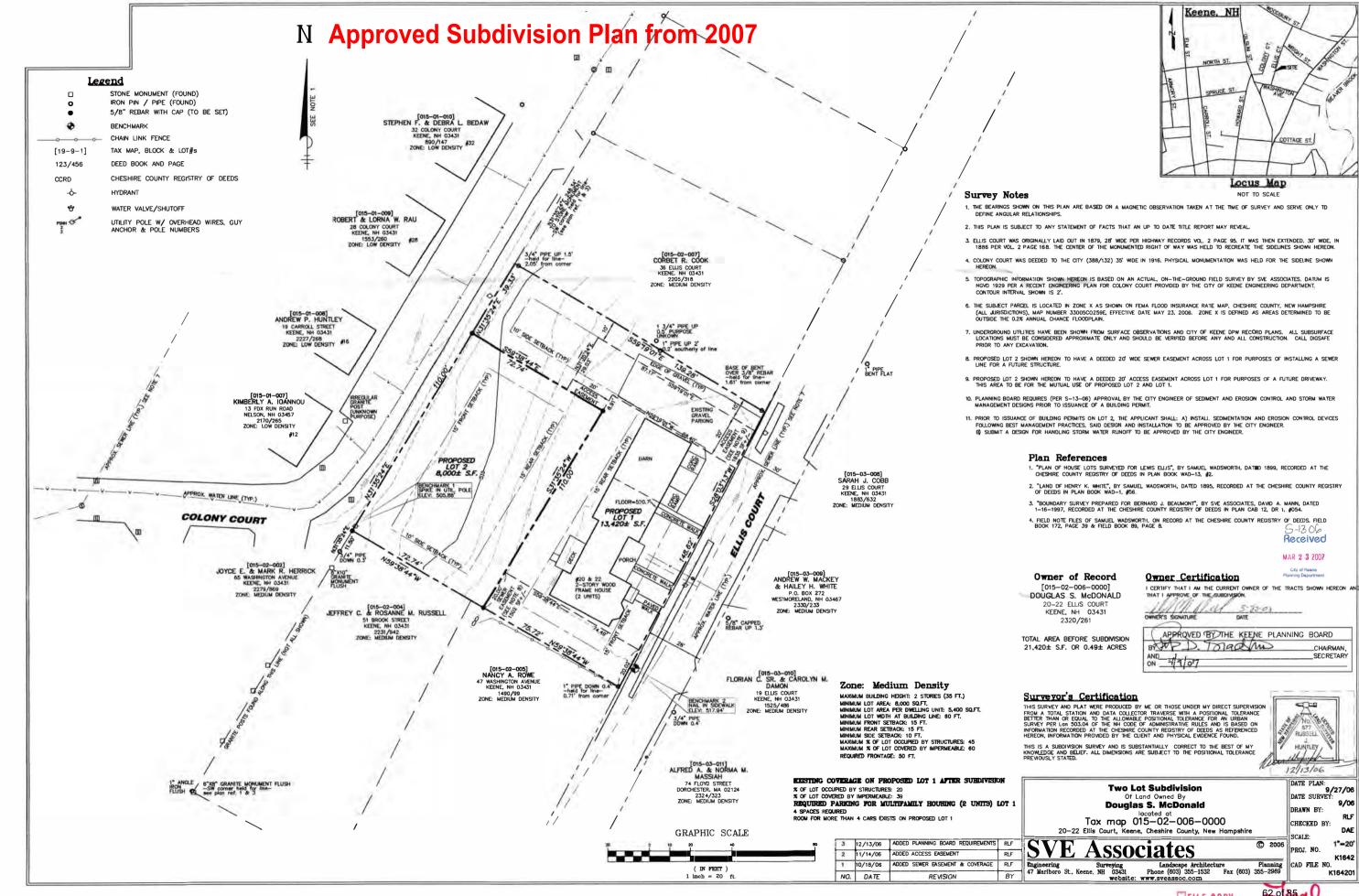












If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

if you have questions about now to complete this joint, pieuse car	1. 1003/ 332 3440 07 CHIAII. COMMUNICY GEVELOPMENT CORRECTIONINGOV				
SECTION 1: PROJE	SECTION 1: PROJECT INFORMATION				
PROJECT NAME: Proposed Townhouse	NUMBER OF NEW DWELLING UNITS PROPOSED: (Please note: Proposals that include the creation of 5 or more new units will require concurrent Major Site Plan review. See the Major/Minor Site Plan application for additional information.)				
PROJECT ADDRESS(ES): O Ellis C+	DOES THIS PROJECT INCLUDE A PROPOSAL TO SUBDIVIDE ONE OR MORE PARCELS? YES (If yes, a Subdivision application will need to be submitted and reviewed currently with the Cottage Court application. See the Article 20 of the Land Development Code (LDC) for additional information.)				
SECTION 2: CONTA	CT INFORMATION				
PROPERTY OWNER	APPLICANT				
NAME/COMPANY: Pomah LLC	NAME/COMPANY: Same				
MAILING ADDRESS: PO Box 861 Keene NH 03431	MAILING ADDRESS:				
PHONE: 603 229 2690	PHONE:				
EMAIL: CCCP, IIc @ hotmail. com	EMAIL:				
SIGNATURE: Any	SIGNATURE:				
PRINTED NAME: Andrey Snegach	PRINTED NAME:				
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:				
NAME/COMPANY: Timothy Samper Sampson Architect PCCC	TAX MAP PARCEL #(s1:				
MAILING ADDRESS: 11 King Ct Scyle 1/2 Veene NA					
PHONE: 603 769 7736	PARCEL SIZE: O. V QQ DATE STAMP:				
TIM « Sampson Architects icon SIGNATURE: TIP	ZONING DISTRICT: JUN 1 4 2024 By				
PRINTED NAME:	PROJECT #:				

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE FOLLOWING ITEMS. <u>BOTH PHYSICAL & DIGITAL COPIES OF APPLICATION MATERIALS</u> MUST BE SUBMITTED USING THE METHODS BELOW.

- Digitally: Email (communitydevelopment@keenenh.gov) or a file-sharing platform (such as Dropbox)
- Mail / Hand Deliver: Community Development (4th Floor), City Hall, 3 Washington St, Keene, NH 03431

The submittal requirements for Cottage Court Conditional Use Permit (CUP) applications are outlined further in Article 17.5.5.B and Article 26.14 of the Land Development Code (LDC). You may request an exemption from providing any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information may be required by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS	ALMINIS	the Prince
CERTIFIED NOTICE LIST (See Attachment A for more information.)		
2 SETS OF MAILING LABELS (See Attachment A for more information.)		
PROJECT NARRATIVE (See Section 2 of Attachment B for more information.)		
FEES: Fill in the information below to calculate the total fee.		
\$100 base fee + \$62 legal ad fee + (current USPS certificate of mailing rate x abutto	ers) =(Total Fee)
NOTE: Please call the Community Development Department for the current certificate of mailing rathe <i>City of Keene</i> . Credit card payments are accepted in-person or by calling 603-352-5440.	ate. Checks should be	e made payable to
WAIVERS (See Section 3 of Attachment B for additional information.)	□ WAIVER(S) REQ □ NO WAIVER(S) I	
PLAN SETS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
LOCATION MAP OF PROPOSED IMPROVEMENTS		
EXISTING CONDITIONS PLAN		×
PROPOSED CONDITIONS PLAN		
GRADING PLAN		
LANDSCAPING PLAN		×
LIGHTING PLAN		X
ELEVATIONS		
TECHNICAL REPORTS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
DRAINAGE REPORT		
TRAFFIC ANALYSIS (ONLY REQUIRED FOR PROJECTS PROPOSING 10 OR MORE NEW DWELLING UNITS)		X
SOIL ANALYSIS		X
HISTORIC EVALUATION		X
SCREENING ANALYSIS	/	X
ARCHITECTURAL & VISUAL APPEARANCE ANALYSIS	V	
OTHER REPORTS / ANALYSES		X
DOSTED NOTICE BEOLUBENENT (See Section 1 of Attachment B for addition	and information \	

Descriptive Narrative

Existing / Proposed Uses:

The lot located at 0 Ellis ct is currently undeveloped. This proposal is to develop the lot as a residential use that will be in keeping with the neighborhood.

Description of Size / Intensity of Use:

The lot is approximately .18 acres. The lot is located in the medium density district. Two dwelling units are being proposed utilizing the newly adopted Cottage Court overlay standards. All setback, lot coverage, frontage requirements are able to be met.

Description of Proposed Development:

This application proposes to develop the vacant lot as a multifamily dwelling. Two units are being proposed. There will be a garage under with two floors of living space above. Each unit will have two bedrooms.

Traffic Impact:

The proposed project will have limited impact on existing traffic patterns and will be consistent with the residential use of the neighborhood.

Description of Parking Demand / Impact:

All required parking for the new dwelling units will be on site.

Location of access points:

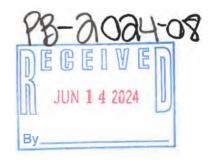
Access to both proposed units will be from a single driveway cut.

Other Descriptive Information:

This proposal is limited in scope and is consistent with the neighborhood.

Drainage & Stormwater Management:

There is minimal change being proposed to the lot. The intent is to maintain current drainage patterns.



Sedimentation Control:

Sedimentation control will continue to utilize existing structures.

Snow Storage and Removal:

There will be room to store snow on site adjacent to proposed parking areas.

Landscaping:

Proposed landscaping will be consistent with the neighborhood.

Screening:

There is nothing being proposed that should require screening. Trash receptacles will be stored in the garage until being emptied.

Lighting:

All exterior lighting will be residential in scale and used to light ingress and egress points.

Water & Sewer:

The proposed building will be tied to city water and sewer.

Traffic & Access Management:

There will be no need to manage access to the site given its residential use...

Filling & Excavation:

The proposed building is being planned in such a way as to provide a site that is balance when considering any cutting or filling of grades.

Surface Waters & Wetland:

There are no wetlands on the site.

Hazardous & Toxic Materials:

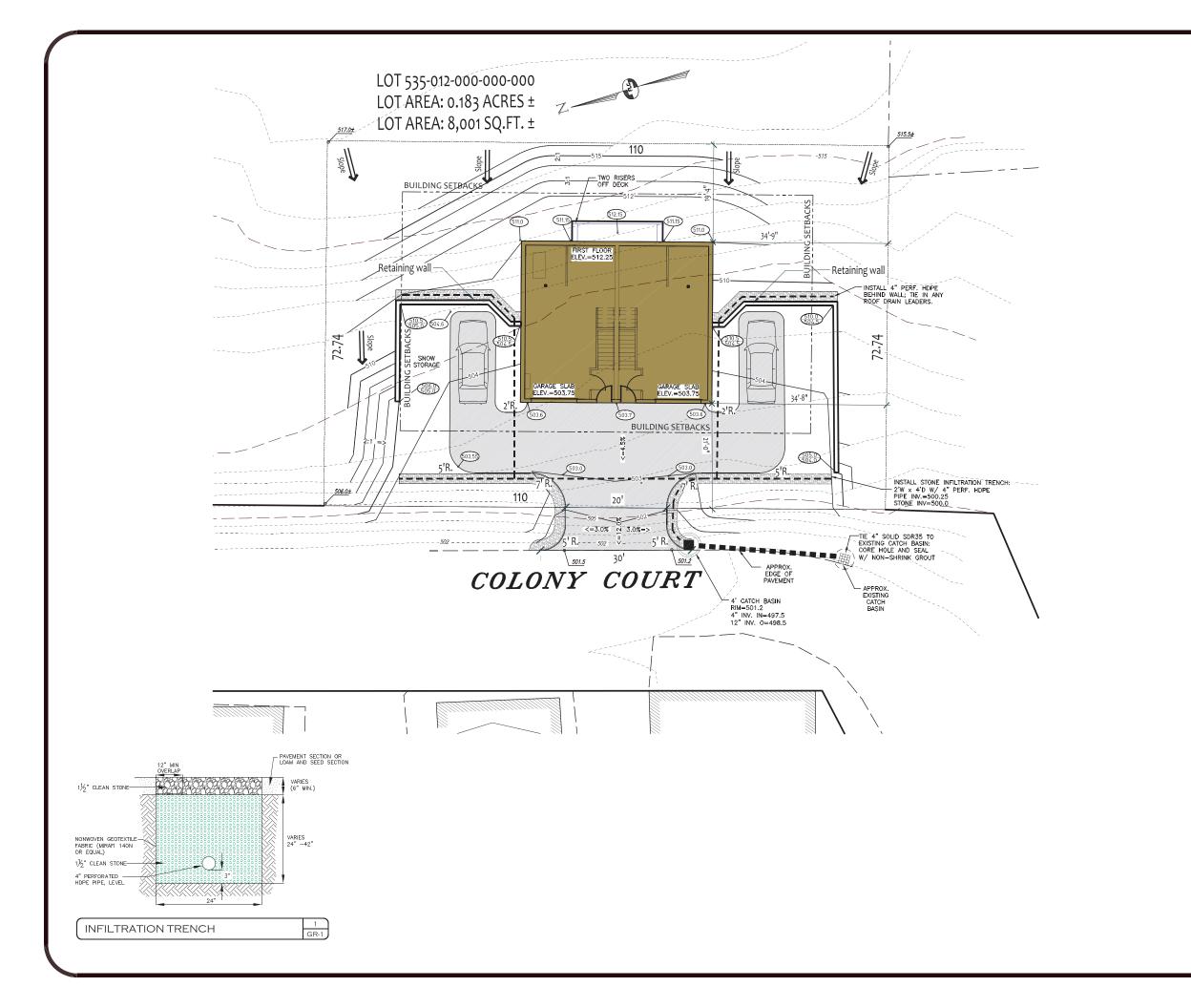
There are no hazardous or toxic materials involved with this proposal.

Noise:

Noise impact from the proposed project will be minimal and consistent with adjacent residential uses.

Architectural & Visual Appearance:

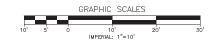
The proposed building is residential in use and will be wood framed and have an exterior appearance that is consistent with the neighborhood.





GRADING NOTES:

- 1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF REENE AND SHALL BE BULLT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE KEENE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE INDOOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY PETERPINE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN OR N'THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERESHING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIGSAFE" AT LEAST 72 HOUR PRIOR TO THE START OF CONSTRUCTION (811)
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- 5. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KEENE FIRE DEPARTMENT REGULATIONS.
- 6. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- EXISTING PAVEMENT SHALL BE SAW—CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE
 A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- 8. ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
- 9. ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
- 10. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH CITY OF KEENE PUBLIC WORKS SPECIFICATIONS.
- 11. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. THE RETAINING
- 12. LAYOUT DETERMINED BY ARCHITECT. FIELDSTONE LAND CONSULTANTS, PLLC. IS NOT RESPONSIBLE FOR THE SITE LAYOUT.



В	7/18/24	REVS PER KPW (ENG.) COMMENTS		SJB	JEN
A	7/10/24	REVS PER STAFF COMMENTS		SJB	JEN
REV.	DATE	DESCRIPTION	C/0	DR	CK

SITE GRADING PLAN POMAH, LLC

TAX MAP PARCEL 535-12-000-000-000 KEENE, NEW HAMPSHIRE

PREPARED FOR

SAMPSON ARCHITECTS 11 KING COURT SUITE 15 KEENE NH 03431

POMAH, LLC

SCALE: 1" = 10'

JUNE 21, 202

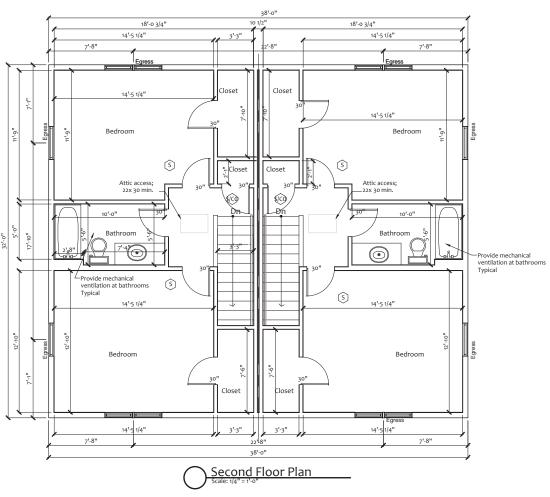


206 Elm Street, Milford, NH 03055

Phone: (603) 672-5456 Fax: (603) 413-5456

www.FieldstoneLandConsultants.com

FILE: 3887SP00A.dwg | PROJ. NO. 3887.00 | SHEET: | GR-1 | PAGE N67 of 85



18'-0 3/4" 18'-0 3/4" 5'-1 1/2" 18'-0 3/4" 18'-0 3/4" **(** 7'-8"

First Floor Plan

GENERAL NOTES:

 Contractor shall review exists submitting bid. 2. Dimensions shown are approximate only. All dimensions shall be

field verified and coordinated with existing conditions. 3. Contact architect / engineer for decisions related to variation from $\,$

information shown.

4. The contractor shall certify that all work isgin accord with the 2009 version of the International Residential Code, all other local or national codes and requirements and good construction

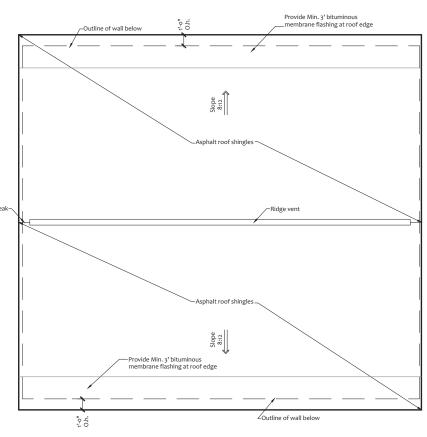
practices.

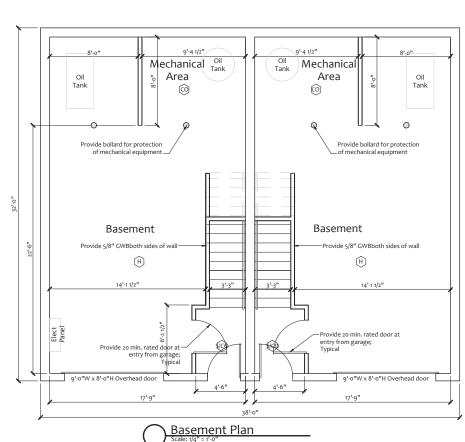
5. Insulation to be provided to achieve the following values:
Walls: R-zo
Floors: R-30
Sloped Ceiling: R-30

Flat Ceilings R-38 Windows: U-.35

Contractor to verify R.O. of doors and windows prior to purchase.
 All electrical anstallation in the the common wall shall be

protected and comply with IRC Section R302.4 and Chapters 34-43





These drawings are LIMITED SCOPE and are intended only to describe general design intent, scale, overall spatial relationships and material where indicated.

where indicated.
These drawings shall be considered preliminary for purposes of design review, comment, or budget pricing only, unless expressly released for other purposes as indicated in the incool of a issue log.
The architect assumes responsibilit

for errors in the information provided, and not for omissions.

PO Box 861 Keene, NH 03431

Proposed Townhouse

o Ellis Court

Floor Plans

Date:	Revisions:
5.20.24	Owner Review
5.21.24	Permitting
<u>SCALE</u> a	s noted
DATE 2	1 March 2017
SHEET NUM	1BER
	A1
	68 of 85

5

4

2

Roof Plan

3

68 of 85

Sampson Architects Timothy Sampson NCARB, LEED AP 11 King Court

Suite 1E Keene, NH

Pomah, LLC

Keene, NH 03431

Notes



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The architect assumes responsibility for errors in the information provided, and not for omissions.

Architect:
Sampson Architects
Timothy Sampson
NCARB, LEED AP
11 King Court
Suite 1E
Keene, NH
602 760 7736

Pomah, LLC PO Box 861 Keene, NH 03431

Proposed . Townhouse

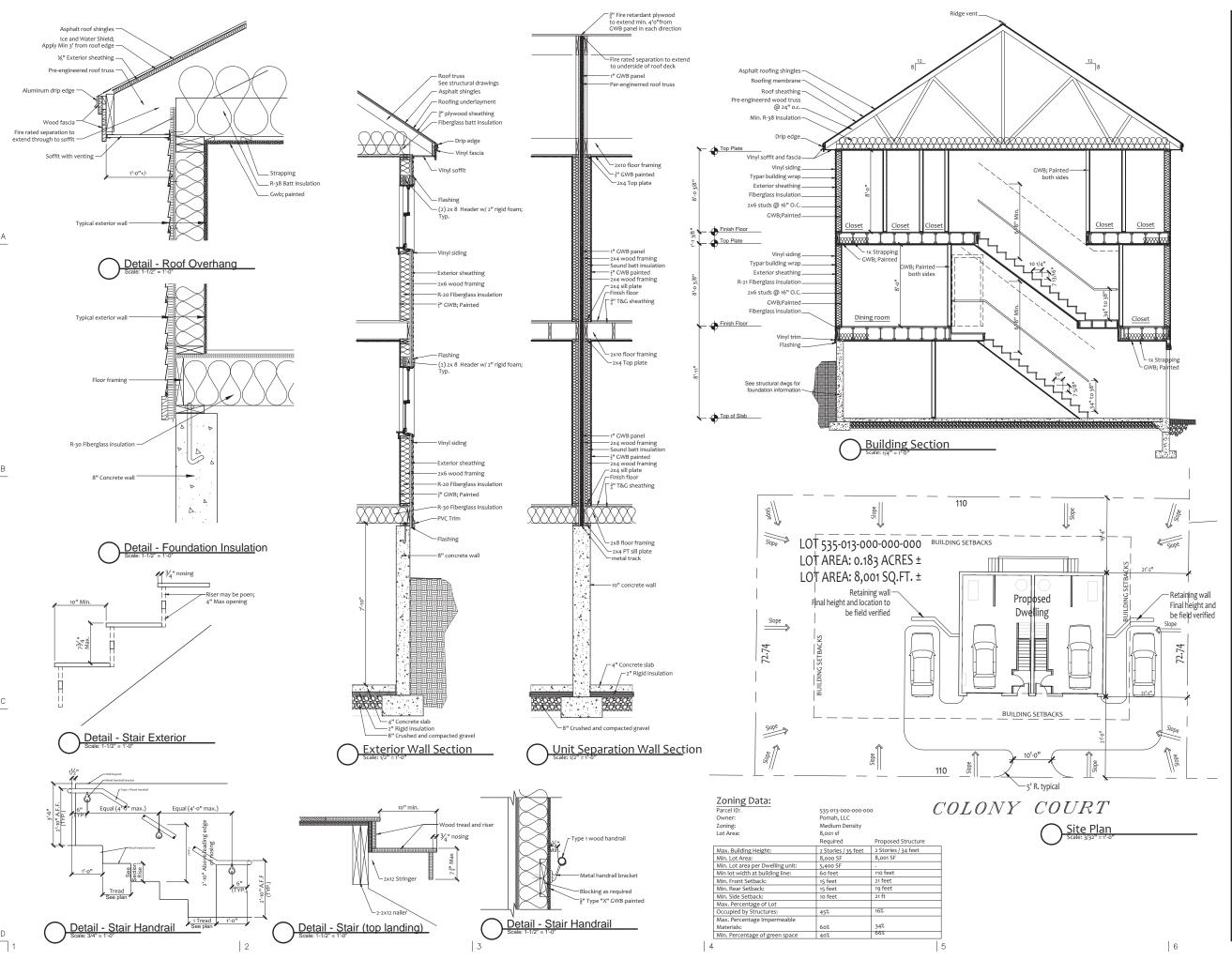
o Ellis Court Keene, NH 03431

Elevations

Date:	Revisions
5.20.24	Owner Revi
5.21.24	Permitting
<u>SCALE</u> a	s noted
DATE F	21.24

SHEET NUMBER

69 of 85



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The architect assumes responsibility

The architect assumes responsibili for errors in the information provided, and not for omissions.

Sampson Architects

Timothy Sampson NCARB, LEED AP 11 King Court Suite 1E Keene, NH 603 769 7736

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OSAMPSON ARCHITECT

Prepared For

Pomah, LLC

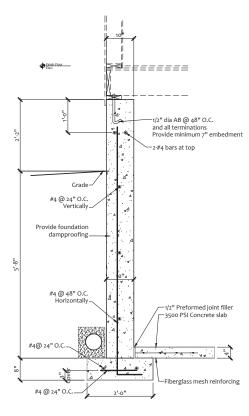
Keene, NH 03431

Proposed
Townhouse
o Ellis Court

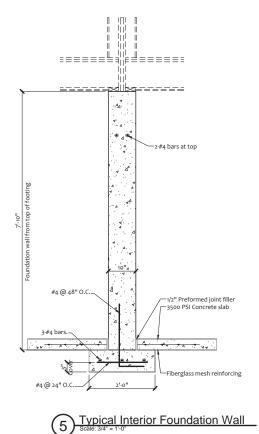
Keene, NH 03431

Sections Details Site Plan

Site Plan		
Date:	Revisions:	
5.20.24	Owner Review	
5.21.24	Permitting	
<u>SCALE</u> a	s noted	
DATE 2	1 March 2017	
SHEET NUM	MBER	
	A3	



6 Typical Foundation Wall
Scale: 3/4" = 1'-0"



STRUCTURAL NOTES

- Structural drawings shall be used in conjunction with architectural, mechanical,
- Structural drawings shall be used in conjunction with architecturia, mechanical, plumbing, electrical drawings plus shop drawings and specifications.
 All existing dimensions and conditions must be verified or determined in the field and any discrepancies shall be brought to the attention of the architect/engineer before proceeding with the affected portion of the work.
- 3. Details shown on any drawings are to be considered typical for all similar conditions, Details shown on any drawings are to be considered typical for an amount unless otherwise noted.
 Refer to architectural drawings for dimensions and details not shown.

- FOUNDATIONS & SLABS

 1. The bottom surface of all spread footings shall rest on undisturbed material or compacted structural fill with a minimum allowable bearing pressure of 3000 pounds per square
- 2. The elevation top of each footing is indicated as [o'-o"] on plan. Top of each exterior
- footing shall be a minimum of 4'-0" below finish grade.

 3. No footing shall be placed under water or on frozen ground.
- 4. Provide 8" minimum crushed gravel, compacted, with a reinforced vapor barrier under interior slabs on grade.
- 5. Backfill at foundation frost walls shall progress evenly on both sides of the wall to avoid unbalanced soil pressure loading.

 6. Concrete retaining walls shall achieve 28 day strength prior to backfilling.
- All placed gravel under slabs and foundations shall be compacted to at least 95% of maximum dry density as measured by a modified proctor test.

CONCRETE

- All concrete construction shall conform to ACI standard 318 "building code requirements" for reinforced concrete" latest edition.

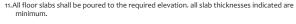
 2. All concrete used for slabs shall have a compressive strength at 28 days of at least 3000
- psi. foundation concrete aggregate shall be ¾"; slab aggregate shall be 1½".

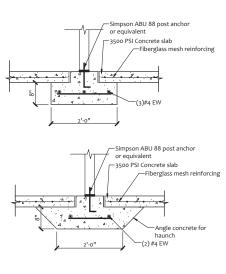
 3. All concrete used for footings and walls shall have a compressive strength at 28 days of at least 3000 psi. foundation concrete aggregate shall be ¾"; slab aggregate shall be
- 4. All reinforcing bars shall conform to ASTM A 615 grade 60, and shall be deformed. Lap all continuous bars a minimum of 40 diameters. provide matching corner and intersection wall bars.

 5. All welded wire fabric shall conform to ASTM A 185 in flat sheets. Lap one and one-half
- squares at all joints and tie at 3'-o"o.c.

 6. Clear concrete protection for reinforcing:
- A. Footings: 3" above bearing soil
 B. Foundation walls: 1½"
 C. Pilasters: 1½ " to ties
 D. Piers: 1½ " to ties
 E. Slabs on grade: 1" from top
- F. Slabs on metal deck: 1" from top
- No bars shall be cut or omitted in the field because of sleeves, duct openings or recesses without the approval of the engineer.
- No chases, recesses, openings or sleeves shall be installed in concrete without approval of the engineer.
 No conduit shall be installed in slabs on metal deck.
- 10. All keys shall be a minimum of 2" x 4" with beveled sides.

 11. All anchor bolts shall be set by template.
- All construction joints shall be formed with a standard key and all reinforcing extended a minimum of 40 diameters.

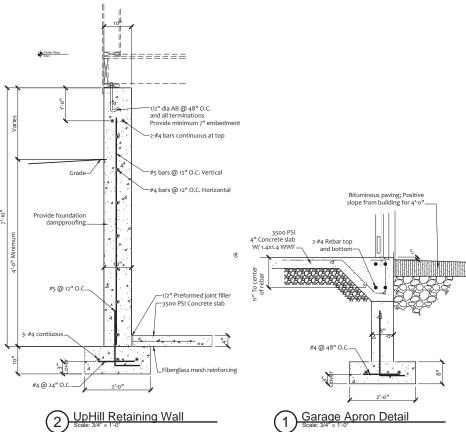




3 Interior Pier / Footing
Scale: 3/4" = 1'-0"

T.O.W. - VIF B.O.F. - VIF Footing to slope / step to maintain minimum depth of 4'-o" below Footing to slope / step to maintain minimum depth of 4'-o" below All foundation drop locations to be verified in field All foundation drop locations 38'-0"

Foundation Plan



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Sampson Architects

Timothy Sampson NCARB, LEED AP 11 King Court Suite 1E Keene, NH 603 769 7736

Pomah, LLC PO Box 861 Keene, NH 03431

Proposed

Townhouse o Ellis Court Keene, NH 03431

Foundation Plan Details

Notes	
Date:	Revisions:
5.20.24	Owner Review
5.21.24	Permitting
SCALE as noted	
DATE 5	.21.24
SHEET NUM	1BER_
	Αд

3

Pier Footing details
Scale: 3/4" = 1'-0"

5

2

4

6

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Surveying **Engineering** Land Planning Septic Designs

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STORM WATER MANAGEMENT REPORT **DUPLEX RESIDENTIAL BUILDING COLONY COURT, KEENE, NEW HAMPSHIRE**

> Prepared for: Sampson Architects

> > July 8, 2024

I) INTRODUCTION

This storm-water management report was conducted for a proposed site development for a duplex residential housing project in Keene, NH. The property is located on Colony Court, specifically on City of Keene Assessor's Parcel 535-12-000-000. The site is currently undeveloped and surrounded by residential homes. The applicant is proposing to construct a duplex residential home with drive-under garages and outdoor parking spaces.

The purpose of this report is to analyze the qualitative and quantitative impacts of the proposed development on stormwater runoff. The objective of the proposed stormwater management system for this project is to mitigate any increases resulting from the proposed development and to meet the drainage guidelines set forth in the City of Keene's Site Plan Review regulations, as the project requires a Conditional Use Permit from the Planning Board.

II) SITE DESCRIPTION (EXISTING)

The subject property is listed as 0.183 Acre (8,001 S.F.), with frontage along Colony Court. The lot is undeveloped and consists of brush landcover sloping upwards from Colony Court to the rear of the lot. The lot shows signs of past land disturbance, as there are no mature trees within the area of development.

The NRCS websoil survey indicates that the soils on site are Windsor Sandy Loam (26B). This soil is listed as a Hydrologic Group (HSG) "A" soil, with a listed infiltration rate of 6.0 Inches/hour to 20.0 inches/hour.

III) METHODOLOGY

The quantity of runoff and the conveyance of that flow through the site are determined using the software package HydroCAD r 10.0 by HydroCAD Software Solutions, LLC. HydroCAD is a computer aided design program for modeling storm water hydrology based on the Soil Conservation Service (SCS) TR-20 method combined with standard hydraulics calculations used to model stormwater systems, such as detention basins, culverts, swales, and catch basins.



Sampson Architects #3887.00 Colony Court Duplex – Storm Water Mgt. Report

Page 2

The stormwater management systems are designed in accordance with the methodology for the "Best Management Practices" (BMP's), as outlined in the New Hampshire Storm Water Manual, Volume 2.

IV) DRAINAGE DESIGN

In accordance with the City of Keene Land Development Code (Section 21.2), there will be no increase in the volume or velocity of stormwater onto adjacent properties. In order to demonstrate this the two (2), ten (10), and fifty (50) year frequency storm events have been evaluated. The values for each storm modeled match the Extreme Precipitation Estimates, as listed by the Northeast Regional Climate Center, specifically for Keene NH. These design storms have been analyzed to compare the Pre and Post-development peak flow rates for the site (see attached comparison tables below).

Pre-Development Drainage Conditions:

The Pre-Development Drainage Area Plan outlines the area where water flows across the property. The high point of the property is along the eastern boundary and flows to the west, towards Colony Court. The water currently flows along the edge of pavement on Colony Court to a catch basin near the southwest corner of the subject lot. This catch basin was used as the Observation Point (OP1) to compare the Pre and Post Development runoff rates.

<u>Post-Development Drainage Conditions:</u>

The proposed drainage systems were designed to capture runoff from the building and paved areas, and direct the flow to stormwater management systems. The existing condition has all water flowing to the municipal catch basin in Colony Court. Therefore, the post-development condition will require mitigating the runoff velocities and volumes to this catch basin (OP1). There are 3 Subcatchments modeled in the post-development condition, to model the runoff to OP1. Subcatchment 1S includes the area of the property that is not altered and water flows directly to the catch basin OP1. Subcatchment 2S includes the area that flows to the underdrain behind the retaining walls (Pond 1P). Subcatchment 3S includes the area that flows directly into the stone infiltration trench (Pond 2P). Pond 3P is a vertical standpipe that will have a round, yard drain cover and allow for a raised outlet. The raised outlet will allow water to build up higher in the stone infiltration trench to promote infiltration to the underlying soil and detain water.

The net result is that virtually all of the new impervious areas will receive qualitative treatment and there will be a reduction of peak rates of runoff leaving this site for all storm events.

V) SUMMARY

The intent of the stormwater management system for this project is to address the qualitative and quantitative aspects of the stormwater runoff so that there are no downstream adverse impacts created by the project. To mitigate the resulting increases in runoff peak rates due to the development of Lot 535-12, this project proposes that a stormwater management system



Sampson Architects #3887.00 Colony Court Duplex – Storm Water Mgt. Report

Page 3

consisting of two (2) retaining wall underdrains with stone, two (2) infiltration trenches (one on either side of the driveway, and one (1) vertical standpipe/yard drain to be constructed. The net result is that the new building and paved areas will receive qualitative treatment and there will be no increase in the peak rates of runoff leaving the site.

The stormwater management design for this project therefore complies with the standards set forth in the City of Keene's Land Development Regulations.

The following table is a summary of the attached calculations and shows a comparison of the peak flow rates at the summary point for the site. The values presented are based on Pre- and Post-development conditions.

Table 1.1: Peak Flow Rates (CFS)/Volume (AF) to Observation Point 1 (OP1) – PRE VS. POST DEVELOPMENT

STORM FREQUENCY	PRE-DEV. RUNOFF (CFS/AF)	POST-DEV. RUNOFF (CFS/AF)	CHANGE (CFS/AF)
2-YEAR	0.0/0.0	0.0/0.0	-/-
10-YEAR	0.0/0.0	0.0/0.001	-/0.001
50-YEAR	0.0/0.03	0.06/0.004	+0.06/-0.026



MEMORANDUM

TO: Planning Board

FROM: Mari Brunner, Senior Planner

DATE: July 17, 2024

SUBJECT: Agenda Item VI – Request for Review and Comment

Recommendation:

If the Board is inclined to recommend approval to City Council, the following language is suggested for a motion:

"Move to recommend that City Council grant the request to authorize the issuance of building permits for three duplexes on the property located at 57 Marlboro Street."

Background:

This request pertains to two existing, developed lots within the city that only have frontage and access from a private road: 3 Aliber Place and 57 Marlboro Street. These are both legally non-conforming lots of record that pre-date current zoning regulations. RSA 674:41, subsection I(d) states that building permits may be issued when the street giving access to the lot upon which the building is proposed to be placed is a private road, provided that:

- "(1) The local governing body, after review and comment by the planning board, has voted to authorize the issuance of building permits for the erection of buildings on said private road or portion thereof; and
- (2) The municipality neither assumes responsibility for maintenance of said private roads nor liability for any damages resulting from the use thereof; and
- (3) Prior to the issuance of a building permit, the applicant shall produce evidence that notice of the limits of municipal responsibility and liability has been recorded in the county registry of deeds for the lot for which the building permit is sought."

The applicant, Mr. Jared Goodell, proposes to merge 3 Aliber Place and 57 Marlboro Street and build three duplexes that would be accessed from Aliber Place, an 18-ft private right of way. In accordance with RSA 674:41, the applicant has submitted a request for City Council authorization for the issuance of building permits on a lot that has access from a private road.

The applicant's request, including a narrative, site plan, photos, and building elevations, is included as an attachment to this memo.





7/16/2024

City of Keene, Community Development Department 3 Washington St., Keene, NH 03431 Attn: Mayor Jay Kahn, Chairman Harold Farrington

CC: Mari Brunner, Senior Planner

Re: 57 Marlboro Street development - Request for approval

Mayor Kahn/Planning Board Chair Farrington,

Tailfeather Strategies, on behalf of property owner Mr. Jared Goodell, submit the following information to aid in the decision to grant permission for a proposed development on the lot located at 57 Marlboro Street (TMP#: 590-093-000-000-000), which is in the Downtown-Edge zoning district. The site currently has a three-family residential structure and no commercial uses. The reason for this unusual request is that the property has no street frontage and is sandwiched between a single-family home to the rear and a two-family building along Marlboro Street. All residences on these three parcels are accessed by Aliber Place, a private road that connects to Marlboro Street.

Under RSA 674:41, a building permit for new development on a private road such as Aliber Place must be granted by the local governing body, in this case Keene's City Council, after consulting with the Planning Board. The law also requires that the owner, in this case Mr. Jared Goodell, record a notice in the Registry of Deeds acknowledging that the city is not liable for maintenance or damage that might occur on that road (RSA 674:41, I(d)). Mr. Goodell intends to file such a notice before applying for building permits.

RSA 674:41 does not set forth the criteria the municipality should use in considering a request for authorization, but one factor municipalities tend to consider is the ability of emergency vehicles to access the land in question. We have had one pre-submission meeting with staff on this proposal. Police, Fire, Public Works, Code Enforcement, and Planning staff were present to review and comment on the proposed plan before submission of our final application documents. No comments or concerns were brought forward as it relates to access to the site by emergency personnel or vehicles. The proposed driveway and parking area does comply with the standards prescribed in Keene's Land Development Code, specifically Article 9.3 "Driveway Design Standards, and Article 9.4 "Parking Lot Design Standards".

The proposed development is currently going through the planning and zoning review process. The approval being considered under RSA 674:41 is not a substitute for any of the City's planning, zoning, or building code approval processes. This request is in addition to the standard review and approvals used to scrutinize every proposed development project in the city.



Thank you for considering our request and helping us create (6) new workforce housing units in Keene. Our planned construction start date is September 1, 2024. Anything that can be done to expedite this approval would be greatly appreciated.

To aid in your decision, I have included the following background materials with this letter:

- A development summary
- Illustrations of the proposed development from the public right-of-way along Marlboro Street
- Proposed site plan and architectural drawings

We have carefully designed this project to minimize the impact of this development on the surrounding neighborhood and the city's infrastructure. We hope you will agree and approve this request swiftly, allowing us to proceed. I'm happy to make myself available to answer any questions or concerns.

Thanks and best regards.

George Hansel, Tailfeather Strategies

Submitted with permission on behalf of:

Jarea Goodell, Property Owner



Development Summary:

Property Location: 57 Marlboro Street (TMP#: 590-093-000-000-000)

Property Owner: Jared Goodell, PO Box 305, Keene NH 03431

The subject property currently has a three-family structure and no street frontage. It is accessed by a private road (Aliber Place) that connects to Marlboro Street and acts as a shared driveway for three residential properties: 57 Marlboro Street, 59 Marlboro Street, and 3 Aliber Place. All three parcels are served by city water and sewer. The subject parcel is sandwiched between a lot with a single-family residence to the rear and a lot with a two-family residential property with frontage on Marlboro Street. All three properties are owned by Mr. Jared Goodell. He plans to voluntarily merge 57 Marlboro Street and 3 Aliber Place as part of this proposed development.

The proposal will add (3) two-family structures to a vacant section of 57 Marlboro Street. In total, (6) new housing units will be created. These units will be marketed as workforce housing. While unusual, development without frontage is permissible under RSA 674.41 with approval by the City Council, with advice from the Planning Board.

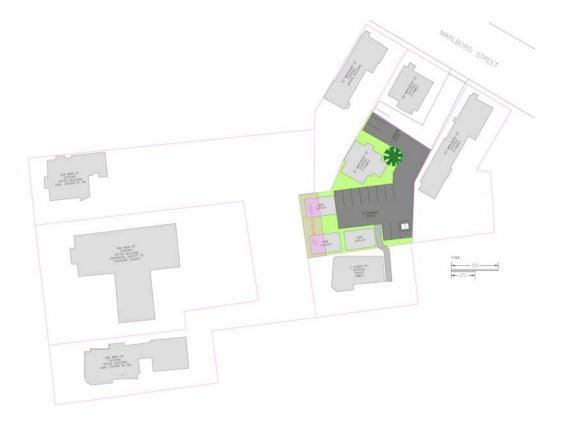






Illustration of public view of the new development from the sidewalk in front of 53 Marlboro Street.



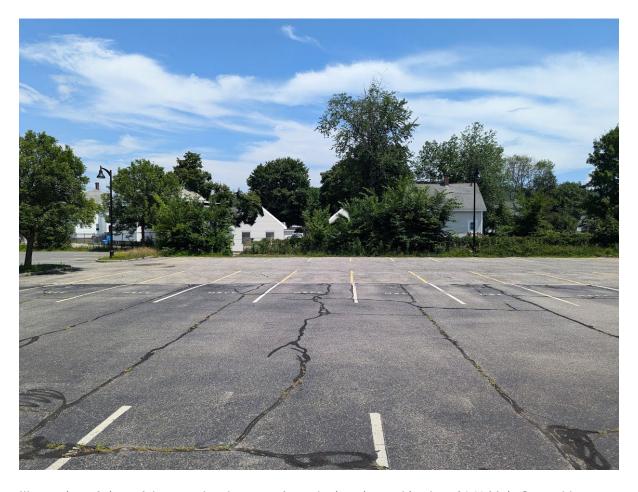


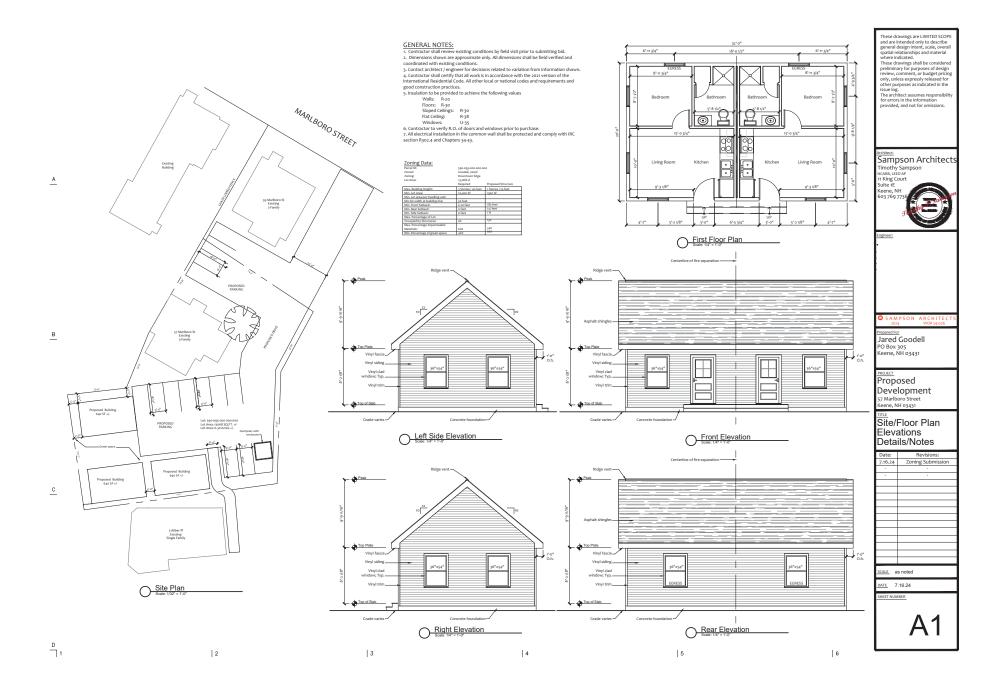
Illustration of view of the new development from the interior parking lot of 246 Main Street (the rear entrance of the Historical Society of Cheshire County).





Illustration of public view of the new development from the sidewalk in front of 59 Marlboro Street.





CHAPTER III: REGULATORY FUNCTIONS

Drafting, reviewing and recommending ordinances, regulations and amendments. Subdivision and Site Plan Review Regulations.

PURPOSE OF SUBDIVISION REGULATIONS (RSA 674:35)

Subdivision control guides municipal development, protects prospective residents and abutting property owners from problems associated with poorly designed areas, and advances the purposes of the municipality's police power: to protect the public health, safety, and general welfare. Subdivision controls are based on the premise that a new subdivision is not an island but an integral part of the whole community which must mesh efficiently with the municipal pattern of streets, sewers, water lines and other installations that provide essential services and vehicular access. Peter Loughlin, Volume 15, New Hampshire Practice Series, §29.02.

Regardless of whether or not a municipality has adopted a zoning ordinance, the legislative body may authorize the planning board to regulate the subdivision of land (RSA 674:35). The planning board must adopt regulations before exercising this power. See RSA 674:36 for a list of provisions that may be included in subdivision regulations.

"Subdivision" means the division of the lot, tract, or parcel of land into two or more lots, plats, sites, or other divisions of land for the purpose, whether immediate or future, of sale, rent, lease, condominium conveyance, or building development.

It includes re-subdivision and, when appropriate to the context, relates to the process of subdividing or to the land or territory subdivided. (RSA 672:14, I)

PURPOSE OF SITE PLAN REVIEW REGULATIONS (RSA 674:43)

In addition to subdivision review authority, municipalities may regulate site plans for non-residential, as well as multi-family, housing development. Site plan review is one of the most useful techniques in modern land use control. It is an important device to ensure that uses that are permitted by the zoning ordinance are constructed in such a way that they fit into the area in which they are being constructed without causing drainage, traffic, lighting, or similar problems.

A site plan may be required to be submitted to the planning board prior to development of a particular tract of land. The plan must show the proposed location of the buildings, parking areas, landscaping, drainage, and other installations on the plot and their relationship to existing conditions such as roads, neighboring land uses, natural features, public facilities, ingress and egress roads, interior roads and similar features.

The authority to review site plans for non-residential and multi-family housing development, whether or not it involves the subdivision of land, may be delegated to the planning board by vote of the municipality's legislative body, but only in municipalities that have adopted a zoning ordinance and subdivision regulations (RSA 674:43). Site plan review regulations, which are adopted by the planning board, may govern adequate drainage, protection of groundwater quality, provision of "open spaces and green spaces of adequate proportions," fire safety, and other similar issues. (RSA 674:44).

through the National Fire Protection Association regulations to require residential sprinklers when unique site or building conditions warrant them).

Preparing Site Plan Review Regulations (RSA 674:44)

Local site plan review regulations which must be adopted by the planning board shall include:

- a. The procedures the board must follow in reviewing site plans;
- b. A provision defining the purpose of site plan review (at a minimum, the general language provided in the statute should be incorporated);
- c. A specification of the general standards and requirements that must be met "including appropriate reference to accepted codes and standards for construction;"
- d. Provisions for guarantees of performance, including bonds or other security; and
- e. Waiver provisions (see Chapter IV for more information on waivers).

Additionally, site plan review regulations <u>may include</u>:

- a. Provide for the safe and attractive development or modified use of the site and protect against conditions that could pose a danger or injury to health, safety or prosperity due to:
 - inadequate drainage that may contribute to flooding,
 - inadequate protection of groundwater quality,
 - increased undesirable, yet preventable, noise, air, light, or other pollution, and
 - inadequate fire safety, prevention or control.
- b. Provide for the harmonious and aesthetically pleasing development of the municipality and its environs;
- c. Provide for adequate proportions of open spaces and green spaces;
- d. Require the proper arrangement and coordination of streets within the site in relation to other existing or planned streets or with features of the official map of the municipality;
- e. Require that streets be suitably located and sized, usually to road standards adopted by the municipality, to accommodate existing and future traffic and access to emergency vehicles and services;
- f. Require that plats depicting new streets or the resizing of existing streets be submitted to the planning board for approval;
- g. Require that land be suitable for building purposes without posing health risks;
- h. Include conditions that protect the health, safety, convenience or prosperity of the municipality;
- i. Require innovative land use controls when supported by the master plan; and
- j. Require preliminary review of site plans.
- k. The Board can consider making the application and checklist as part of the site plan regulations;

Subdivision and site plan review regulations should evolve from the overall planning process that starts with preparation of the master plan. Subdivision and site plan regulations control the design and accessibility of the subdivision and/or development itself, not the use itself or where it can be located in the community. Zoning regulations establish permitted uses and density limits for the various areas in a community based on the development patterns and types of uses i.e. residential