



Historic District Commission

AGENDA

Wednesday, August 21, 2024

4:30 PM City Hall, 2nd Floor Council Chambers

- 1. Call to Order and Roll Call**
- 2. Minutes of June 19, 2024**
- 3. CLG 2024 Project Presentation** – Presentation by Mae Williams on the draft inventory forms for the inventory of Historic District Expansion and other unranked properties
- 4. Public Hearing** – Proposed amendment to the HDC regulations to change the mailed abutter notice from certified mail to certificate of mailing
- 5. Staff Updates**
 - a) **Master Plan Update**
- 6. New Business**
- 7. Upcoming Dates of Interest:**
 - a) Next HDC Meeting: September 18, 2024 – 4:30 pm, TBD
 - b) HDC Site Visit: September 18, 2024 – 3:30 pm (To be confirmed)
- 8. Adjourn**

1 City of Keene
2 New Hampshire

3
4 HISTORIC DISTRICT COMMISSION
5 MEETING MINUTES
6

Wednesday, June 19, 2024

4:30 PM

Council Chambers,
City Hall

Members Present:

Sophia Cunha-Vasconcelos, Chair
Hope Benik, Vice Chair
Anthony Ferrantello
Russ Fleming

Staff Present:

Evan Clements, Planner

Mayor Jay Kahn

Members Not Present:

Councilor Catherine Workman
Peter Poanessa
7 David Bergeron, Alternate
8

9 **1) Call to Order and Roll Call**

10
11 Chair Sophia Cunha-Vasconcelos called the meeting to order at 4:35 PM and roll call ensued.
12

13 **2) Minutes of February 21, 2024**

14
15 Anthony Ferrantello motioned to adopt the February 21, 2024 minutes which was duly seconded
16 by Russ Flemming and the motion passed unanimously.
17

18 **3) Mayor Kahn – Discussion on Reducing Required Membership**

19
20 Mayor Kahn was present to discuss reducing required membership in the HDC. To remedy the
21 vacancies, he suggested reducing the size from seven to five which would reduce the quorum to
22 three members. Mr. Flemming stated he thought it was a good idea.
23

24 Mayor Kahn stated that once Louise Zerba from the HC is confirmed as a full member, she
25 would be joining the HDC.
26

27 Mr. Fleming moved to recommend that the City Council reduce the number of voting members
28 from seven to five which was seconded by Mr. Ferrantello. The motion passed unanimously.
29

30 **4) CLG 2024 Project Kick-Off**

31
32 May Williams, a presentation consultant from Center Harbor, NH was present at the meeting.
33 She would be working with the City to survey the 16 properties that were not surveyed in the
34 original Historic District. Ms. Williams would use a similar format for each property, which she
35 sent to Mr. Clements for review. She would look at the buildings from the public right of way
36 and take photographs of the building to get what the materials are as well as the general form of
37 the building. This would help develop a baseline for the HDC to make informed decisions going
38 forward.

39
40 Mr. Clements stated he was hoping to gain knowledge of the architectural form and the original
41 building materials that were used as that information is often blank on the inventory forms. He
42 thought the HC was more equipped to research the history behind the building. Ms. Williams
43 stated she would use the same terminology as the National Park Service or the New Hampshire
44 Division Historical Resources which would be easily adaptable if the HDC decided they would
45 like to turn a building in to a State or National Register nomination.

46
47 Ms. Williams spoke upon character defining integrity and what she would put in her
48 recommendations to the committee. Mr. Clements stated he hoped Ms. Williams would provide a
49 preliminary analysis and how each building fits into the district as a whole and leave it open
50 ended for the HDC to decide their ranking. Ms. Williams stated that she was used to using either
51 contributing or noncontributing as the two rankings and was unfamiliar with the nuances of the
52 four different categories that the HDC uses but was confident she could provide them with
53 feedback.

54
55 Mr. Ferrantello asked if Ms. Williams could recommend replacement of, or a plaque in honor of,
56 any character defining feature that once existed on the building but had since been removed. She
57 stated she could put that wording in her recommendation if it would be helpful to the committee.

58
59 Mr. Clements stated that some of the 16 buildings had not met the period of significance but that
60 they would be ready with the reports for when the buildings enter that period of 50 years or
61 older.

62
63 Keith Thibault, Chief Development Officer from Southwestern Community Services was present
64 at the meeting to discuss 51 Railroad Street, a senior housing development that was built new in
65 the Historic District. He commended the City's respect for and desire to make sure that those
66 properties are redeveloped to high standards. He was very proud of the work that was done. Mr.
67 Thibault was looking forward to seeing the list of the 16 buildings that were to be surveyed.

68
69 **5) 69 Washington Street, Keene UU Church – Nomination to the National Register of**
70 **Historic Places**

71

72 Mr. Clements informed the HDC that 69 Washington Street had been nominated for a place on
73 the National Registry of Historic Places. The HC would write a letter of support for the
74 nomination.

75

76 **6) Staff Updates**

77

78 **A) Master Plan Update**

79

80 Mr. Clements reported that the City was undergoing a comprehensive update to the
81 City's Master Plan. A survey went out and they had done a two-day scenario planning
82 exercise with about 60 people in attendance on each of the two days. Future IQ was the
83 firm who was doing the strategic planning for the future. Mr. Clements discussed
84 different scenario examples that had been discussed at the think tank meetings. He
85 invited everyone to go to keenemasterplan.com to view all of the information about the
86 project and to share it with members of the community as well.

87

88 **7) New Business**

89

90 There was no discussion.

91

92 **8) Upcoming Dates of Interest**

93

94 **A) Next HDC Meeting: July 17, 2024 – 4:30 PM, TBD**

95

96 Mr. Clements stated that Hannah Grimes on Roxbury Street had new mechanicals put
97 on their roof. They did a good job of lining up a lot of the mini split condensers with an
98 existing chimney. They would need a waiver if they decide not to install screening on
99 the mechanicals.

100

101 44 Court Street hired a mason to tuck-point the entire building. They did a test patch to
102 show Mr. Clements and would use a gentle detergent to clean the brick as well.

103

104 **B) HDC Site Visit: July 17, 2024 – 3:30 PM (To be confirmed)**

105

106 **9) Adjourn**

107 There being no further business, Chair Cunha-Vasconcelos adjourned the meeting at 5:30 PM.

108

109 Respectfully submitted by,
110 Melissa Danneker, Minute Taker

111

112 Reviewed and edited by,
113 Evan J. Clements, AICP
114 Planner

RESOURCE: 122 West Street

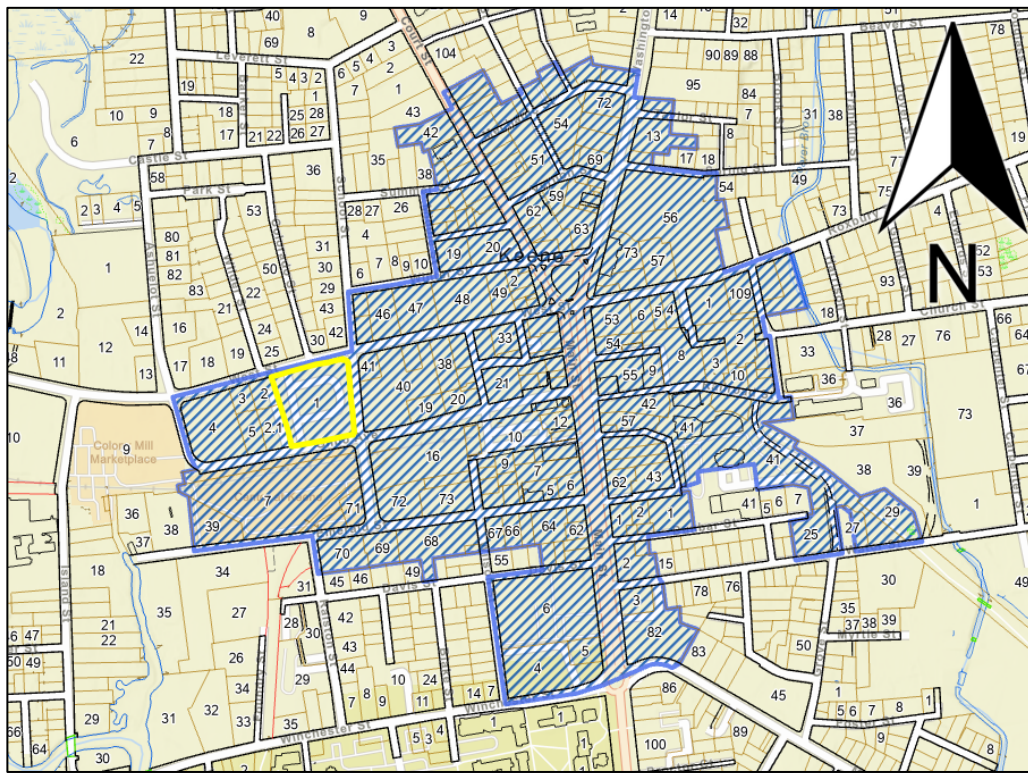
TAX MAP/PARCEL: 576-001-000

Common name	People's United Bank		Source	Original site plan	
Address	122 West Street		Current owner	People's United Bank N.A.	
Current Use	Commerce/Trade: Financial Institution		Historic Use	N/A	
Date Built	1978	Source	Site plan	Style	Commercial/International
Architect	Kenneth F. Parry & Associates, Inc.		Builder	Unknown	
Alterations	There are no known major alterations to the exterior of the People's United Bank other than the replacement of the original sign with the current M & T Bank sign.				

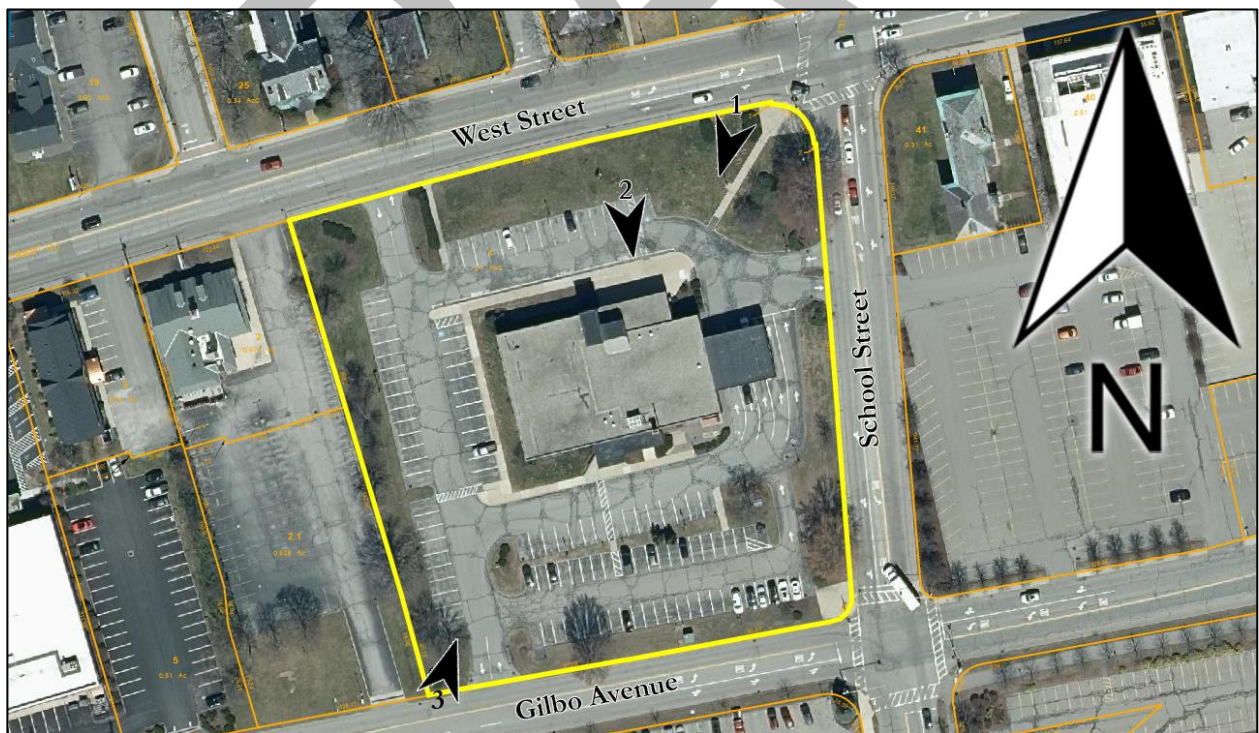


Photo No. 1	122 West St-2024-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The People's United Bank has changed very little since it was constructed in 1978 and retains character-defining features such as long, low building profile, angular exterior with projecting massings, flat brick walls, horizontal brick ornamentation, and slightly indented ribbons of large flat windows.				

Location Map



Site Map (with photo key)



RESOURCE: 122 West Street

TAX MAP/PARCEL: 576-001-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Commercial	Y
Structure	Masonry	Y
Foundation	Poured concrete	Y
Siding	Brick	Y
Roof	Flat, gravel	Y
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Narrow flat metal bands.	Y
Windows	Large fixed windows set in “ribbons” of glass	Y
Doors	Glass and metal commercial	Y
Porches	N/A	N/A
Additions	N/A	N
Other	Drive-through (1978)	Y
Outbuildings	N/A	N/A
Landscape	Parking lot, Paths or walkways, Immature trees	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Commercial artery/strip
Integrity	Despite some loss of integrity of setting due to modern construction in the area immediately surrounding the building, the People’s National Bank retains integrity of location, design, materials, workmanship feeling and association for a commercial bank that was constructed in 1978.
Significance	The People’s National Bank does not qualify for the National Register of Historic Places as the resource is under 50 years old.
National Register District Ranking	122 West Street is outside of the National Register Historic District
Recommended Local Historic District Ranking	Non-contributing (due to age)



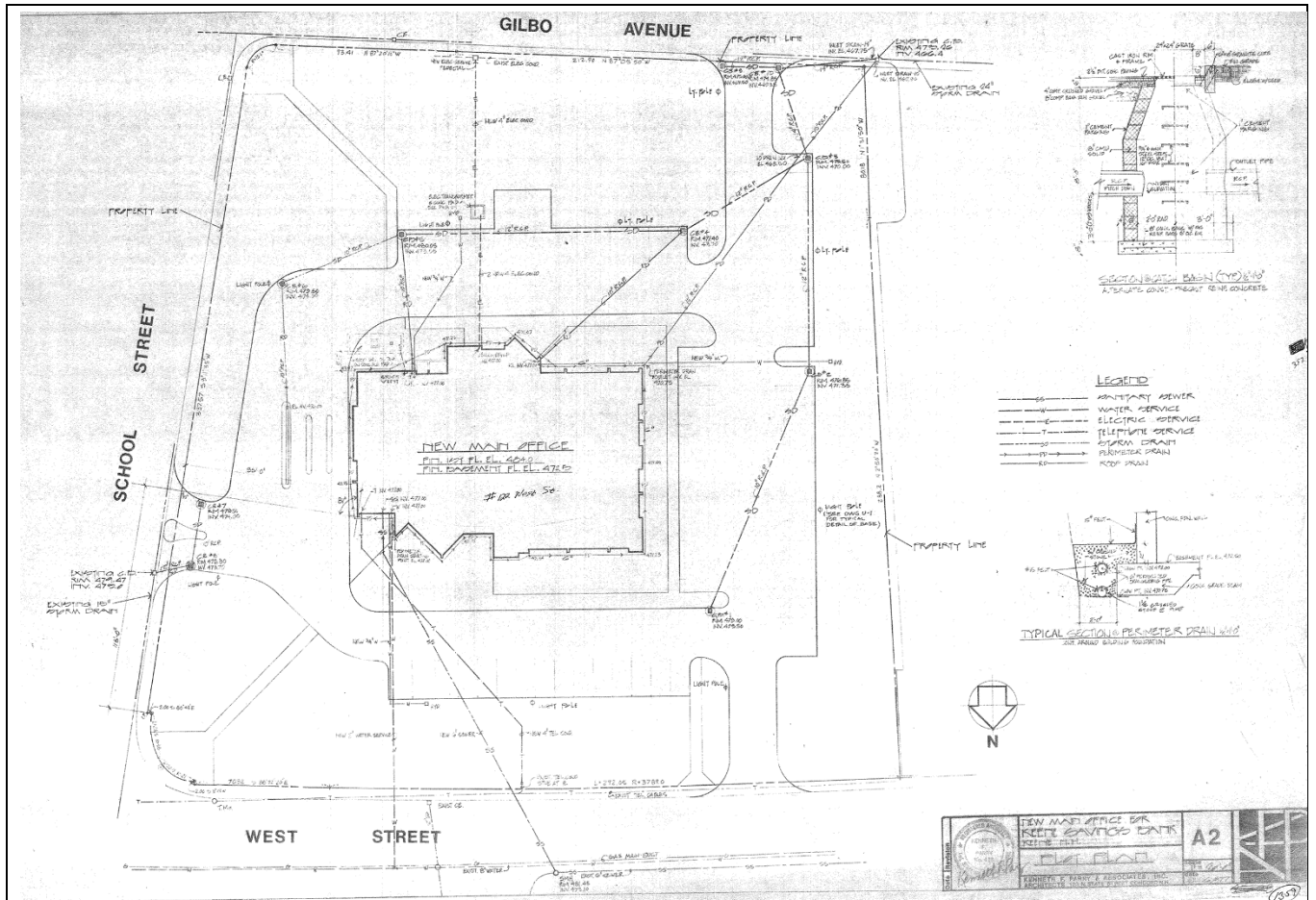
Photo No. 2	122 West St-2024-2.jpg	Date	June 19, 2024	Direction	South
Notes	The cantilevered roof above the primary entrance to the bank provides a sheltered entrance at the prominent corner of the building that can be easily accessed either by pedestrian traffic from Keene’s downtown core or by cars parked in the expansive asphalt parking area. The wall of glass created by the ribbon windows and doors creates a “modern” open lobby, a key features of 1970s financial institutions.				

RESOURCE: 122 West Street

TAX MAP/PARCEL: 576-001-000



Photo No. 3	122 West St-2024-3.jpg	Date	June 19, 2024	Direction	Northeast
Notes	The rear (north) elevation of the building shares the low profile of the front but is simplified in design with the recessed entry of the primary façade mirrored here in the extremely tall glass windows at the rear entrance at the center of the building. The three-bay drive-through at the east (right) side of the building further emphasizes the strong horizontal lines of the design.				



Historic Photo 1	1978 Plans	Direction	N/A
Notes	1978 Plans for the “New Main Office for Keene Savings Bank” by Kenneth F. Parry & Associates, Inc. Architects of 123 N. State Street in Concord, NH. (Note: North is oriented down)		

RESOURCE: 166 WEST STREET

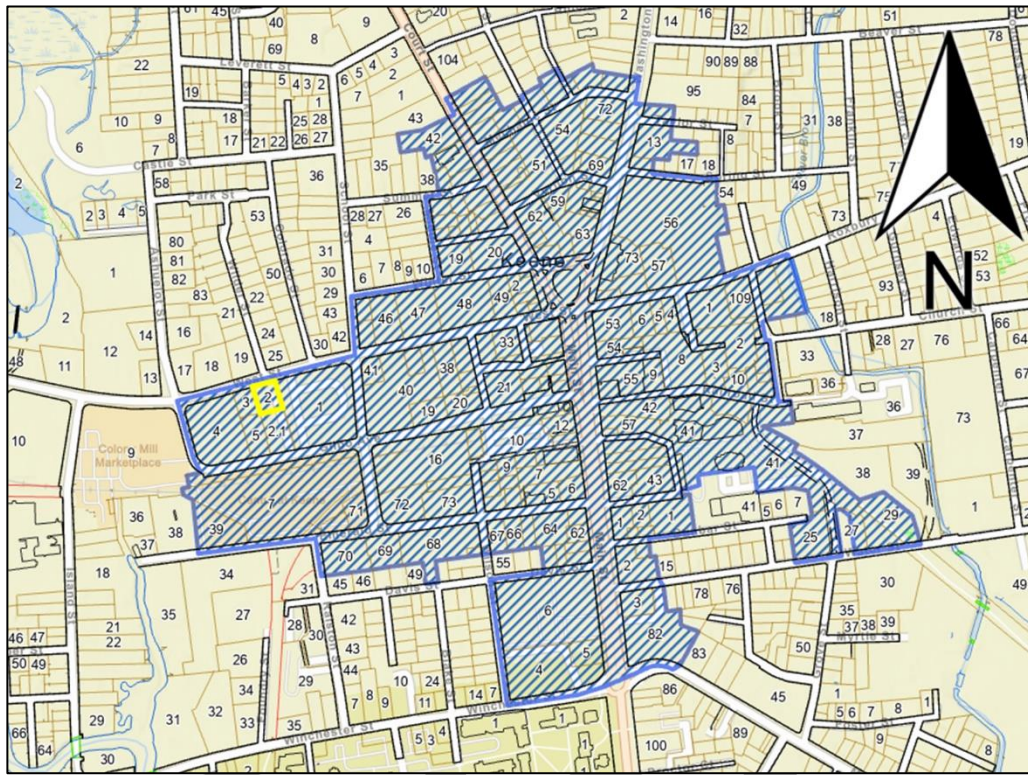
TAX MAP/PARCEL: 576-002-000

Historic name	Friendly's Building		Source	Historic Images	
Address	166 West Street		Current owner	Marigold Clair Properties, LLC	
Current Use	Healthcare: Doctor's Office		Historic Use	Commerce: Restaurant or tavern	
Date Built	1976	Source	Tax Card	Style	Early American/Georgian Revival
Architect	Unknown		Builder	Unknown	
Alterations	Heavily renovated ca. 2021 with roof, siding, and windows replaced and cupola removed.				



Photo No. 1	Friendlys-2024-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The former Friendly's Restaurant, now Eyeworks optometry office was heavily remodeled in 2021 with new windows, exterior doors, and board and batten panels. The general form and massing of the building, however, have remained largely intact and carry-over from the original use as a branded Friendly's Restaurant of the mid-1970s.				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Centennial-era Colonial Revival-revival commercial building	Y
Structure	Brick veneer over wood-frame	Y
Foundation	Poured concrete	N
Siding	Brick veneer (1976) with board & batten (ca. 2021) panels	Y/N
Roof	Gable with low slope, covered in asphalt shingle	Y
Chimneys	N/A	N/A
Dormers	2 gable dormers at north (primary) elevation	Y
Trim	Flat vinyl (ca. 2021)	N
Windows	Applied grills at fixed windows (ca. 2021)	N
Doors	Glass commercial (ca. 2021)	N
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A (cupola removed, ca. 2021)	N
Outbuildings	N/A	N/A
Landscape	Paved parking area	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Commercial artery/strip
Integrity	Though the former Friendly's at 166 West Street retains integrity of location, recent changes to the neighborhood have led to some loss of integrity of setting. Recent renovations to the exterior of the building have replaced the majority of the character-defining features that show the original use as a Friendly's restaurant: the replacement of doors, windows, and siding, as well as changes to the dormers have led to a loss of integrity of design, materials, workmanship, feeling and association. Only the general footprint and massing remain to suggest the original use of the branded building.
Significance	The original design of the 1976 Friendly's Building reflected the revivalist movement of Early American/Georgian Revival commercial architecture that swept the nation in the years surrounding the American Bicentennial and was seen in many fast-food restaurant structures, with different chains having distinctive characteristic forms and exterior color schemes and details that made them stand out against other brands. Due to the overall loss of vintage detail (and therefore integrity), the former Friendly's building at 166 West Street no longer reflects this mid-1970s architectural movement nor its role in the evolution of the commercial district just outside of Keene's downtown core that developed after the loss of many of the surrounding industrial enterprises.

National Register District Ranking	Not applicable, outside of National Register district area
Recommended Local Historic District Ranking	Non-Contributing Resource (age & loss of integrity)



Photo No. 2	Friendlys2024-2.jpg	Date	June 19, 2024	Direction	Southeast
Notes	166 West Street from northwest, facing southeast, showing north and west elevations of former Friendly's Restaurant. Note the paired dormers on the north roof slope, which were a common feature of the Centennial-era corporate-designed fast-food restaurant, supposedly added to create a welcoming face from the roadside.				



Historic Photo 1	Keene Friendly's Restaurant, ca. 2015	Direction	Southeast
Notes	The Keene friendly's location shut down in April 2019 and was removed for use as the Eyeworks optometry office in 2021. Note the original red and white color scheme, dormer windows and louvered cupola.		

RESOURCE: 166 WEST STREET

TAX MAP/PARCEL: 576-002-000



Historic Photo 2	Keene Friendly's Restaurant, 2021	Direction	Southwest
Notes	2021 <i>Keene Sentinel Newspaper</i> photograph of the former Friendly's Restaurant awaiting redevelopment for use for use as the Eyeworks optometry office in 2021. Late 20 th century hedges in front of the building are removed in this image, however, the original faux-divided light "colonnaded" windows remain in place.		

RESOURCE: 172 WEST STREET

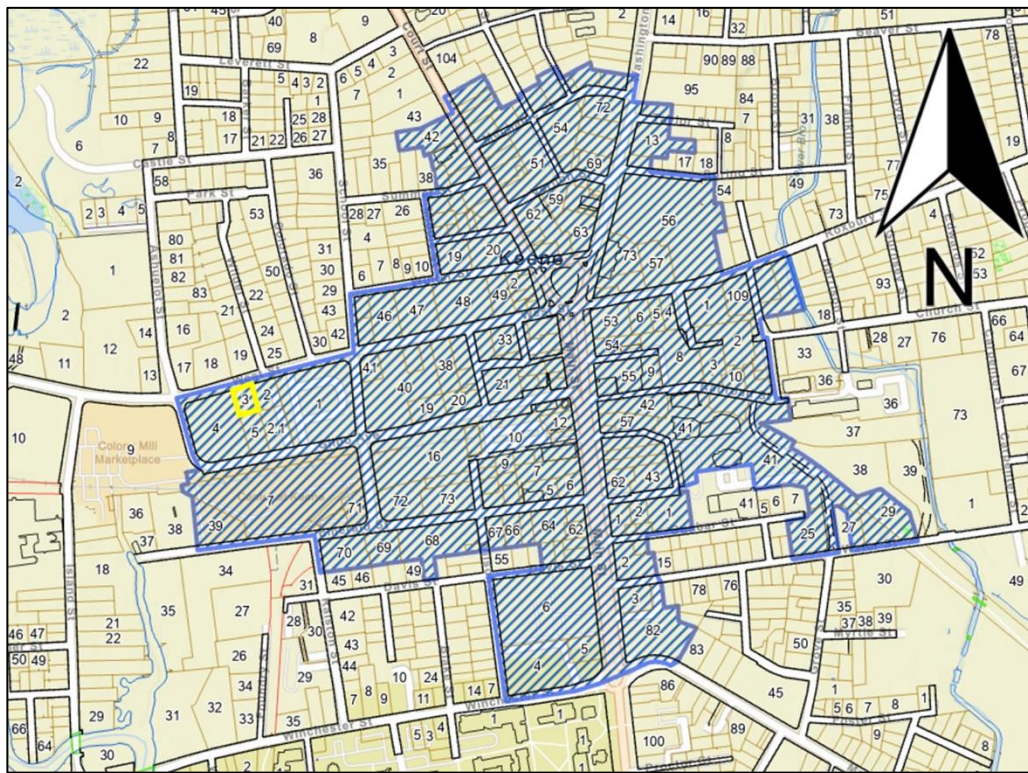
TAX MAP/PARCEL: 576-003-000

Common name	U. S. Army Recruiting Office		Source	N/A	
Address	172 West Street		Current owner	172 West Street LLC	
Current Use	Defense: Recruiting Office		Historic Use	N/A	
Date Built	2010	Source	Tax Card	Style	Neo-traditional
Architect	Unknown		Builder	Unknown	
Alterations	N/A				



Photo No. 1	172 West St-2024-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The entirely modern US Army Recruiting Office at 172 West Street has a brick exterior with vinyl-covered shed dormers along either side of the roofline and faux-multi light windows.				

Location Map



Site Map (with photo key)



RESOURCE: 172 WEST STREET

TAX MAP/PARCEL: 576-003-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern commercial block	TBD
Structure	Brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick veneer	TBD
Roof	Gable covered in asphalt shingles	TBD
Chimneys	N/A	N/A
Dormers	Shed dormers on east and west roof-slopes with vinyl siding, and narrow flat wooden trim around faux-6/6 double-hung windows	TBD
Trim	Narrow, flat trim	TBD
Windows	Double-hung sash with applied grills to simulate 8/12 windows at the first floor and 6/6 at second	TBD
Doors	Modern glass panel paired commercial doors	TBD
Porches	Barrel-vaulted copper roofed entrance portico at north elevation of building supported by stout brick columns which extend above the roof and terminate in globular light fixtures	TBD
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Immature shrubs and perennial flower beds, parking area along west elevation	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Commercial artery/strip	
Integrity	Technically, the US Army Recruiting office at 172 West Street maintains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2010. It retains integrity of location, setting, design, materials, workmanship, feeling, and association as a modern commercial structure.	
Significance	The US Army Recruiting Office at 172 West Street is not eligible for the National Register of Historic Places as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change we have trouble discerning what are indeed “character-defining” features of a given architectural form and style. The determination of “character-defining” features and significance, therefore, will need to be re-evaluated in approximately 2060.	
National Register District Ranking	172 West Street is outside of the boundaries of the National Register Historic District	
Recommended Local Historic District Ranking	Non-contributing (age)	

RESOURCE: 172 WEST STREET

TAX MAP/PARCEL: 576-003-000



Photo No. 2	172 West St-2024-2.jpg	Date	June 19, 2024	Direction	Southeast
Notes	North and west elevations of the US Army Recruiting office at 172 West Street. Note barrel-vaulted roof over entrance portico that is covered in sheet copper and ball light finials above entrance roof.				

RESOURCE: 194 WEST STREET

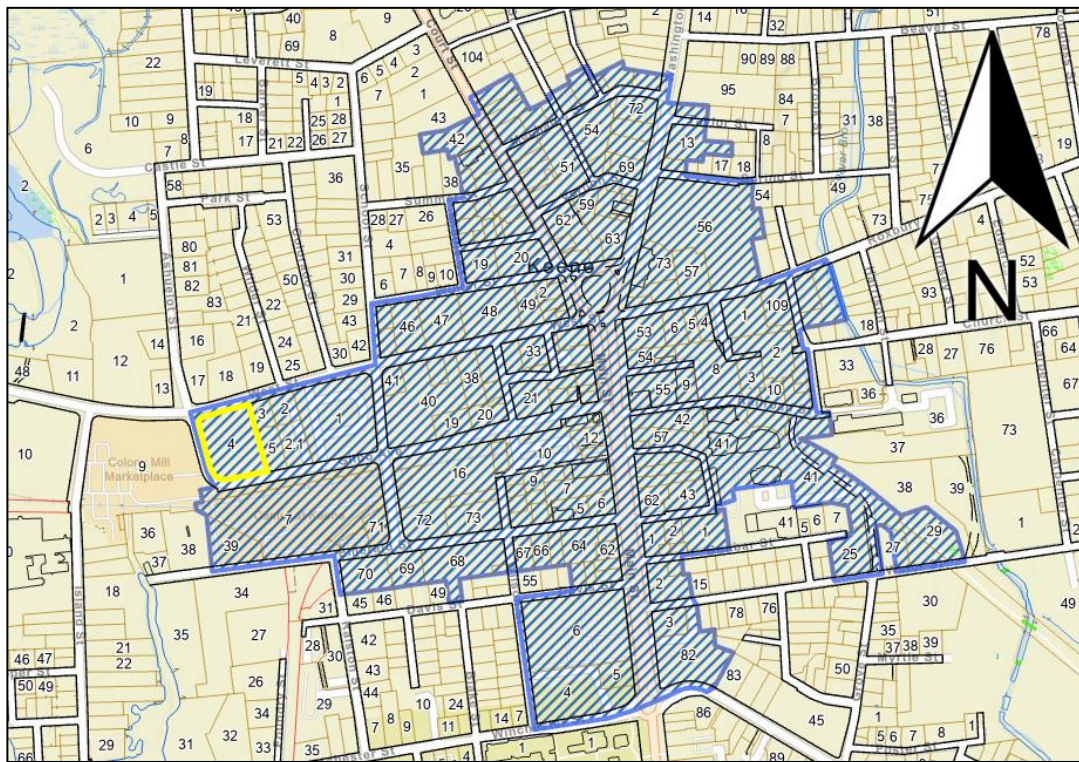
TAX MAP/PARCEL: 676-004-000

Historic name	TD Bank		Source	Sign	
Address	194 West Street		Current owner	Bank of New Hampshire	
Current Use	Commerce: Bank		Historic Use	Commerce: Bank	
Date Built	1972	Source	Tax Card	Style	Commercial: International
Architect	Unknown		Builder	Unknown	
Alterations	Green trim at roof of entry area added in 2020s				

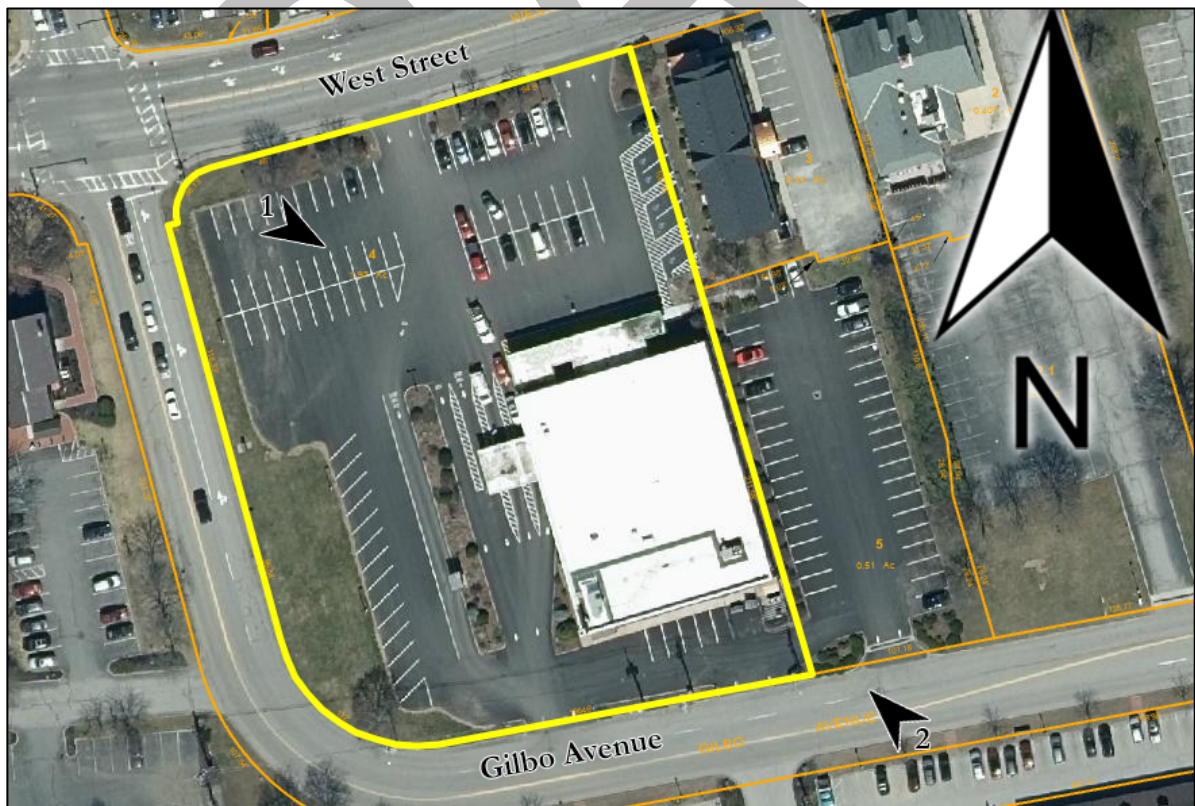


Photo No. 1	194 West St-2024-1.jpg	Date	June 19, 2024	Direction	Southeast
Notes	North and east elevations of the 1972 TD Bank building showing primary bank entrance at left and drive-through at right. Like the nearby People’s United Bank, the building has a long low form with exterior detail emphasizing horizontal lines. The centralized entrance is accessed through a recessed entry porch, with large plate-glass windows creating a light and open atrium at the building interior.				

Location Map



Site Map (with photo key)



RESOURCE: 194 WEST STREET

TAX MAP/PARCEL: 676-004-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Single-story International style financial institution	Y
Structure	Masonry: Concrete block with brick veneer	Y
Foundation	Poured concrete	N
Siding	Brick veneer	Y
Roof	Flat membrane	Y
Chimneys	Single exterior brick chimney located at southwest corner of building	Y
Dormers	N/A	N/A
Trim	Narrow flat metal trim	Y
Windows	Fixed plate-glass set in ribbons	Y
Doors	Glass and metal commercial doors	Y
Porches	N/A	N/A
Additions	N/A	N/A
Other	Two-lane drive-thru with flat awning roof	Y
Outbuildings	N/A	N/A
Landscape	Large open parking lot	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Commercial artery/strip
Integrity	Although the immediate area surrounding 194 West Street has continued to commercialize since the construction of the bank in the early 1970s and has, as a result, lost some integrity of setting, the bank building retains strong integrity of location, design, materials, workmanship, feeling, and association as an early 1970s international style commercial financial institution.
Significance	The TD Bank building retains strong integrity as an early 1970s international style financial institution and as such is likely significant under A for Commerce for its role in the financial history of the city and under C for Architecture as an example of an intact international style commercial building that retains character-defining features such as general form and massing, plain flat exterior façade and strong horizontal lines with banded fixed glass windows.
National Register District Ranking	194 West Street is outside of the National Register District
Recommended Local Historic District Ranking	Contributing Resource

RESOURCE: 194 WEST STREET

TAX MAP/PARCEL: 676-004-000



Photo No. 2	194 West St-2024-2.jpg	Date	June 19, 2024	Direction	Northwest
Notes	Rear elevations of bank (south and west) photographed from across Gilbo Avenue.				

RESOURCE: 149 EMERALD STREET

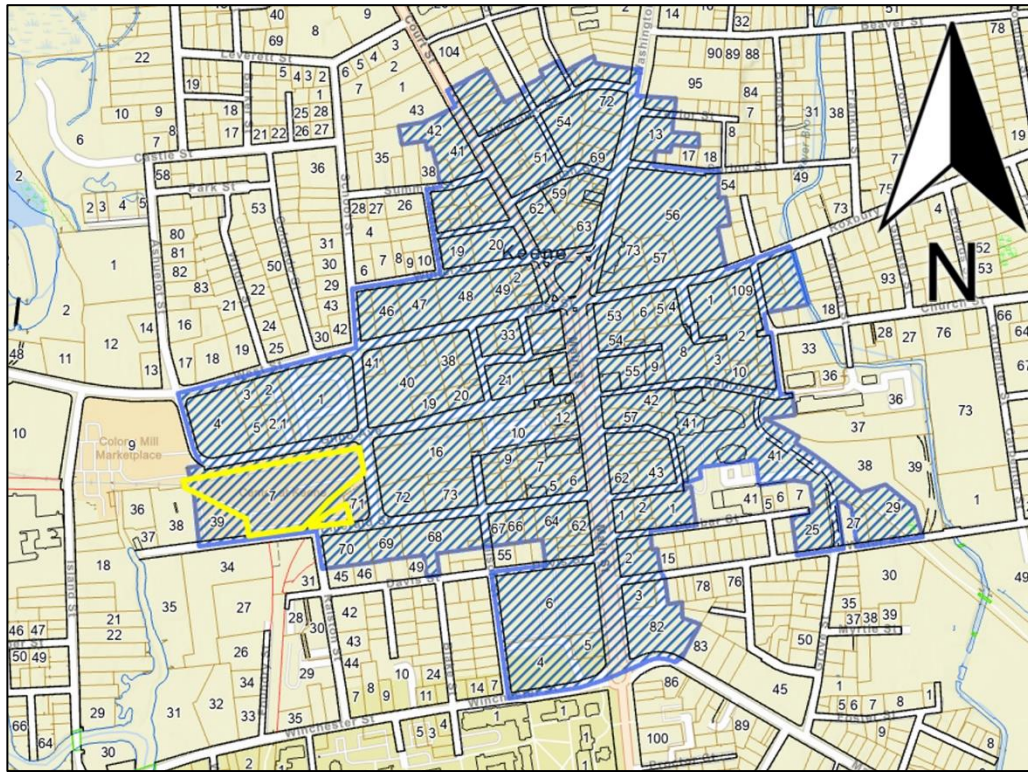
TAX MAP/PARCEL: 576-00-000

Historic name	Cheshire Railroad Repair Shops		Source	Research	
Address	149 Emerald Street		Current owner	149 Emerald Street Owner, LLC	
Current Use	Commercial: Retail Stores		Historic Use	Transportation: Rail Related	
Date Built	1866 (1984)	Source	Research	Style	Mid-19 th C. Commercial
Architect	Unknown		Builder	Unknown	
Alterations	In 1984, the modern shopping mall was built to encompass several surviving 1866 Cheshire Railroad Shop buildings. The original doors and windows were removed from the historic structures, and their eaves were extended to create protected walkways along the north side of the building. A large addition was constructed, adding a single-story addition to the south side of the structure, and extending it to the west.				

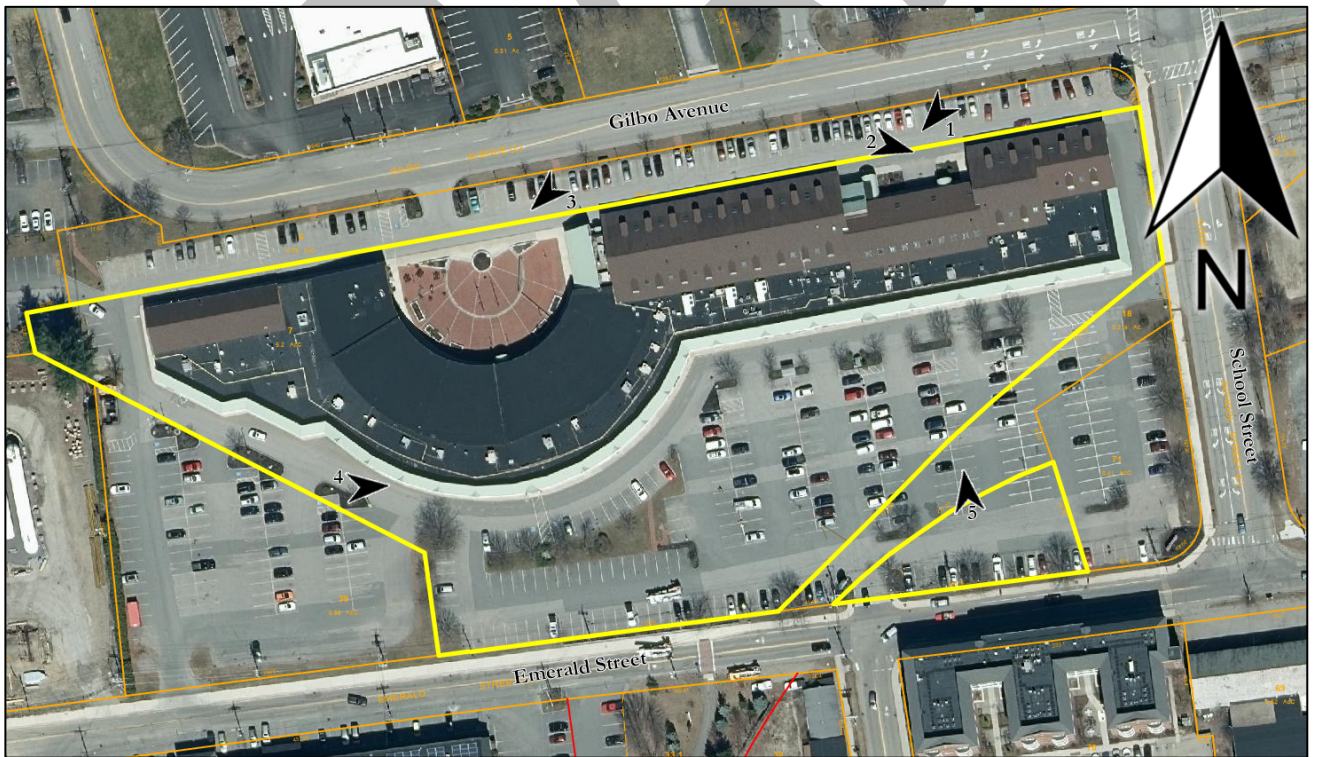


Photo No. 1	149 Emerald-2024-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	In 1984, the surviving Cheshire Railroad Locomotive Repair Shop, Black Smith & Mechanical Shop, Wood Work, and Car Repair Shops were incorporated into the east end of a large connected mini-mall. This image shows a modern entrance at the intersection of the Blacksmith and Locomotive repair shops.				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	The 1984 commercial shopping mall encapsulates and connects several of the surviving late 19 th century railroad buildings to create a single connected structure.	Y
Structure	Masonry	Y
Foundation	Granite (historic sections), poured concrete (modern)	Y
Siding	Brick	Y
Roof	Asphalt shingle (historic), membrane and standing seam (modern)	N
Chimneys	N/A	N/A
Dormers	Gable dormers with clapboard siding on historic section of east end of building	Y
Trim	Granite lintels (historic)	Y
Windows	Variant throughout: fixed sash & double-hung (historic); plate glass (modern)	N
Doors	Modern glass and metal	N
Porches	Modern entrance porticos with curved metal roofs at historic section; covered pedestrian walkways along south façade.	N
Additions	Large 1984 single-story addition along south side of historic buildings to create large connected shopping mall	TBD
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Large paved parking area dotted with trees and lamp posts; pocket perennial and shrub gardens planted against building	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Commercial artery/strip
Integrity	The historic (1866) railroad buildings that are incorporated into the mall at 149 Emerald Street have lost integrity as late 19 th century buildings with the modern (1984) renovation significantly altering the integrity of location, design, materials, workmanship, feeling and association with vast changes to the overall form of the structure, changes to doors and windows.
Significance	Though the surviving 1866 Cheshire Railroad shops may be considered to contribute to a local historic district, the extent of the 1984 rehabilitation of the site have led to a loss of sufficient integrity to contribute to a potential National Register Historic District. The 1984 changes, however, may be re-evaluated in the future (ca. 2034), as the Mill rehabilitation project may have significance in its own right as an example of 1980s adaptive reuse and for the potential character-defining features for a mall of this period (IE the covered walkways, large shop windows, surviving mansard roof, and materials used).
National Register District Ranking	149 Emerald St is outside of the National Register District
Recommended Local Historic District Ranking	Contributing Resource



Photo No. 2	149 Emerald-2024-2.jpg	Date	June 19, 2024	Direction	Southeast
Notes	<p>The historic connected wood working and car repair/erector’s shops at the eastern terminus of the mall retain several character-defining features from the historic period including overall form and massing, corbelled brick at the gable end, wood-clapboarded dormer windows along the north roof slope, and semi-circular arched fenestration (door and window) openings. The doors and windows along with the semi-circular awning over the entrance at the right side of the image (which leads into the historic Black Smith and Machine Shop) were added in 1984 when the original doors and windows were removed and the eaves were extended to shelter the new sidewalk. The the loss of original windows and doors represents some loss of integrity of design, materials, and workmanship to the Railroad era, however, the way in which the historic buildings were reused as part of the 1984 mini-mall and the features from that era may retain integrity to that era, as a late example of the “Mansard style” which was popular in commercial architecture from about 1960 through the late 1970s and as an example of mini-mall architecture.</p>				



Photo No. 3	149 Emerald-2024-3.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The historic Cheshire Railroad roundhouse is incorporated into this section of the mall, which was a very important feature of the railyard. This section of the building incorporates large semi-circular plate-glass windows into the historically open bays. A sheltered courtyard in the middle of the semi-circle was once occupied by the historic turntable.				



Photo No. 4	149 Emerald-2024-4.jpg	Date	June 19, 2024	Direction	East
Notes	<p>The south side of the shopping mall is purely modern construction, having been added onto the historic portion of the structure in 1984. The modern mini-mall is typically early to mid-1980s in style with a covered exterior pedestrian walkway and banded glass and metal shop windows at each storefront. The flat upper roof and standing-seam “mansard” along with semi-circular arched openings are also common features of commercial (mall) architecture form this period. Although too recent to be evaluated for National Register eligibility, these 1980s features may be evaluated in the future as representative of early- to mid-1980s design.</p>				

RESOURCE: 149 EMERALD STREET

TAX MAP/PARCEL: 576-00-000



Photo No. 5	149 Emerald-2024-5.jpg	Date	June 19, 2024	Direction	Northeast
Notes	The Center at Colony Mill mall as viewed from across the parking area off of Emerald Street to the south. The single-story structure in the foreground is the 1984 mini-mall addition, and the gable-roof visible beyond it is the south roof slope of the connected mid-19 th century Cheshire Railroad shops. Viewed from the south, the Mall is purely 1980s in design, whereas, from the north elevation one still read some of the important 19 th century history of the site in the existing, though heavily renovated, building.				



JAFrench, Photographer, Keene, NH

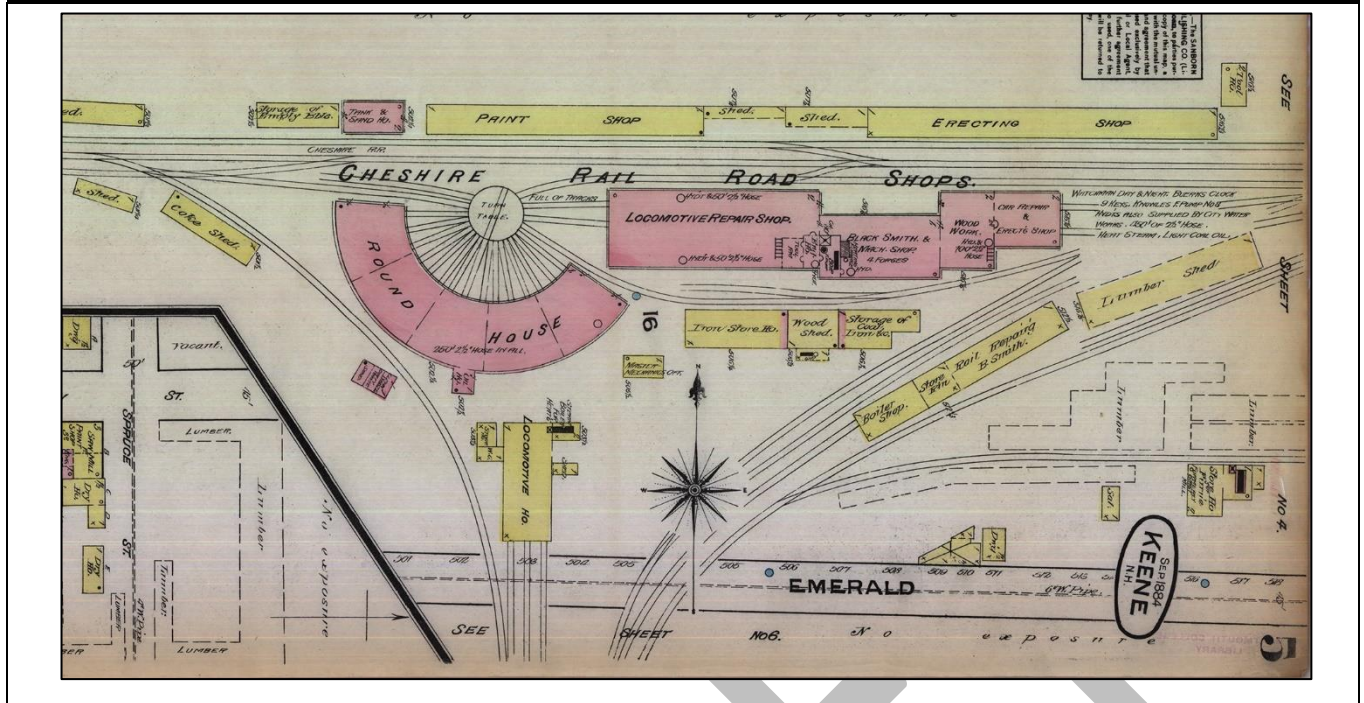
LOCOMOTIVE, "PETERBORO." AT KEENE ROUNDHOUSE

CRR, KEENE, NEW HAMPSHIRE, c. 1872.

Historic Photo 1	Cheshire Railroad Locomotive "Peterboro" at Keene Roundhouse, ca. 1870	Direction	Southeast
Notes	Stereographic view of a railroad locomotive in front of the Keene roundhouse taken by J. A. French in about 1870. At left is the west elevation of the Locomotive Repair Shop, and the Round House occupies the right background. The end of the Repair shop is currently hidden behind an early 1980s addition (Courtesy Keene Public Library/Historical Society of Cheshire County).		

RESOURCE: 149 EMERALD STREET

TAX MAP/PARCEL: 576-00-000



Historic Photo 2	1884 Sanborn Fire Insurance Map, Sheet 5	Direction	N/A
Notes	1884 Sanborn Fire Insurance Map of Keene, showing the Cheshire County Railroad shops, including the Round House and the connected buildings that now make up the east end of the Center at Colony Mill Shopping Center (IE: Locomotive Repair Shop, Blacksmith & Machine Shop; Wood Working Shop, and Car Repair/Erector's Shop). The insurance map also shows additional historic (although non-extant wood-frame buildings). (Dartmouth College, Digital Collections)		

RESOURCE: 149 EMERALD STREET

TAX MAP/PARCEL: 576-00-000

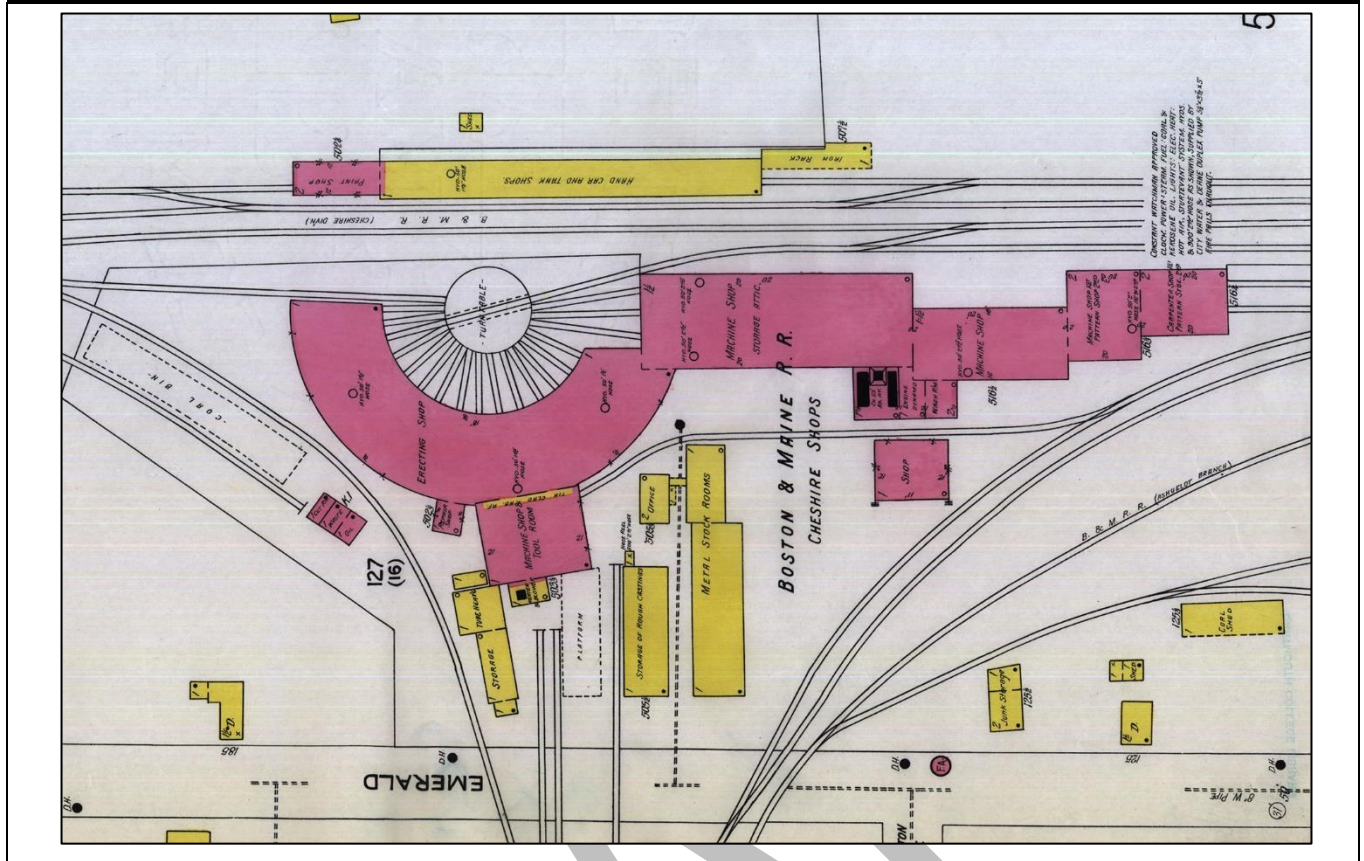


JURY'S RY. C.R.R. REPAIR SHOPS. MANUFACTORIES. IMPEI

Historic Photo 3	Cheshire RR Repair Shops.	Direction	West
Notes	Excerpt from the "Industries of Keene" showing the Cheshire Railroad repair shops that are incorporated into the east end of the Center at Colony Mill mall. Note that there was once a large chimney stack between the buildings that is no longer extant and that the eaves of the former Car Repair Shop were heavily extended in 1984 when the property was reimagined as a mini-mall (Keene Public Library)		



Historic Photo 4	Cheshire Railroad Repair Shops	Direction	West
Notes	Autoglyph print of the Cheshire Railroad repair shops, taken before 1886 by W. P. Allen of Gardner, Massachusetts. The brick buildings were built in 1866 and designed by master mechanic, Francis A. Perry. The shops started building locomotive sin 1868 (Keene Public Library).		



Historic Photo 5	1924 Sanborn Fire Insurance Map, Sheet 7	Direction	N/A
Notes	By 1924, the Boston & Maine Railroad were operating the shops, using the 1866 buildings as an Erecting Shop, Machine Shop, Machine Shop, Machine/Pattern Shop, and Carpenter's Shop. Note that there was a small brick structure at the south side that incorporated a large chimney stack that is no longer present.		

RESOURCE: 120 EMERALD STREET

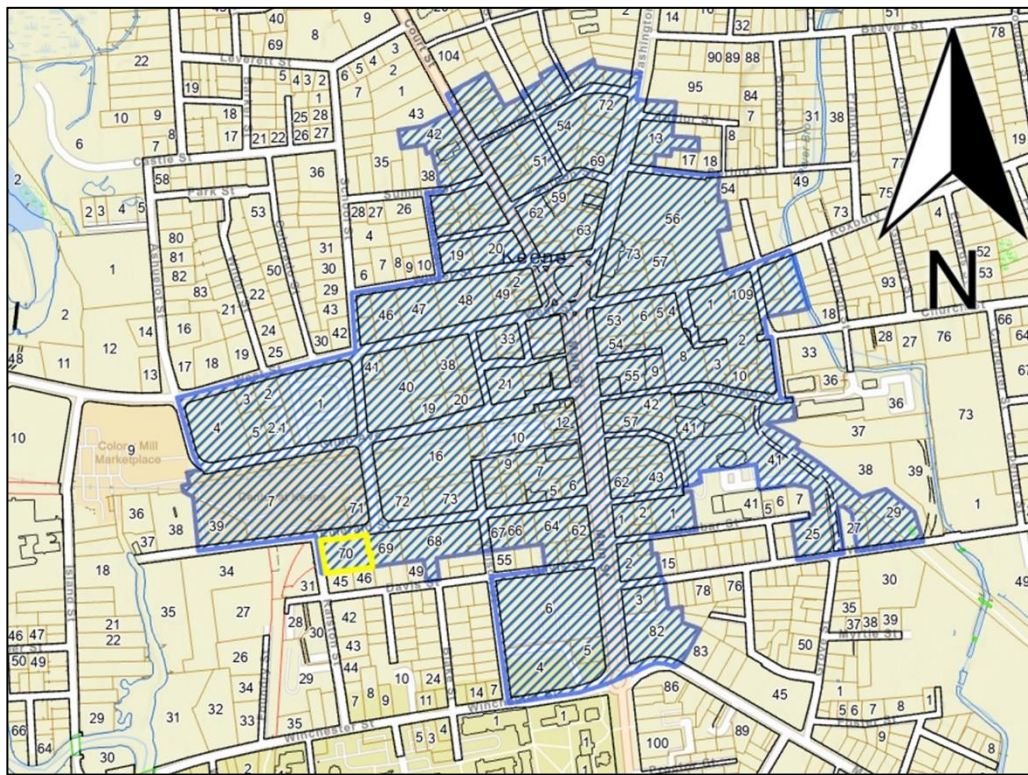
TAX MAP/PARCEL: 584-070-000

Historic name	N/A		Source	N/A	
Address	120 Emerald Street		Current owner	120 Emerald Street LLC	
Current Use	Domestic: Multiple Dwelling		Historic Use	N/A	
Date Built	2012	Source	Tax Card	Style	Neo-Traditional
Architect	Unknown		Builder	Unknown	
Alterations	Modern Arcadia Hall four-story apartment block on site of former Dun & Salisbury Chair Factory, which was constructed in ca. 1887.				

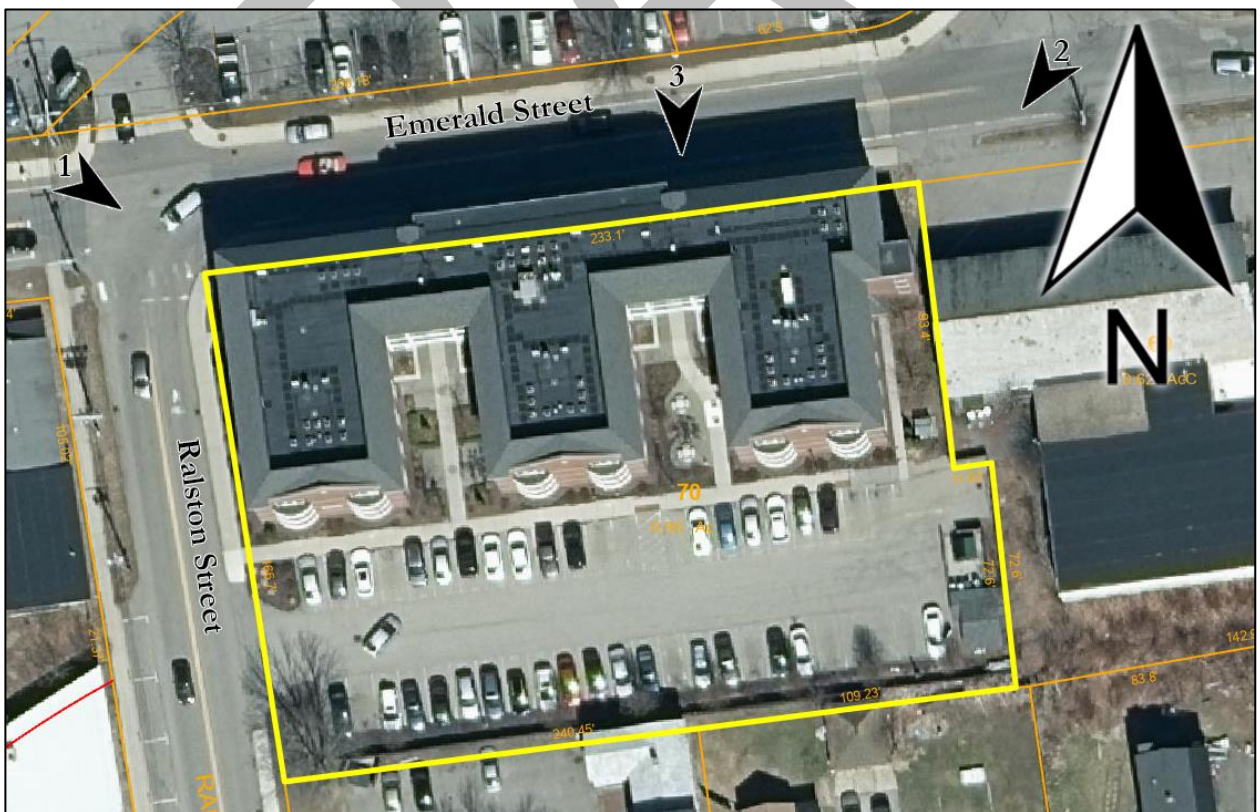


Photo No. 1	Arcadia2024-1.jpg	Date	June 19, 2024	Direction	Southeast
Notes	North (primary façade) and east elevations of the modern apartment block at Arcadia Hall. Note that the building appears to have a mansard roof, however the lower slope of the “mansard” serves as a parapet to hide mechanical fixtures set onto the flat roof of the building.				

Location Map



Site Map (with photo key)



RESOURCE: 120 EMERALD STREET

TAX MAP/PARCEL: 584-070-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern commercial	TBD
Structure	Wood frame with brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick veneer	TBD
Roof	False mansard/parapet roof covered in asphalt shingles on slope and membrane on flat section	TBD
Chimneys	N/A	N/A
Dormers	2 faux dormers at façade hiding mechanical units	N
Trim	Narrow, flat vinyl	TBD
Windows	Double-hung with applied grills to simulate true divided light sash	TBD
Doors	Metal and glass with applied grills	TBD
Porches	Narrow semi-circular porches at 4 th floor, rear (south) elevation	TBD
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Immature trees/shrubs, large paved parking area	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Developing mixed-use neighborhood/commercial strip	
Integrity	Technically, the modern apartment block at 120 Emerald St retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2012. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.	
Significance	120 Emerald Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2062.	
National Register District Ranking	Outside of National Register District	
Recommended Local Historic District Ranking	Non-contributing (age)	

RESOURCE: 120 EMERALD STREET

TAX MAP/PARCEL: 584-070-000



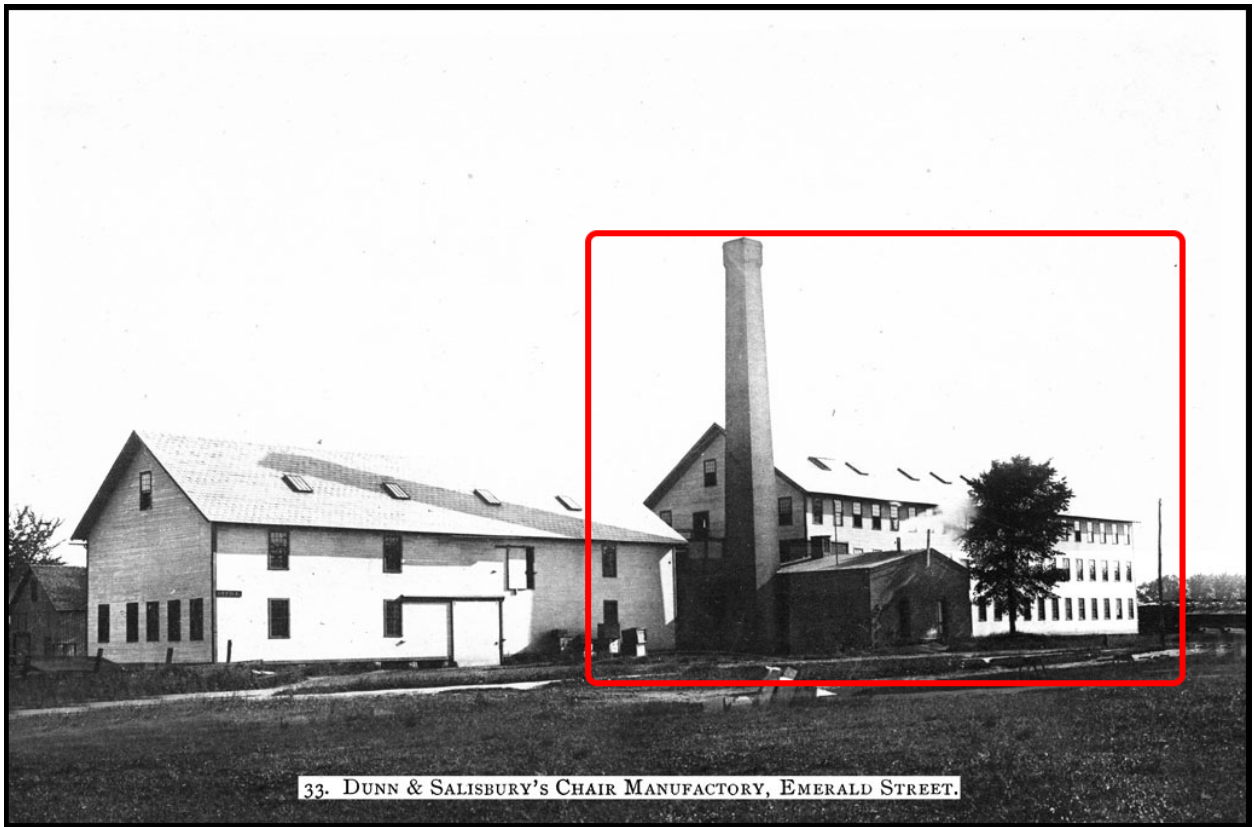
Photo No. 2	Arcadia2024-2.jpg	Date	June 19, 2024	Direction	Southwest
Notes	North and east elevations of Arcadia Hall apartment block with egress stairs at approximate site of former Dunn & Salisbury industrial chimney. Note flat exterior walls decorated by concrete belt courses at each floor level of the building.				

RESOURCE: 120 EMERALD STREET

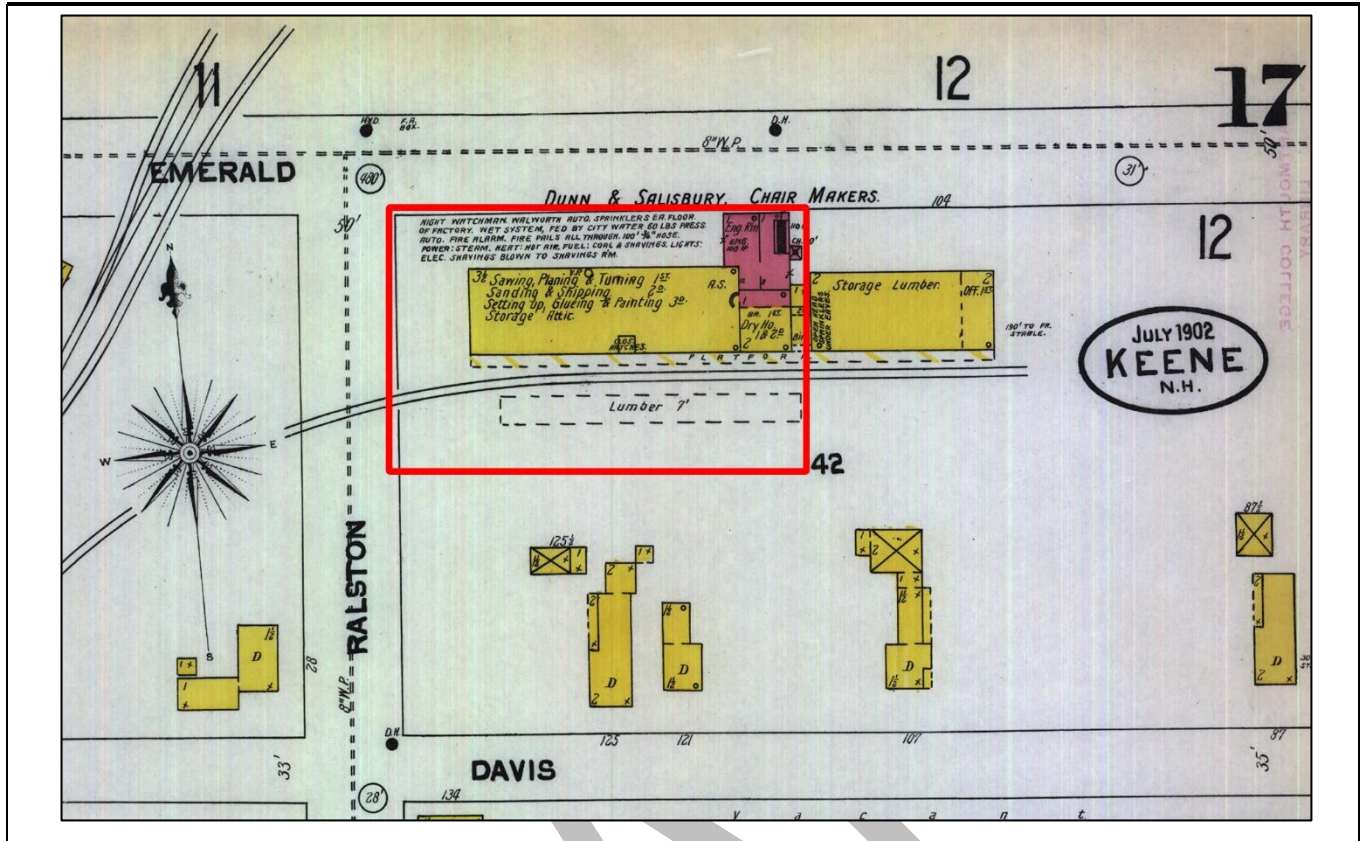
TAX MAP/PARCEL: 584-070-000



Photo No. 3	Arcadia2024-3.jpg	Date	June 19, 2024	Direction	South
Notes	Detail of Emerald Street entrance showing molded concrete above door that mimics the Art Deco Style, glad brick walls, concrete window sills, and applied grills at the windows of apartments and entrance doors.				



Historic Photo 1	Dunn & Salisbury's Chair Manufactory, ca. 1900	Direction	Southwest
Notes	The Dunn & Salisbury Chair Factory was originally constructed in ca. 1887 as a large connected wood-framed building at the corner of Emerald and Ralston Streets with a high brick chimney and attached gable-front brick engine room (Photo Courtesy Keene Public Library).		



Historic Photo 2	1902 Sanborn Fire Insurance Map, Sheet 17	Direction	N/A
Notes	The site now occupied by Arcadia Hall housed the sawing, planing and turning on the first floor; sanding & shipping on the second; and setting up, gluing & painting on the third as illustrated by the July 1902 Sanborn Fire Insurance Map of Keene, Sheet 17 (Dartmouth College Digital Collections). This building was torn down between 2009-2021.		

RESOURCE: 104 EMERALD STREET

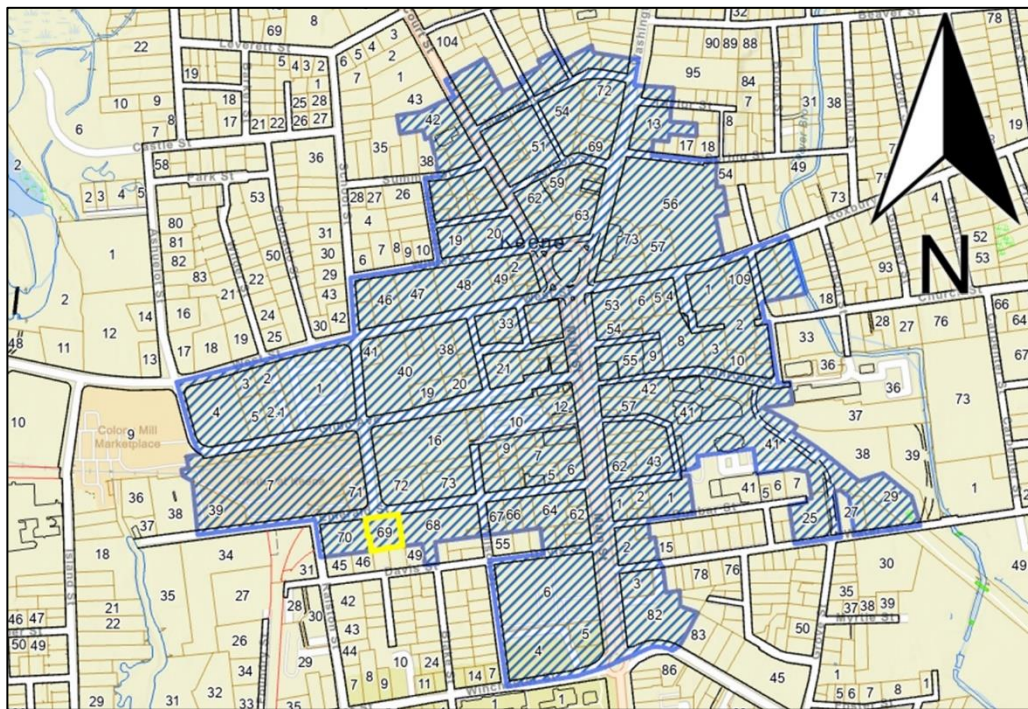
TAX MAP/PARCEL: 584-069-000

Historic name	Dunn & Salisbury Lumber Building		Source	Research	
Address	104 Emerald Street		Current owner	RK Parisi Enterprises, Inc.	
Current Use	Commercial: Retail Store		Historic Use	Commercial: Warehouse/Storage	
Date Built	Ca. 1900	Source	Research	Style	Vernacular
Architect	Unknown		Builder	Unknown	
Alterations	The fenestration of the former lumber storage building at 104 Emerald Street has been heavily altered with all second-floor windows removed, primary entrance moved, and additional first-floor window openings added. A ramped entrance porch was added in the 20 th century to the new entry door. All windows have been replaced, and the original wooden clapboard siding covered with vinyl.				

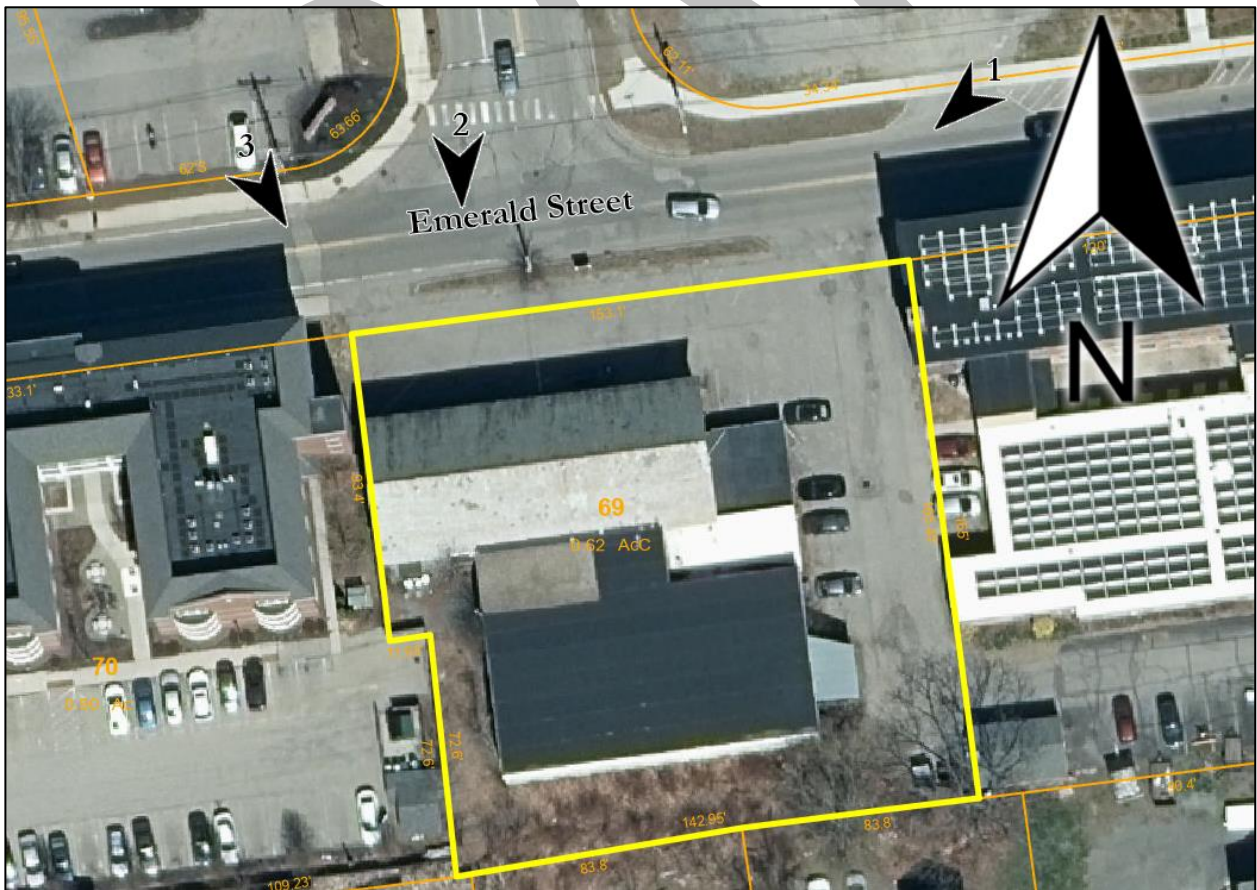


Photo No. 1	104 Emerald-2024.1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The historic Dunn & Salisbury lumber storage and office building was constructed around the turn of the 20 th century and was home to Keene Industrial Paper Company in the early 21 st century.				

Location Map



Site Map (with photo key)



RESOURCE: 104 EMERALD STREET

TAX MAP/PARCEL: 584-069-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Side-gabled vernacular industrial storage building	Y
Structure	Wood-frame	Y
Foundation	Poured concrete	N
Siding	Vinyl (T-111 on east elevation)	N
Roof	Side-gable roof covered in slate roofing with open rake and exposed rafter-tails	Y
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Narrow, flat wood	Y
Windows	Modern replacement 1/1 double-hung sash	N
Doors	Glass metal commercial doors	N
Porches	Modern ramped entry porch, added 20 th century	N
Additions	Single-story early 20 th century wood-framed addition at southwest corner of main block with low-sloped gable roof (covered in asphalt shingles); late 20 th century concrete block addition with flat roof attached	N
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Asphalt parking area	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Developing mix-use road	
Integrity	The former lumber storage building at 104 Emerald St retains integrity of location and some integrity of setting, despite the loss of associated industrial buildings. The building has some integrity of design, having maintained the historic general form and massing despite changes to the building fenestration (location of doors and windows). Though some integrity of materials has been lost with the replacement windows and siding, other character-defining features such as the slate roof have been retained, leading to some integrity of workmanship. Because of the location with other surviving industrial buildings and these key features, the building retains some integrity of feeling and association.	
Significance	Although 104 Emerald Street does not retain significant integrity to individually qualify for either the State or National Registers, it may retain significant character-defining features to contribute to a district nomination for its role in the industrial history of Keene, especially as the only surviving element of the Dunn & Salisbury company.	
National Register District Ranking		104 Emerald Street is outside of National Register District
Recommended Local Historic District Ranking		Contributing Resource

RESOURCE: 104 EMERALD STREET

TAX MAP/PARCEL: 584-069-000



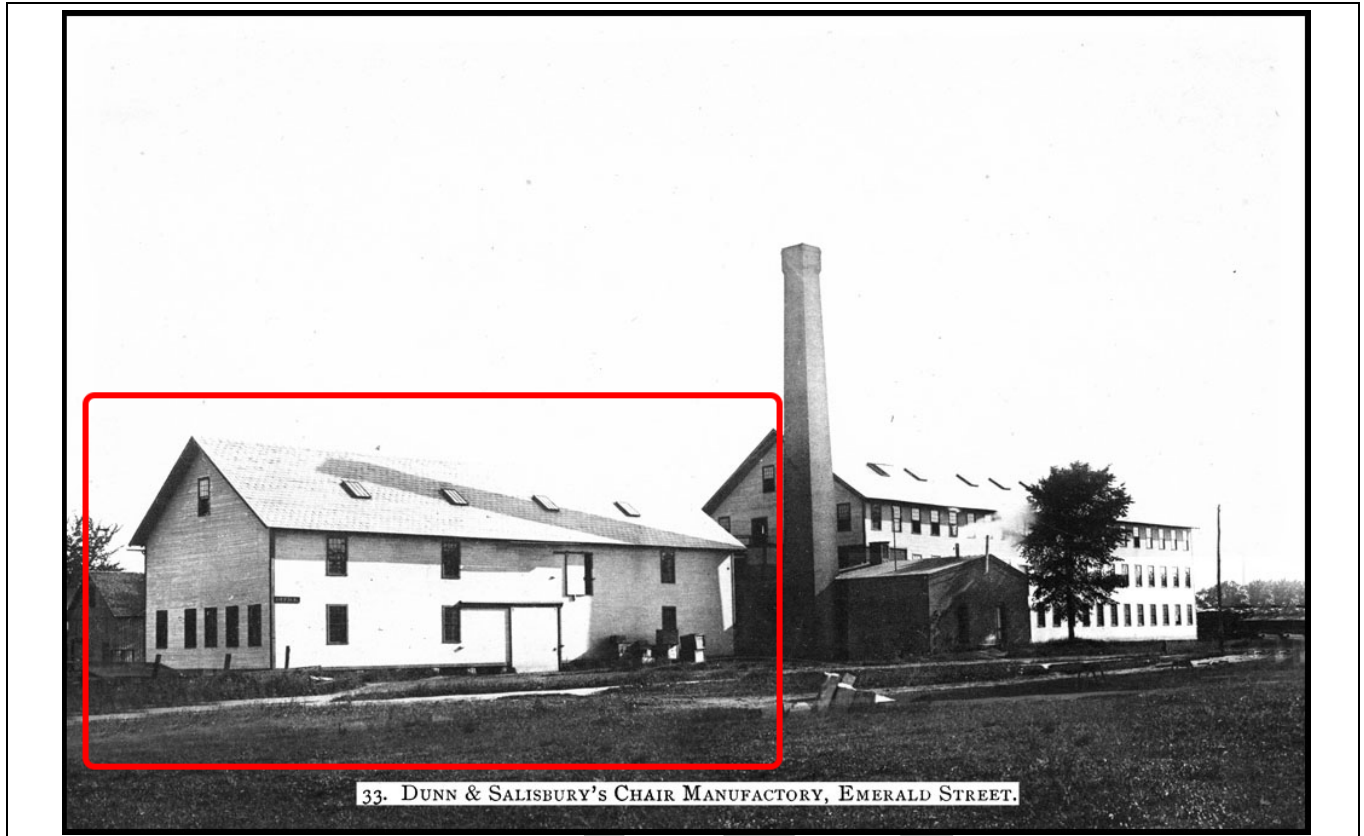
Photo No. 2	104 Emerald-2024-2.jpg	Date	June 19, 2024	Direction	South
Notes	Though the wooden clapboard exterior was covered in vinyl siding, the original slate roof with exposed rafter-tails remains to show the previous use as simply constructed and fire-resistant industrial storage building.				

RESOURCE: 104 EMERALD STREET

TAX MAP/PARCEL: 584-069-000



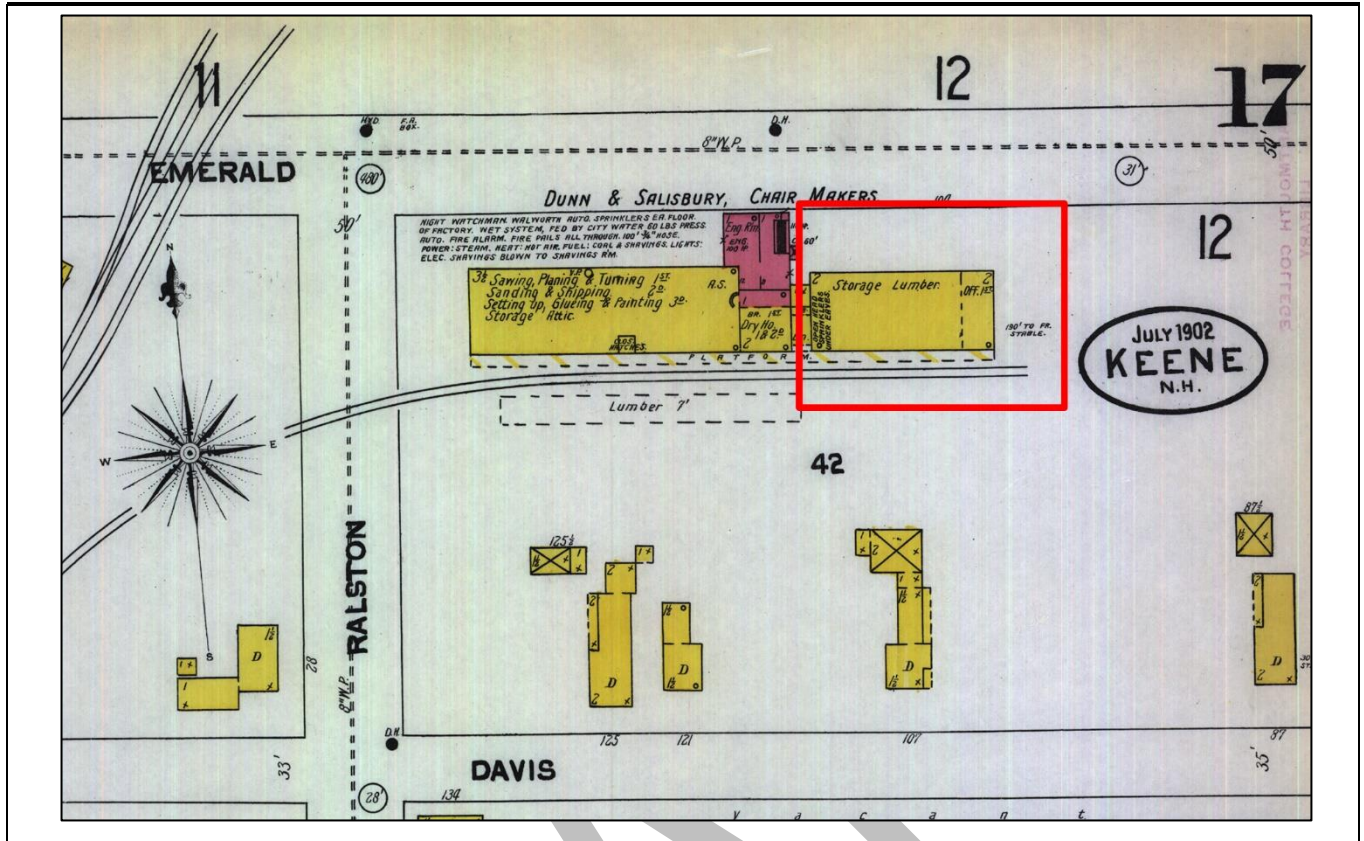
Photo No. 3	104 Emerald-2024-3.jpg	Date	June 19, 2024	Direction	Southeast
Notes	Another view of the north (primary) elevation of the former Dunn & Salisbury lumber storage building.				



Historic Photo 1	Dunn & Salisbury's Chair Manufactory	Direction	Southwest
Notes	The Dunn & Salisbury Chair Factory was originally constructed in ca. 1887 as a large connected wood-framed building at the corner of Emerald and Ralston Streets with a high brick chimney and attached gable-front brick engine room. Sometime between the 1892 Hurd Map and the 1902 Sanborn Fire Insurance Map, the large wood-framed warehouse (now 104 Emerald Street) was constructed (Photo Courtesy Keene Public Library).		

RESOURCE: 104 EMERALD STREET

TAX MAP/PARCEL: 584-069-000



Historic Photo 1	1902 Sanborn Fire Insurance Map, Sheet 17	Direction	N/A
Notes	The site now occupied by 104 Emerald Street housed the lumber storage and offices of the Dunn & Salisbury Chair factory in July 1902 (Dartmouth College Digital Collections). A modern storage building, by this time the two-story structure was fitted with sprinklers under the eaves.		

RESOURCE: 80-100 EMERALD STREET

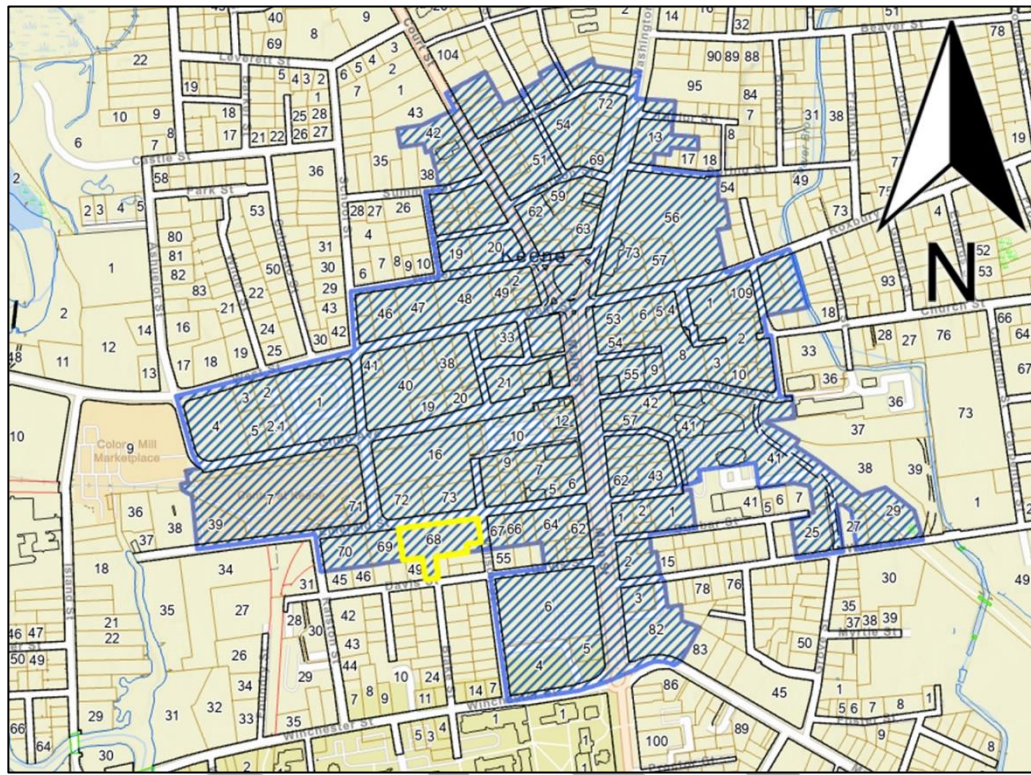
TAX MAP/PARCEL: 584-068-000

Historic name	Rawson Turning Factory		Source	1913 Sanborn Map	
Address	80-100 Emerald Street		Current owner	Mitchell H. Greenwald Revocable Trust	
Current Use	Mixed: Commercial/Multiple Dwelling		Historic Use	Industry: Manufacturing Facility	
Date Built	1912	Source	Plaque	Style	Commercial
Architect	Unknown		Builder	Unknown	
Alterations	<p>When it was constructed in 1912, the building at what is now 80-100 Emerald Street consisted just of the 15 by 4 bay brick main block. By 1924 a large single-story brick addition had been constructed off of the back of the building. As the use of the building changed, so did some of the exterior features: original windows and doors have been lost, and there have been changes to the rear addition, particularly at the site of the present laundromat. Solar panels have recently been added to the roof, but are not visible from the ground-level. Over time, sections of this early 20th century addition were removed, creating the building footprint that we see today.</p>				



Photo No. 1	80 Emerald St-2024.1.jpg	Date	June 19, 2024	Direction	Southeast
Notes	<p>North and west elevations of former Rawson Turning Factory building. Note the evenly-spaced large windows to provide natural lighting to the interior of the factory building. The exterior architectural ornamentation is minimal (note eave ornamentation and rusticated granite window sills) as is typical of an industrial building of the early 20th century</p>				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Early 20 th century industrial block with subservient additions	Y
Structure	Masonry with brick veneer	Y
Foundation	Unknown (below grade), likely poured concrete	N
Siding	Brick	Y
Roof	Flat, rolled composition	Y
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Rusticated granite sills, curved brick lintels	Y
Windows	1/1 modern replacement	N
Doors	Modern glass panel commercial doors	N
Porches	N/A	N/A
Additions	Single-story brick addition ca. 1920	Y
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Mature trees, large asphalt parking lot	N

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Developing mixed-use road	
Integrity	80 Emerald Street retains mixed overall integrity: It retains strong integrity of location, however recent development and loss of the accompanying industrial buildings has led to some loss of integrity of setting. The building retains overall integrity of design, retaining overall form and massing, exterior brick walls, and historic fenestration, but has lost some integrity of design, materials, and workmanship with the loss of original doors and windows and historic outbuildings. Overall the building retains some integrity of feeling and association, as the main block still reads as a factory building from the primary façade.	
Significance	Although the former Rawson Turning Factory does not retain sufficient integrity to be individually eligible for the National Register of historic places, it still retains sufficient integrity to contribute to an historic district under criterion A for its role in the industrial history of Keene.	
National Register District Ranking	80-100 Emerald Street is outside National Register District boundary	
Recommended Local Historic District Ranking	Contributing resource	



Photo No. 2	80 Emerald St-2024-2.jpg	Date	June 19, 2024	Direction	Southeast
Notes	Note evenly-spaced large windows to allow natural light into interior of factory building combined with simple architectural details befitting a utilitarian early 20 th century structure .				

RESOURCE: 80-100 EMERALD STREET

TAX MAP/PARCEL: 584-068-000



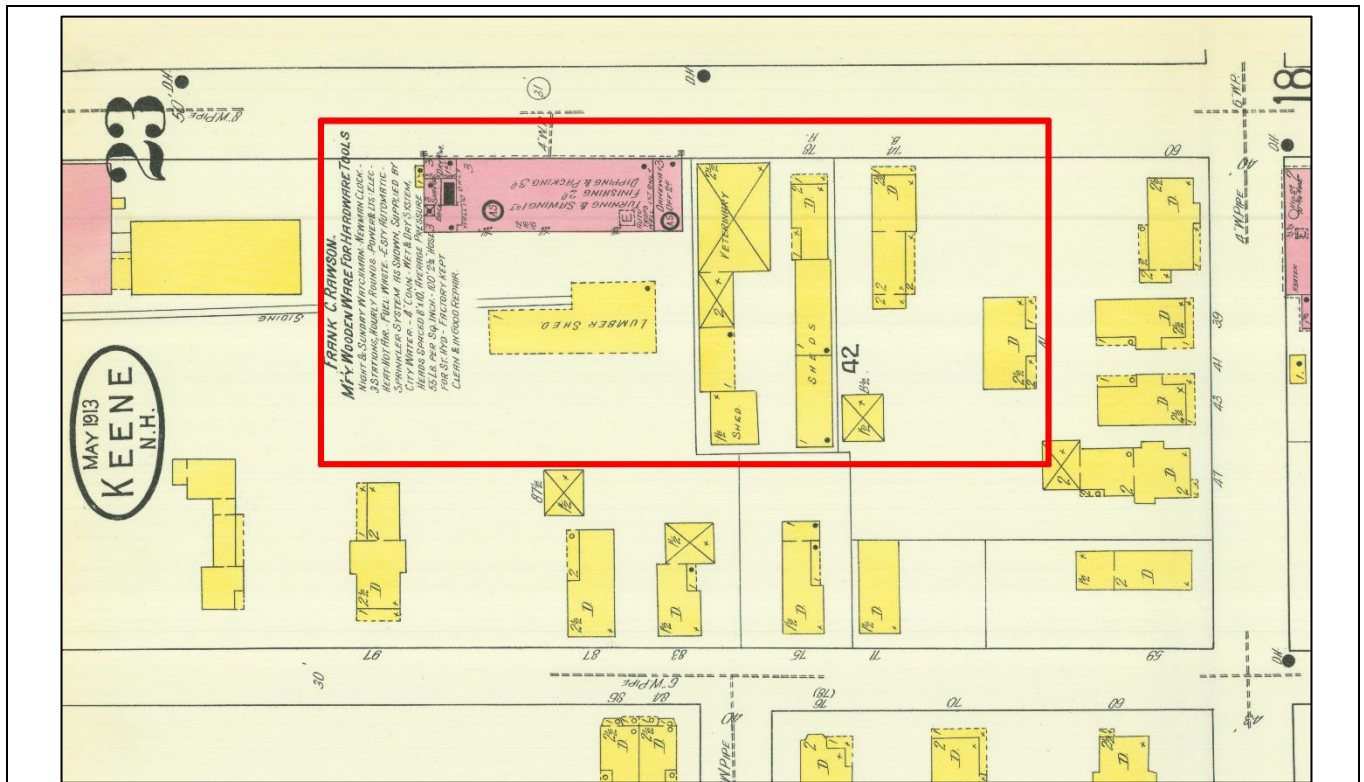
Photo No. 3	80 Emerald St-2024-3.jpg	Date	June 19, 2024	Direction	South
Notes	Detailed photograph of the north elevation (primary façade) of the Rawson building showing the carved granite block with the date “1912” at the center of the façade. Note the rusticated stone window sills and exposed rafter-tails at the open eaves of the building as well as the historic cast-iron ventilation cover between the first-floor windows.				

RESOURCE: 80-100 EMERALD STREET

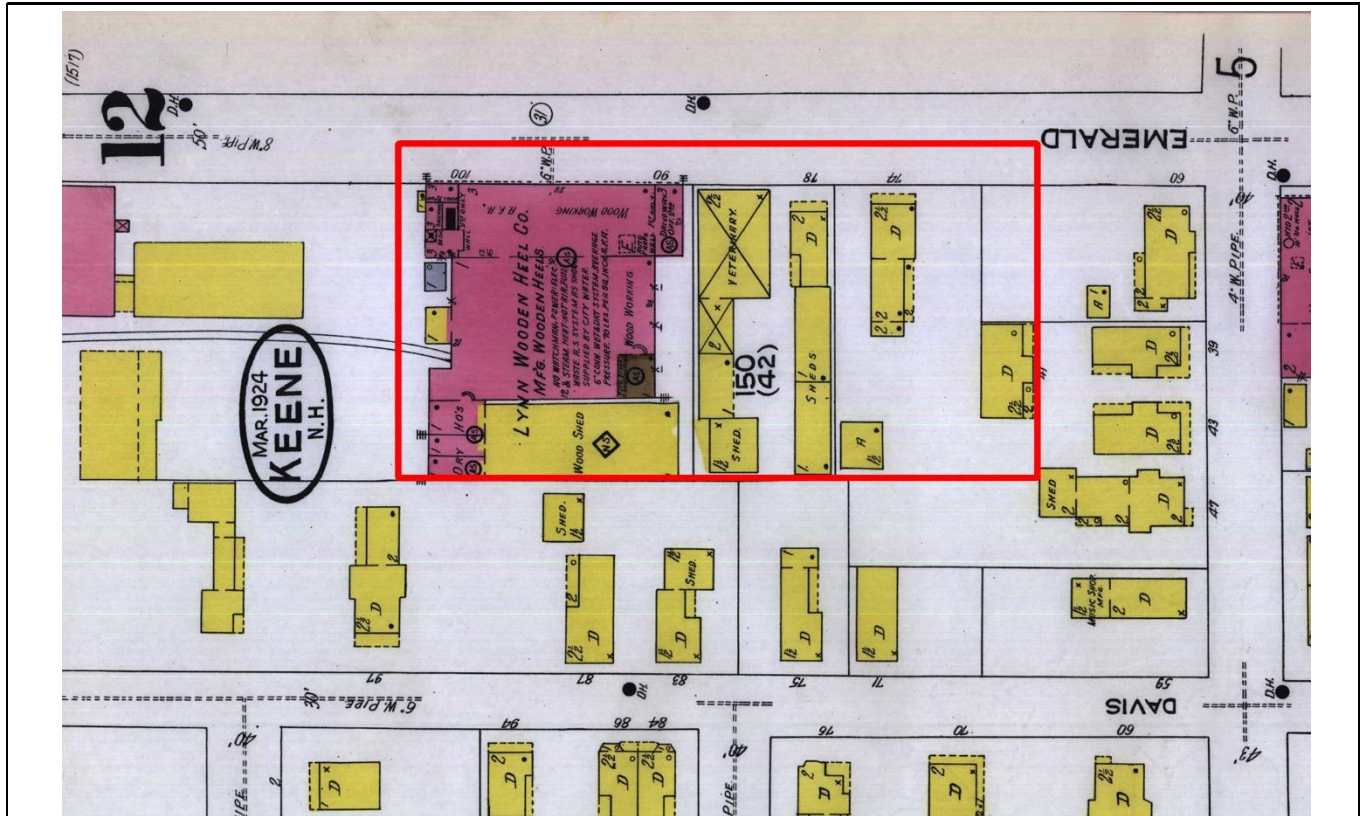
TAX MAP/PARCEL: 584-068-000



Photo No. 4	80 Emerald St-2024-4.jpg	Date	June 19, 2024	Direction	East
Notes	View of ca. 1920 single-story brick addition behind modern laundromat addition from across parking area.				



Historic Photo 1	May 1913 Sanborn Fire Insurance Map, Sheet 23	Direction	N/A
Notes	<p>In May 1913, the main block of what is now Emerald Court was identified as the Frank C. Rawson Manufacturer of Wooden Ware for Hardware, Tools. The brick building housed the turning and sawing on the first floor; finishing on the second; and dipping and packing on the third. It had electric power and lights, hot air heat, and an Esty Automatic Sprinkler System with wet and dry system heads spaced an average of 8-10' apart. Note a detached wood-framed lumber shed in the rear of the building (where the later addition sits) and several wood-framed residences (one of which is identified as a veterinary practice) in the area now occupied by the large asphalt parking lot.</p>		



Historic Photo 2	March 1924 Sanborn Fire Insurance Map, Sheet 12	Direction	N/A
Notes	<p>By 1924, a large single-story brick addition was constructed off of the rear elevation of the original Rawson building to connect to the formerly free-standing lumber storage building. By this time, the building housed the Lynn Wooden Heel Co., a manufacturer of wooden shoe heels for ladies' shoes. In 1935, the building was purchased by Colley B. and Eli Court and run as the Keene Wood Heel Co. through the 1960s while Lynn Heel Co. relocated to Railroad Street.</p>		

RESOURCE: 43 WILSON STREET

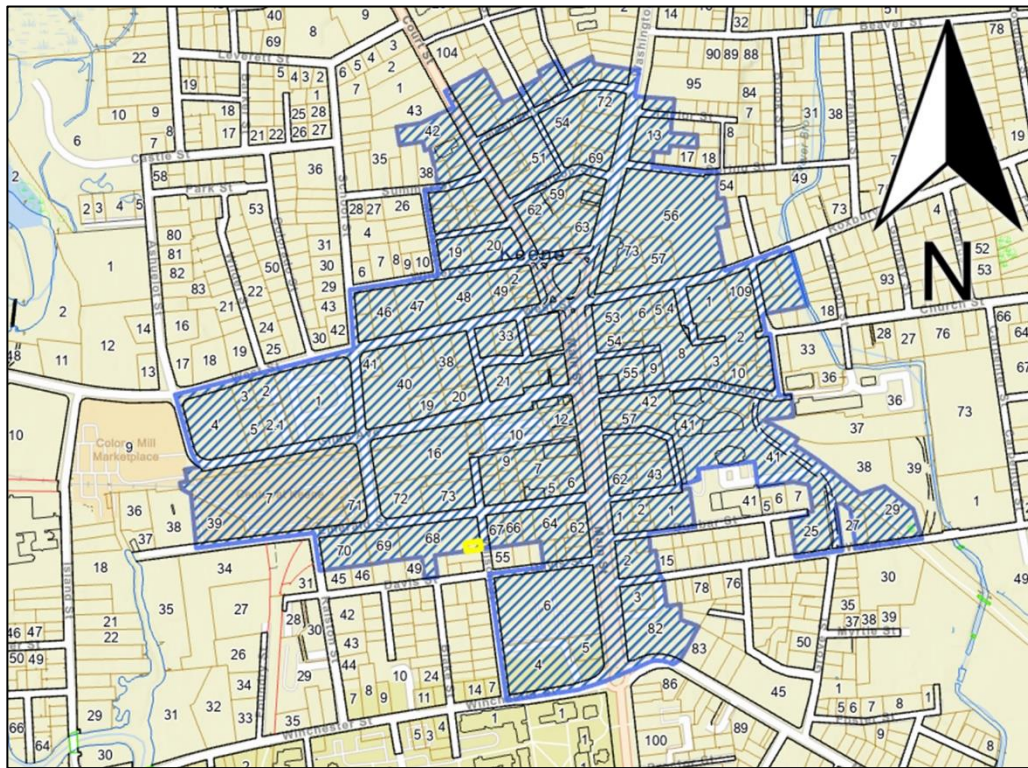
TAX MAP/PARCEL: 584-054-000

Historic name	Gates House		Source	1892 Hurd Map, Ward 5	
Address	43 Wilson Street		Current owner	Donna J. Forte	
Current Use	Dwelling: Multiple Dwelling		Historic Use	Domestic: Single Dwelling	
Date Built	1890	Source	Tax Card	Style	Late Victorian
Architect	Unknown		Builder	Unknown	
Alterations	Single-family dwelling sub-divided to create duplex, porch railing and windows replaced, late 20 th century.				



Photo No. 1	43 Wilson St-2024-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	The former Gates house retains character-defining historic features such as general form and massing, historic slate roof, historic wooden clapboard siding, fenestration (door and window) locations, historic brick chimney, turned porch columns and plug-split granite posts at the corners of the lot. All of these features are fairly typical for a middle-class suburban home of the late 19 th century.				

Location Map



Site Map (with photo key)



RESOURCE: 43 WILSON STREET

TAX MAP/PARCEL: 584-054-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Late Victorian side-hall	Y
Structure	Wood-frame	Y
Foundation	Brick	Y
Siding	Wooden clapboard	Y
Roof	Cross gable, covered slate shingles (asphalt for porches)	Y
Chimneys	Brick chimney at south roof slope	Y
Dormers	Cross gable two-story wall-dormer at south side	Y
Trim	Wide-flat trim which is infilled to allow for smaller window openings to accommodate modern replacement vinyl sash. Simple eave returns at gable ends and wide flat cornice appear to be historic features.	Y/N
Windows	Double-hung, 1/1 (vinyl) with a few historic double-hung 2/2 sash at second-floor	N
Doors	Modern simulated divided light glass and panel door	N
Porches	Two-sided open porch with historic turned wooden columns. Modern dimensional lumber porch railing added between historic columns and connected to replacement hand-rail at entrance steps.	Y/N
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Mature tree at corner of lot, granite post at front corners of lot	Y

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Developing mixed-use neighborhood	
Integrity	Situated just at the intersection of a domestic neighborhood and mixed-use developing area, the house at 42 Wilson St retains integrity of location and setting. The overall design of the house is quite typical of a late Victorian home, and the building retains strong integrity of design. Despite some loss of integrity of materials and workmanship due to replacement windows and recent alterations to the porch, the house retains strong integrity of feeling and association.	
Significance	Although 43 Wilson Street does not retain sufficient integrity to be individually listed to the National Register, it retains sufficient integrity to contribute to an historic district for its significance as an example of Queen Anne domestic architecture and for its role in community planning and development as part of a Keene domestic neighborhood.	
National Register District Ranking	43 Wilson Street is located outside of the National Register Historic District	
Recommended Local Historic District Ranking	Contributing resource	

RESOURCE: 31 VERNON STREET

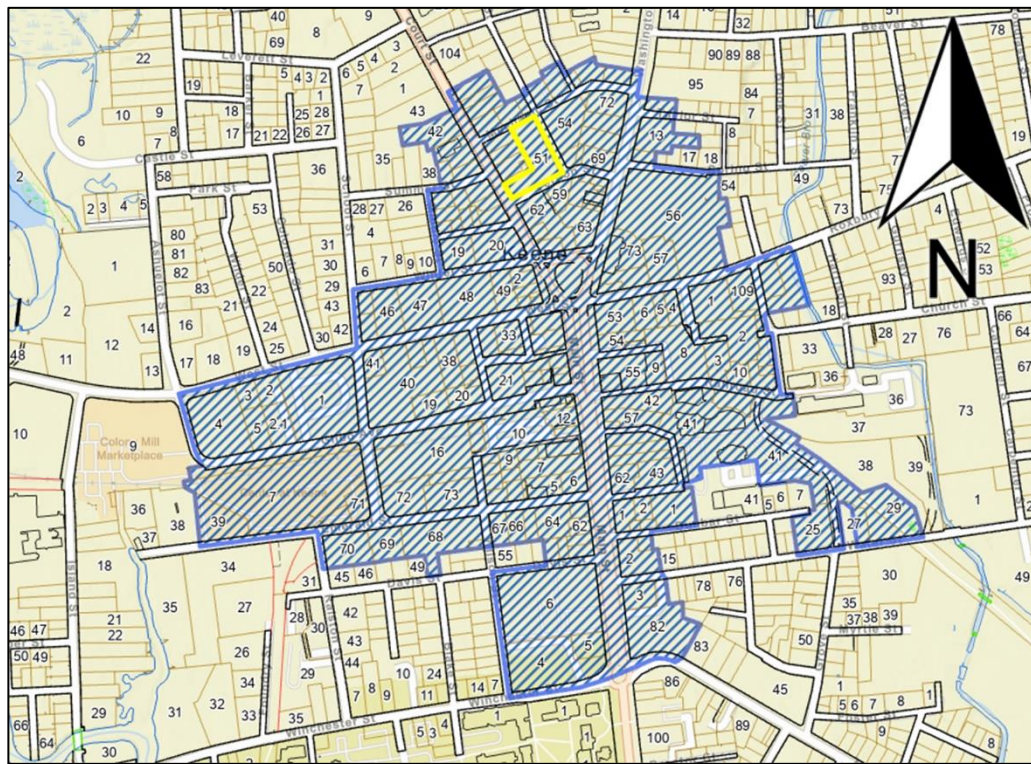
TAX MAP/PARCEL: 568-051-000

Historic name	N/A		Source	N/A	
Address	31 Vernon Street		Current owner	City of Keene	
Current Use	Government: Fire Station		Historic Use	N/A	
Date Built	2012	Source	Sign/Tax Card	Style	Modern Commercial
Architect	Northern Architects Collaborative		Builder	Baybutt Construction Corp.	
Alterations	New Keene City Fire Station constructed on what was previously a 153-space parking area in 2012.				



Photo No. 1	31VernonSt-1.jpg	Date	June 19, 2024	Direction	Northeast
Notes	The construction of the modern fire station began in June 2011. The new 28,000 square-foot facility replaced the former 15,000 square-foot station, which was constructed in 1885. The new building has a fire-resistant masonry core with brick veneer and uses decorative bricklaying techniques to mimic the corbelling of many late 19 th century fire-station design.				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern commercial fire station consisting of a large main block with rear elevator/stair tower, attached multi-bay garage, and corner fire-hose tower.	TBD
Structure	Masonry with brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick, both traditional red brick and rusticated “stone” accents	TBD
Roof	Flat, membrane	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Rusticated granite exterior wainscot belt-course interesting with first-floor window sills, first-floor granite lintels above windows, decorative granite keystones at second-floor level, and decorative brick patterns to create the illusion of texture in the flat exterior walls	TBD
Windows	Mixed with predominantly 6 panel fixed windows throughout	TBD
Doors	Modern glass and metal two panel doors	TBD
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Paved parking lots, metal & granite fence; immature trees/shrubs	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Downtown business district
Integrity	Technically, the Keene Fire Station at 31 Vernon Street retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2012. It retains integrity of location, setting, design, materials, workmanship, feeling and association as a modern structure.
Significance	The modern fire station at 31 Vernon Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change we have trouble discerning what are indeed “character-defining” features of a given architectural form and style. The determination of “character defining” features and significance, therefore, will need to be re-evaluated in approximately 2062.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)

RESOURCE: 31 VERNON STREET

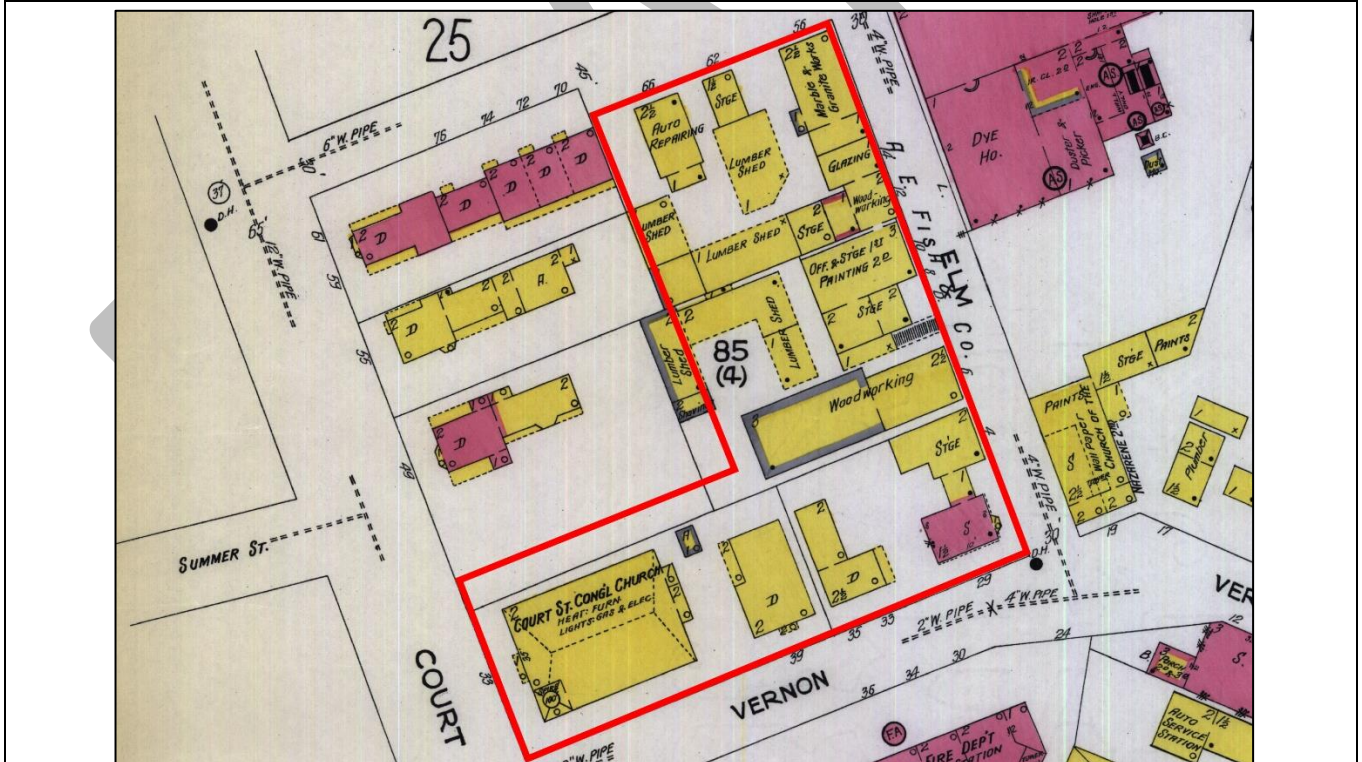
TAX MAP/PARCEL: 568-051-000



Photo No. 2	31VernonSt-2.jpg	Date	June 19, 2024	Direction	Northwest
Notes	The modern fire-station incorporates a very large garage at the eastern side of the building, with a corner “hose tower” for drying and storing hoses and large overhead garage doors that allow the fire-equipment to efficiently evacuate the building as needed.				



Historic Photo 1	August 2009 Google Street View from Vernon Street	Direction	North
Notes	Prior to the construction of the Fire Station in 2012, there was a large open parking lot at 31 Vernon Street that was bordered by a low chain fence and immature trees.		



Historic Photo 1	1924 Sanborn Fire Insurance Map, Sheet 3	Direction	N/A
Notes	Historic Sanborn Fire Insurance Maps (with approximate current lot line superimposed in red), indicate that the Fire Station lot historically housed the Court Street Congregational Church, several private dwellings, and an array of automotive and woodworking shops.		

RESOURCE: 62 ROXBURY STREET

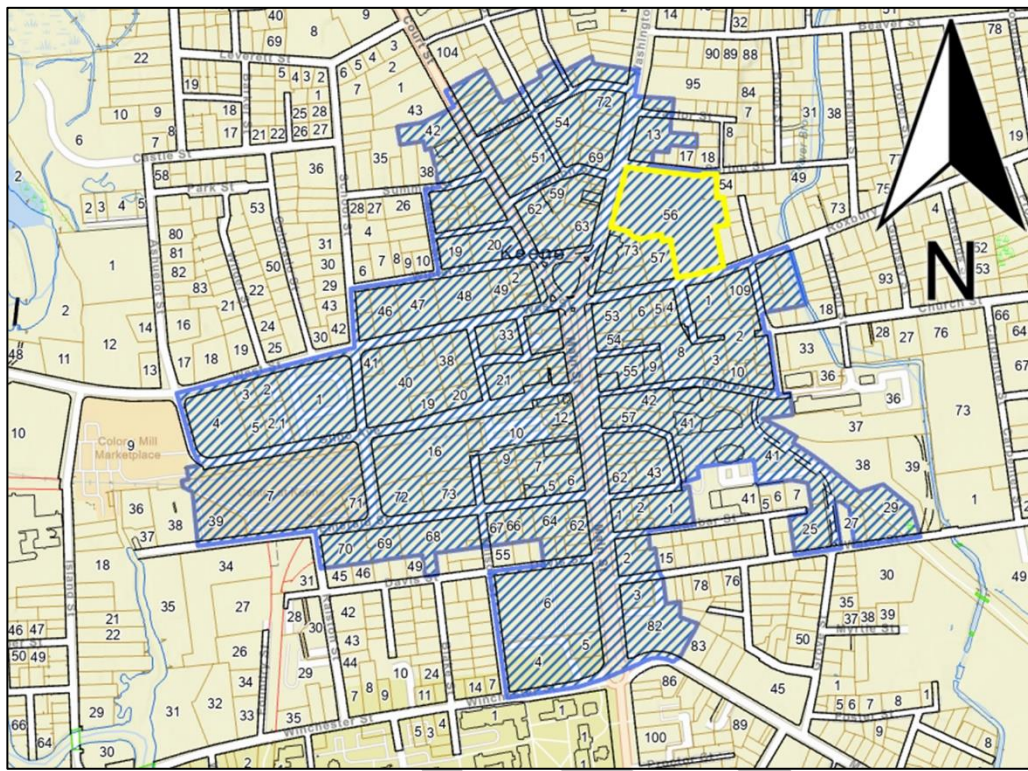
TAX MAP/PARCEL: 569-056-000

Historic name	N/A		Source	N/A	
Address	62 Roxbury Street		Current owner	Washington Park of Keene, LLC	
Current Use	Domestic: Multiple Dwelling		Historic Use	N/A	
Date Built	2017	Source	Tax Card	Style	Modern Commercial
Architect	Unknown		Builder	Unknown	
Alterations	Modern 135-unit apartment block constructed on site of former Keene High School athletic fields in 2017. The development was managed by MDP Development of Hudson, NH.				

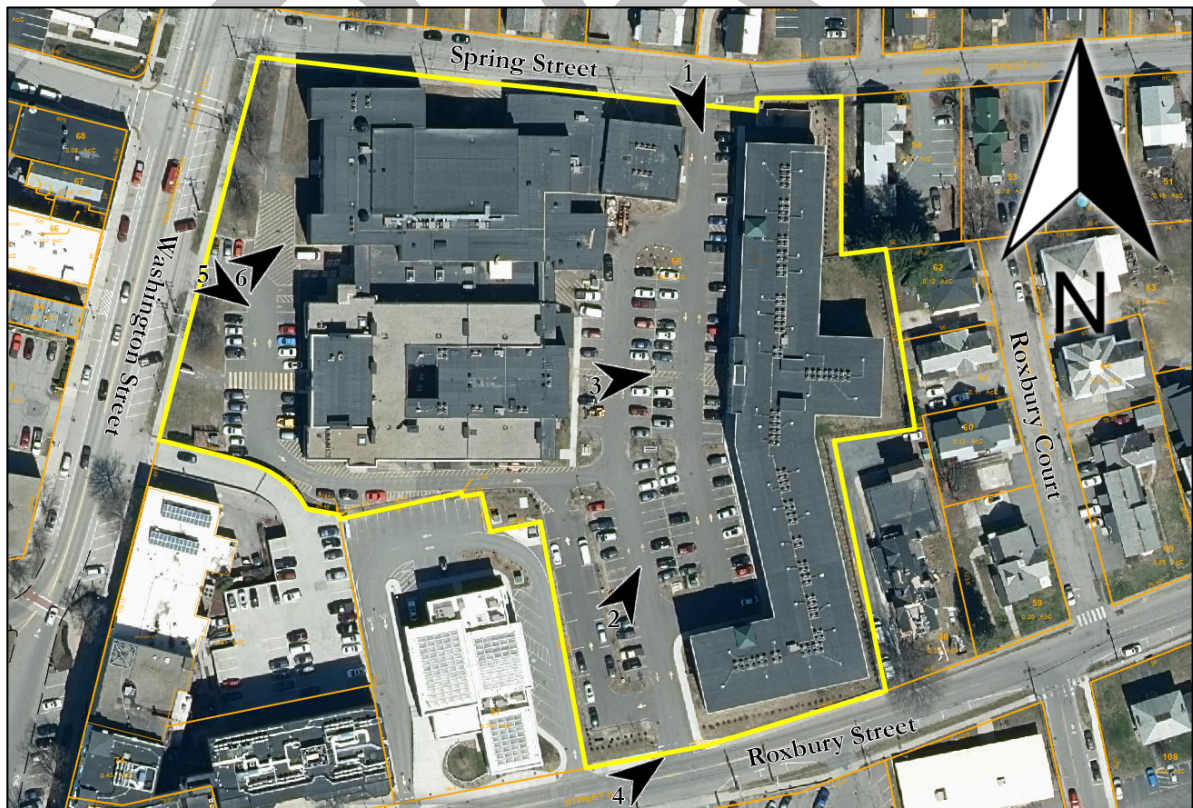


Photo No. 1	62RoxburySt-1.jpg	Date	June 19, 2024	Direction	South
Notes	North and west elevations of the 2017 Washington Street Apartments, facing slightly east of south. The long, connected nature of the building somewhat mimics the form and massing of a 19 th century factory building, similar to the industrial buildings seen to the southeast of this site.				

Location Map



Site Map (with photo key)



RESOURCE: 62 ROXBURY STREET

TAX MAP/PARCEL: 569-056-000

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern commercial apartment block	TBD
Structure	Wood-frame with brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick and vinyl siding	TBD
Roof	Flat, membrane	TBD
Chimneys	One brick chimney, south section of building	TBD
Dormers	N/A	N/A
Trim	Flat vinyl	TBD
Windows	Mixed, but predominantly double-hung with applied grills to simulate 6/1	TBD
Doors	Modern commercial metal and glass within vinyl surround	TBD
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	Shares a lot with the former Keene High School, a primary resource	Y
Landscape	Paved parking areas	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Downtown business district	
Integrity	Technically, the modern Washington Park Apartments retain all aspects of integrity for the time at which they were constructed, as they have changed very little since 2017. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association, however, it must also be noted that the construction of this large modern structure on the former playing fields of the adjacent former high school building takes away from that primary contributing resources ability to convey its history as a public school by significantly negatively effecting its integrity of setting.	
Significance	62 Roxbury Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2077.	
National Register District Ranking	Non-contributing due to age	
Recommended Local Historic District Ranking	Non-contributing resource	



Photo No. 2	62RoxburySt-2.jpg	Date	June 19, 2024	Direction	Northeast
Notes	Primary façade of modern apartment block at 62 Roxbury Street with main entry left of center.				



Photo No. 3	62RoxburySt-3.jpg	Date	June 19, 2024	Direction	East
Notes	Detail of Washington Park Residence primary entrance.				



Photo No. 4	62RoxburySt-4.jpg	Date	June 19, 2024	Direction	Northeast
Notes	Detail of southern end structure at Washington Park Residence apartments, facing northeast.				



Photo No. 5	62RoxburySt-5.jpg	Date	June 19, 2024	Direction	Southeast
Notes	Façade of 1912 Keene High School, which shares the lot with the 2017 Washington St Apartments.				



Photo No. 6	62RoxburySt-6.jpg	Date	June 19, 2024	Direction	Northeast
Notes	Second comparative view of 1939 addition to Keene High School which shares the lot with the 2017 Washington Street apartment complex. The former Keene High School building is considered a primary resource within the Keene Historic District.				



Historic Photo 1	Google Street-view of 62 Roxbury Park, June 2012	Direction	Northeast
Notes	The section of the Keene High School lot that is now occupied by the 2017 Washington Street Apartment complex was historically home to the athletic fields of the Keen Highschool, seen left of center in the above Google Street-view image from June of 2012.		

RESOURCE: 51 RAILROAD STREET

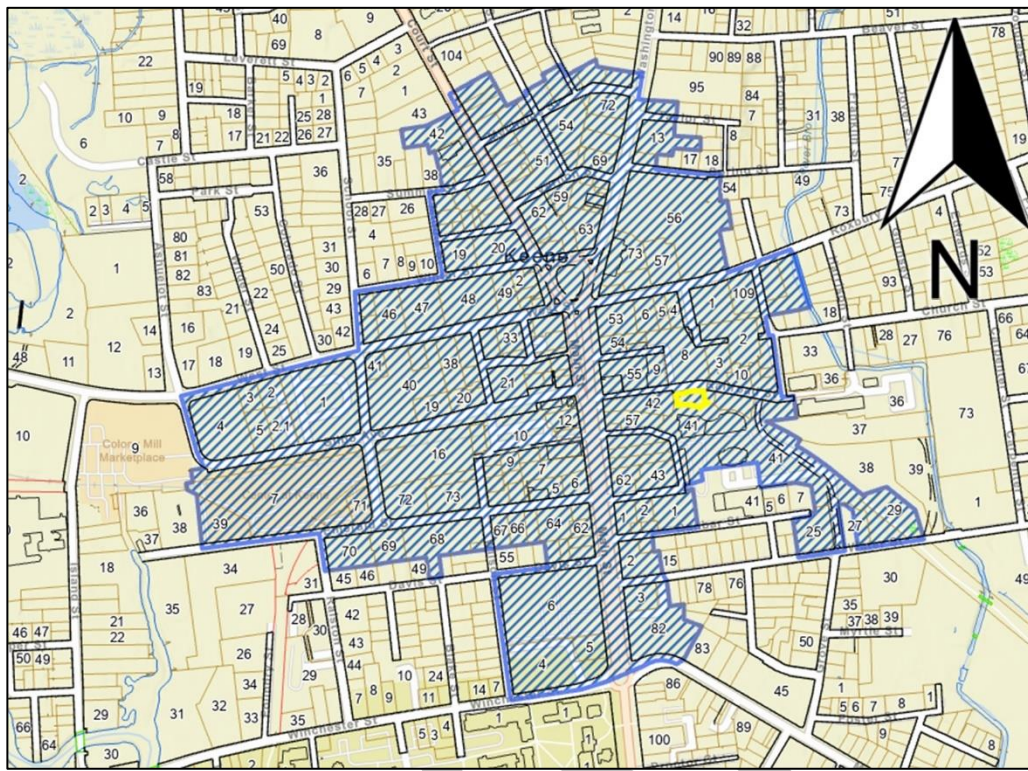
TAX MAP/PARCEL: 574-041-000-00A-Etc.

Historic name	N/A		Source	N/A	
Address	51 Railroad Street		Current owner	14 Different owners	
Current Use	Mixed Commercial and Domestic		Historic Use	N/A	
Date Built	2009	Source	Tax Card	Style	Modern Commercial
Architect	Unknown		Builder	Unknown	
Alterations	51 Railroad Street is a modern condominium building constructed as part of the Railroad Square redevelopment of the former Boston & Maine Railroad Company tracks, freight yards, and loading docks.				

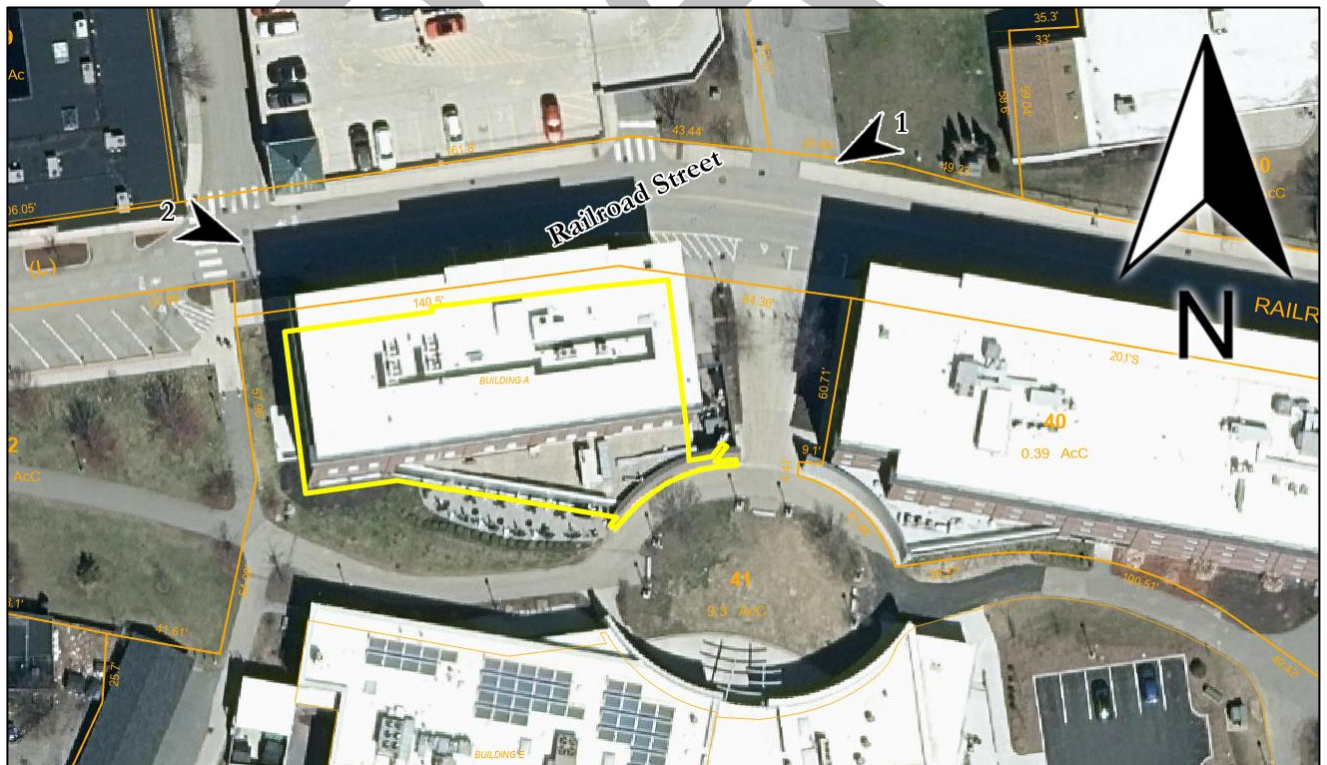


Photo No. 1	51RailroadSt-1.jpg	Date	June 19, 2024	Direction	Southwest
Notes	East and north elevations of the modern mixed-use condominium at 51 Railroad Street. Note flat brick walls, evenly spaced windows at second and third floors and heavy cornice molding between third and fourth floors at ends of building and above fourth floor of center of building to create a parapet-like façade as is seen in multiple early 21 st century commercial buildings across the entire country.				

Location Map



Site Map (with photo key)



RESOURCE: 51 RAILROAD STREET

TAX MAP/PARCEL: 574-041-000-00A-Etc.

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Large square mixed-use commercial/residential block	TBD
Structure	Wood-frame with brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick	TBD
Roof	Flat, membrane	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Steel beams above first-floor windows and decorative connected granite sills below second and third-floor window openings.	TBD
Windows	Metal and glass shop windows at first floor; double-hung 2/1 elsewhere	TBD
Doors	Metal and glass modern commercial doors	TBD
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Sidewalk directly north of building and concrete patio to east and south	TBD

* Is this a Character Defining Feature for this resource? Yes or No

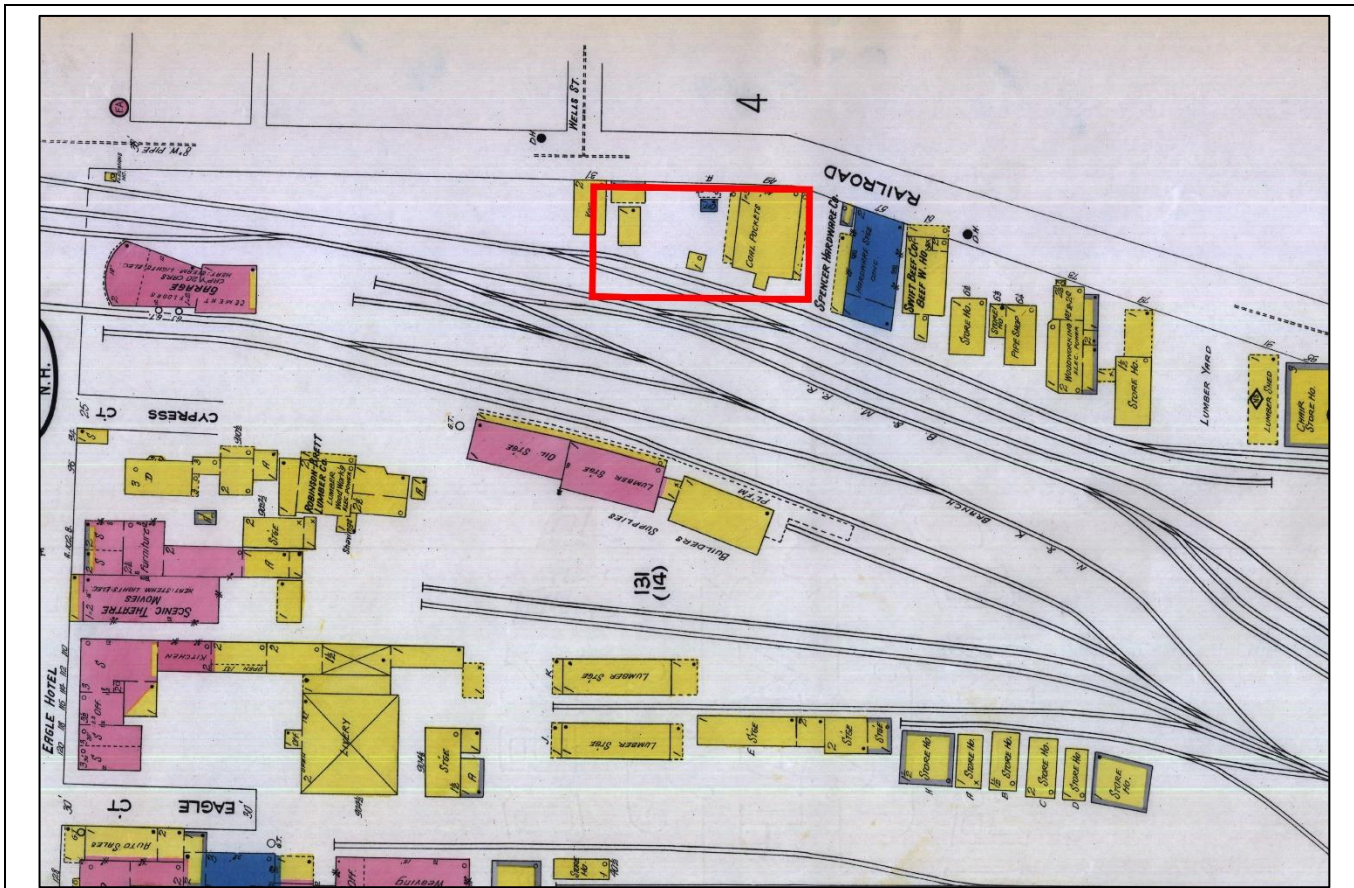
Setting	Downtown business district
Integrity	Technically, the modern commercial block at 15 Railroad St retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2009. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.
Significance	51 Railroad Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2059.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)

RESOURCE: 51 RAILROAD STREET

TAX MAP/PARCEL: 574-041-000-00A-Etc.



Photo No. 2	51RailroadSt-1.jpg	Date	June 19, 2024	Direction	Southeast
Notes	North and west elevations of modern mixed commercial and residential block at 51 Railroad St. Note large banded shop windows at first-floor level and monolithic granite block above primary entrance at center of façade.				



Historic Photo 1	1924 Sanborn Fire Insurance Map, Sheet 6	Direction	N/A
Notes	1924 Fire Insurance Map showing approximate site of what is now 51 Railroad Street.		

RESOURCE: 75 RAILROAD STREET

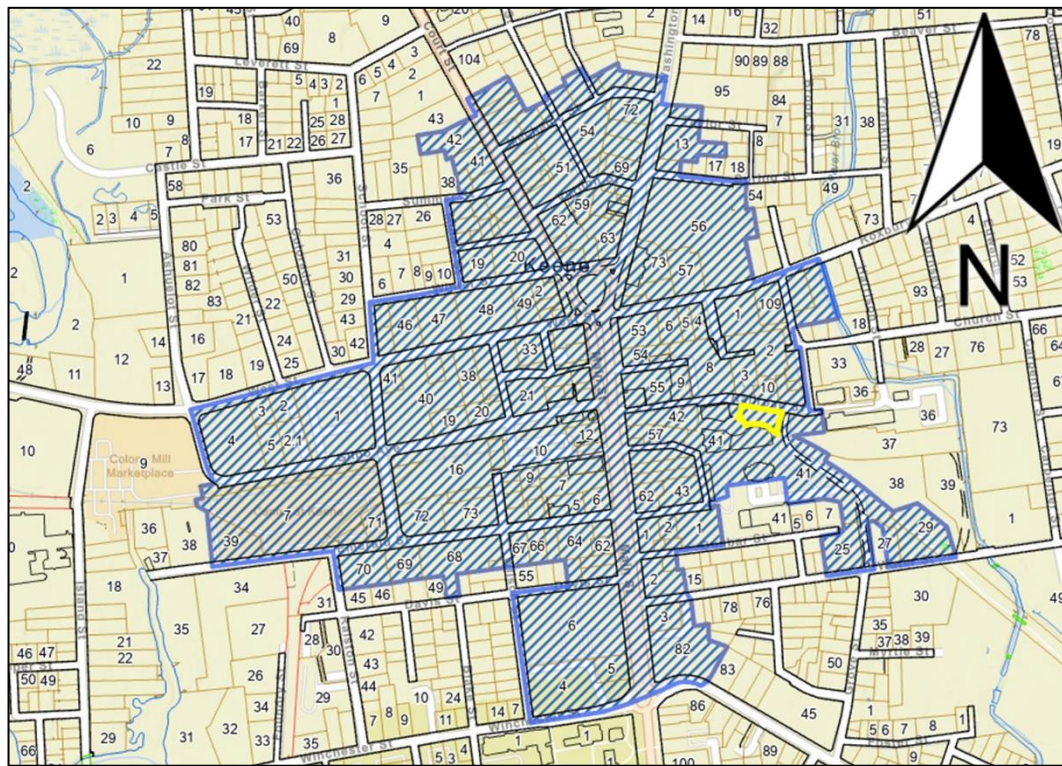
TAX MAP/PARCEL: 574-040-000

Historic name	N/A			Source	N/A
Address	75 Railroad Street			Current owner	NEP Keene Cy (NH) Owner LLC
Current Use	Domestic: Hotel			Historic Use	N/A
Date Built	2009	Source	Tax Card	Style	Modern Commercial
Architect	Unknown			Builder	Unknown
Alterations	75 Railroad Street is a modern commercial hotel building constructed as part of the Railroad Square redevelopment of the former Boston & Maine Railroad Company tracks, freight yards, and loading docks.				

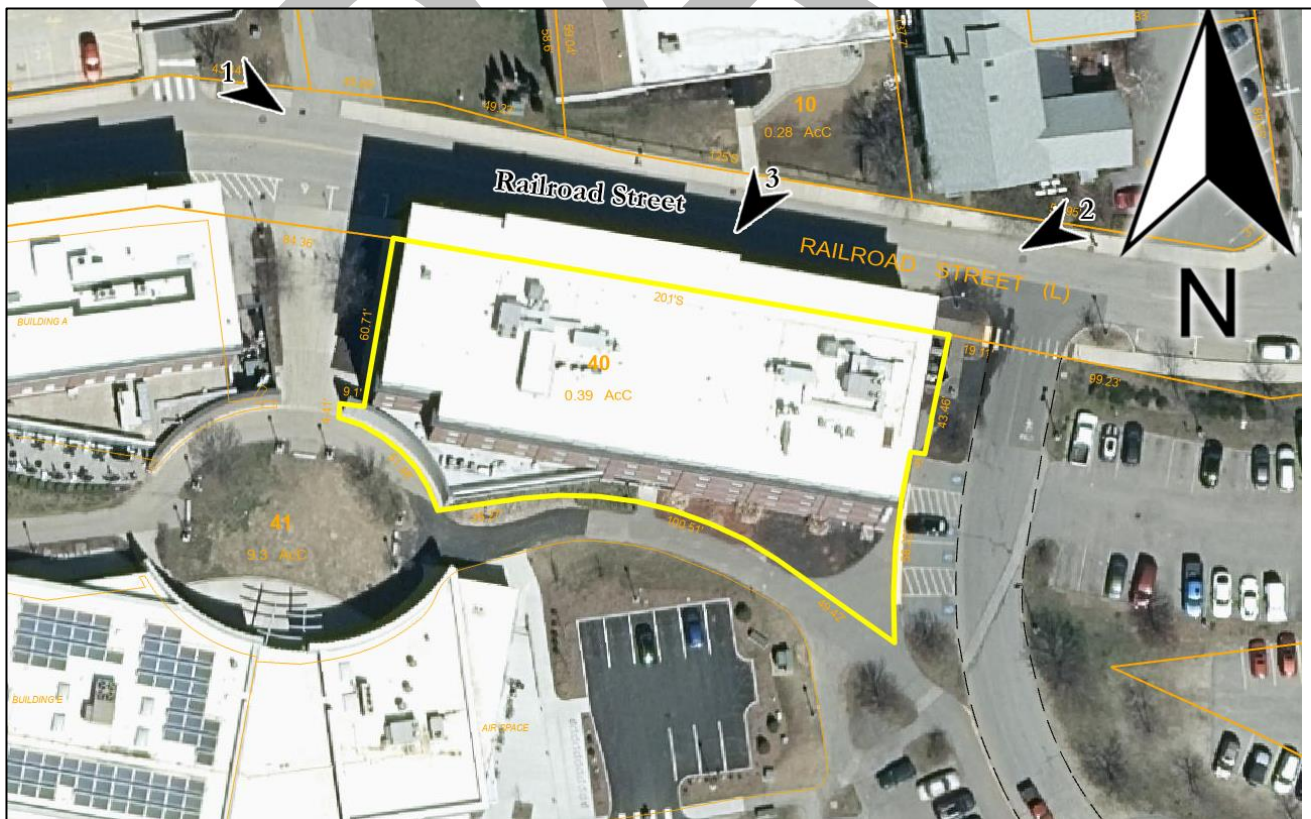


Photo No. 1	75RailroadSt-1.jpg	Date	June 19, 2024	Direction	Southeast
Notes	North and west elevations of the modern commercial hotel (Courtyard Marriot) at 75 Railroad Street. Note flat brick walls, evenly spaced windows at second and third floors and heavy cornice molding between third and fourth floors at ends of building and above fourth floor of center of building to create a parapet-like façade as is seen in multiple early 21 st century commercial buildings across the entire country and the twin of the adjacent condominium at 51 Railroad St.				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Large square mixed-use commercial/residential block	TBD
Structure	Wood-frame with brick veneer	TBD
Foundation	Poured concrete	TBD
Siding	Brick	TBD
Roof	Flat, membrane	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Steel beams above first-floor windows and decorative connected granite sills below second and third-floor window openings.	TBD
Windows	Metal and glass shop windows at first floor; double-hung 2/1 elsewhere	TBD
Doors	Metal and glass modern commercial doors	TBD
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Sidewalk directly north of building and concrete patio to east and south	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Downtown business district
Integrity	Technically, the modern commercial hotel (Courtyard Marriot) at 75 Railroad St retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2009. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.
Significance	75 Railroad Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2059.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)



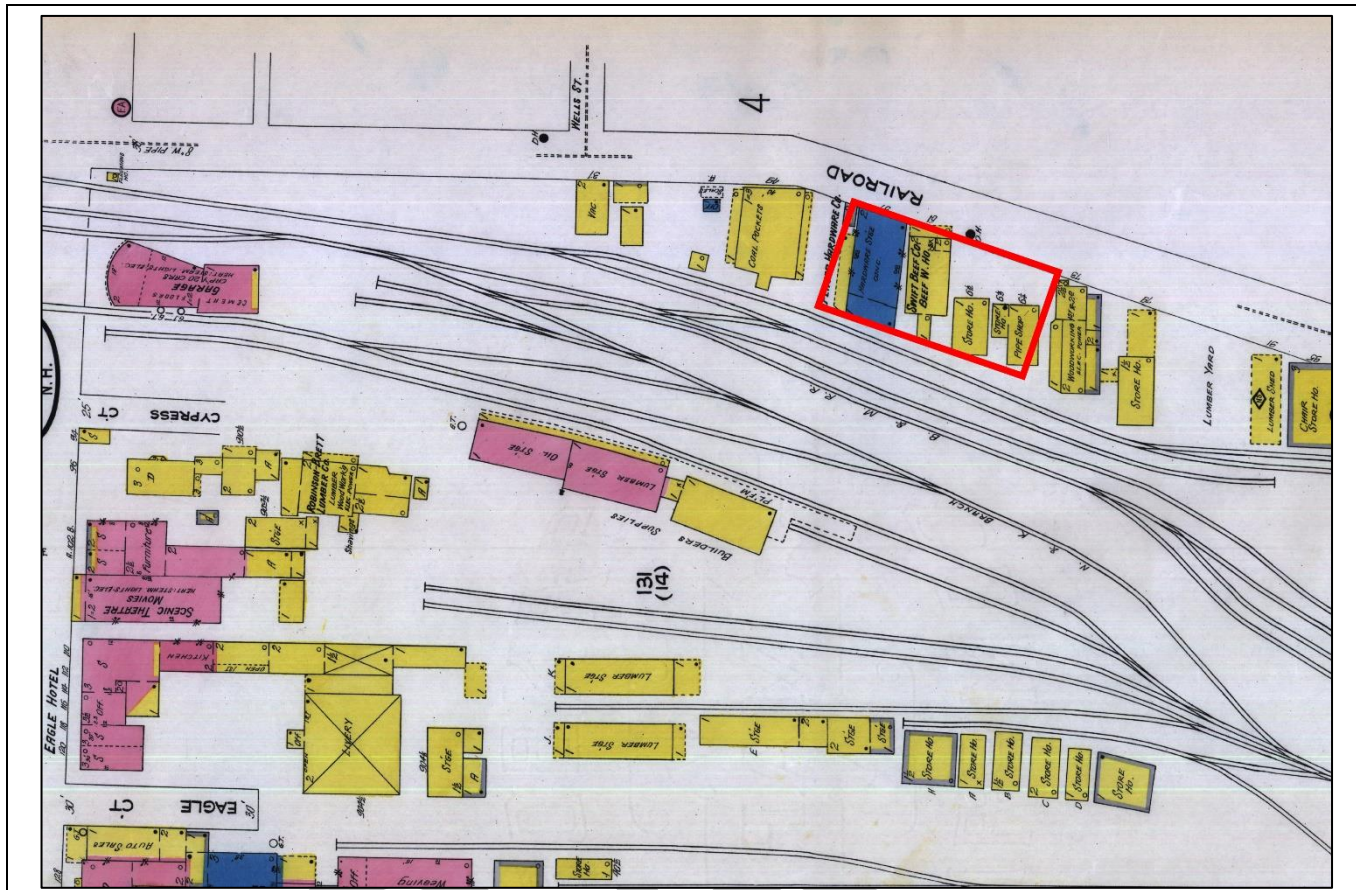
Photo No. 2	75RailroadSt-2.jpg	Date	June 19, 2024	Direction	Southwest
Notes	East and north west elevations of Courtyard Marriot hotel at 75 Railroad St. Note large banded shop windows at the center and west end of the first-floor level.				

RESOURCE: 75 RAILROAD STREET

TAX MAP/PARCEL: 574-040-000



Photo No. 3	75RailroadSt-3.jpg	Date	June 19, 2024	Direction	Southwest
Notes	Detail of entrance to Courtyard Marriot Hotel beneath awning. Note commercial sliding doors at entrance and large plate-glass windows at lobby area.				



Historic Photo 1	1924 Sanborn Fire Insurance Map, Sheet 6	Direction	N/A
Notes	1924 Fire Insurance Map showing approximate site of what is now 75 Railroad Street. Note that property once housed the Spencer Hardware Co. and Swift Beef Co. along with some smaller store houses.		

RESOURCE: 34 CYPRESS STREET

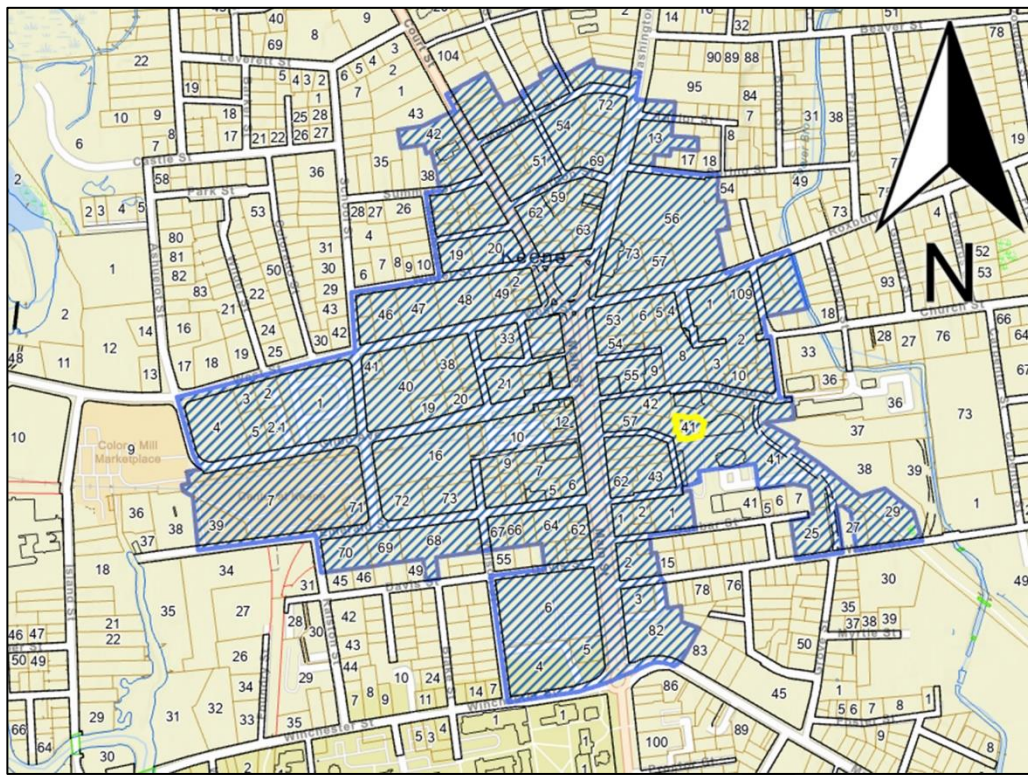
TAX MAP/PARCEL: 574-041-000-00E

Historic name	N/A [Monadnock Food Co-op]		Source	N/A	
Address	34 Cypress Street		Current owner	MFC Land Company Inc.	
Current Use	Commerce: Grocery Store/Cafe		Historic Use	N/A	
Date Built	2012	Source	Tax Card	Style	Modern Commercial
Architect	Scully Architects		Builder	Baybutt Construction Corp.	
Alterations	The Monadnock Food Coop is a modern grocery store/café that was constructed as part of the Railroad Square redevelopment of the former Boston & Maine Railroad Company tracks, freight yards, and loading docks.				

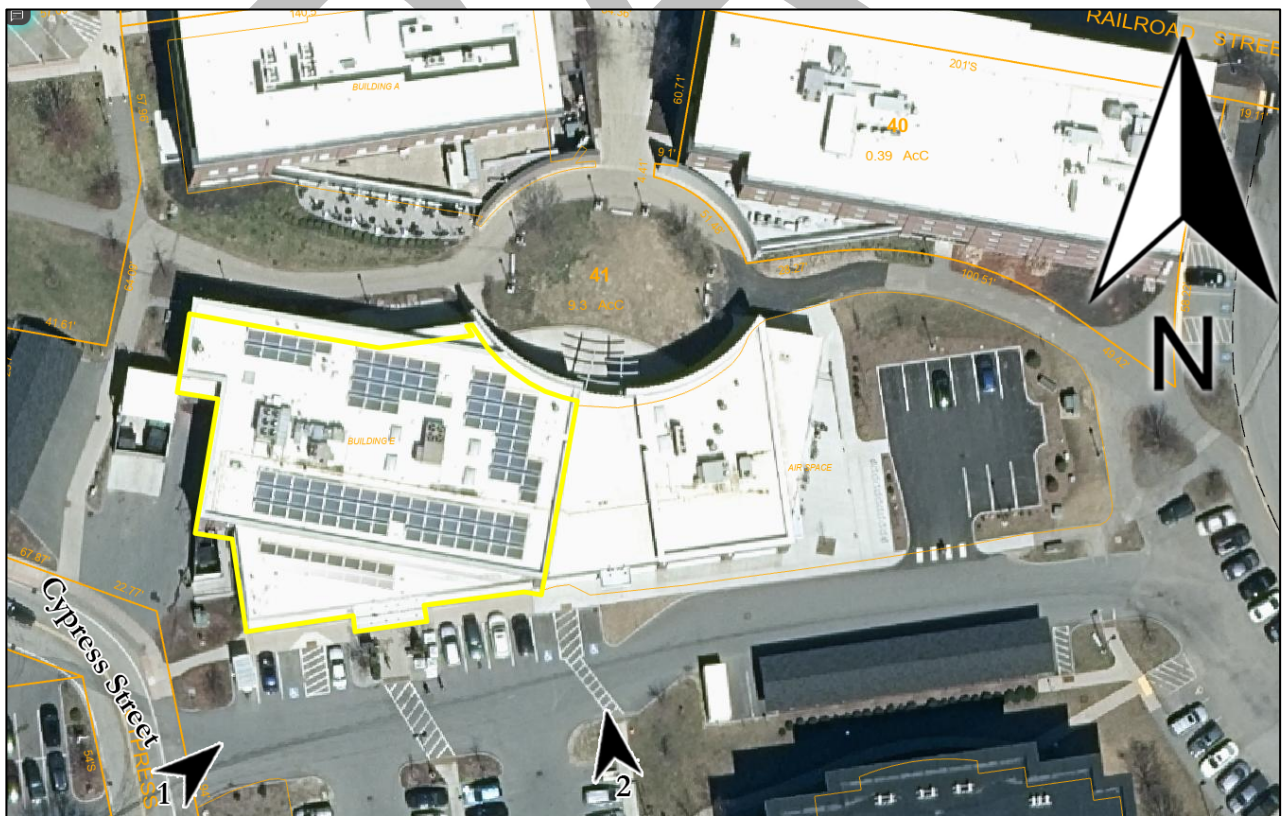


Photo No. 1	34CypressSt-1.jpg	Date	June 19, 2024	Direction	Northwest
Notes	Designed by local architectural firm, Scully Architects, the Monadnock Co-op building at 34 Cypress Street contains a modern grocery store at the west end and associated café at the east. The long, low profile of the building is typical of modern grocery design with large glass windows facing south onto the paved parking area. The walls of the building are likewise made of modern materials and are a combination of glass curtain-wall, brick, and synthetic panels.				

Location Map



Site Map (with photo key)



RESOURCE: 34 CYPRESS STREET

TAX MAP/PARCEL: 574-041-000-00E

ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern single-story supermarket store	TBD
Structure	Unknown, likely masonry (listed as “fire-resistant”)	TBD
Foundation	Poured concrete	TBD
Siding	Brick, panel, glass curtain-wall	TBD
Roof	Flat membrane	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Synthetic panels	TBD
Windows	Plate-glass	TBD
Doors	Modern glass and metal sliding units	TBD
Porches	N/A	N/A
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Parcel is building foot-print only and is surrounded by paved parking areas	TBD

* Is this a Character Defining Feature for this resource? Yes or No

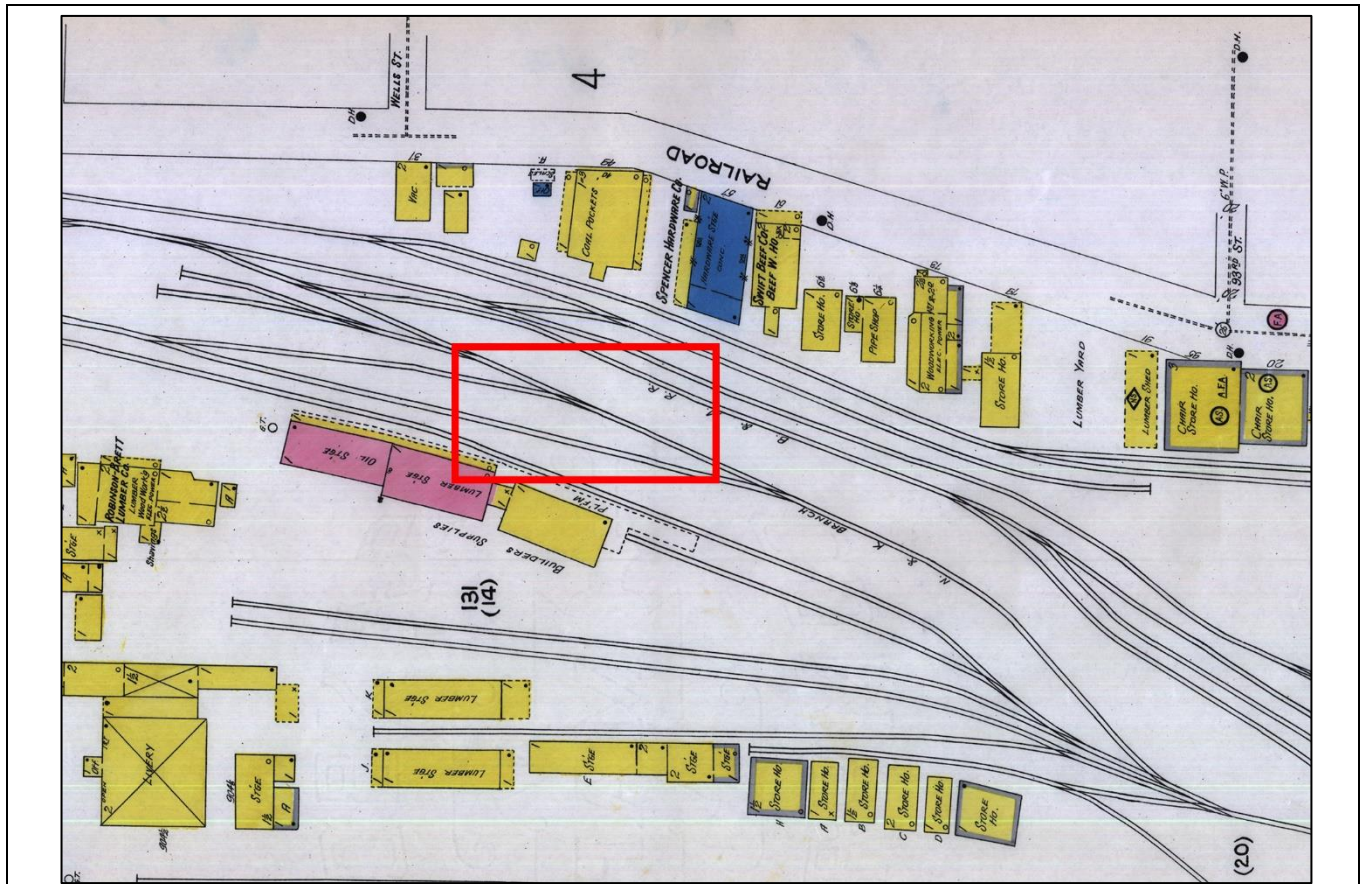
Setting	Mixed Use Neighborhood
Integrity	Technically, the modern supermarket (Monadnock Co-op) at 34 Cypress St retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2012. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.
Significance	The Monadnock Food Co-op at 34 Cypress Street is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2062.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)

RESOURCE: 34 CYPRESS STREET

TAX MAP/PARCEL: 574-041-000-00E



Photo No. 2	34CpressSt-2.jpg	Date	June 19, 2024	Direction	North
Notes	Detailed image of the east, Co-op Café, end of the building. Note the glass-curtainwall construction between brick columns that add accent design to the structural bays of the building.				



Historic Photo 1	1924 Sanborn Fire Insurance Map of Keene, Sheet 6	Direction	N/A
Notes	Excerpt from 1924 Sanborn Fire Insurance Map of Keene, showing the Boston & Maine Railroad Company yards. The approximate location of the Monadnock Co-op is outlined in red, spanning several company railroad tracks.		

RESOURCE: 49 COMMUNITY WAY

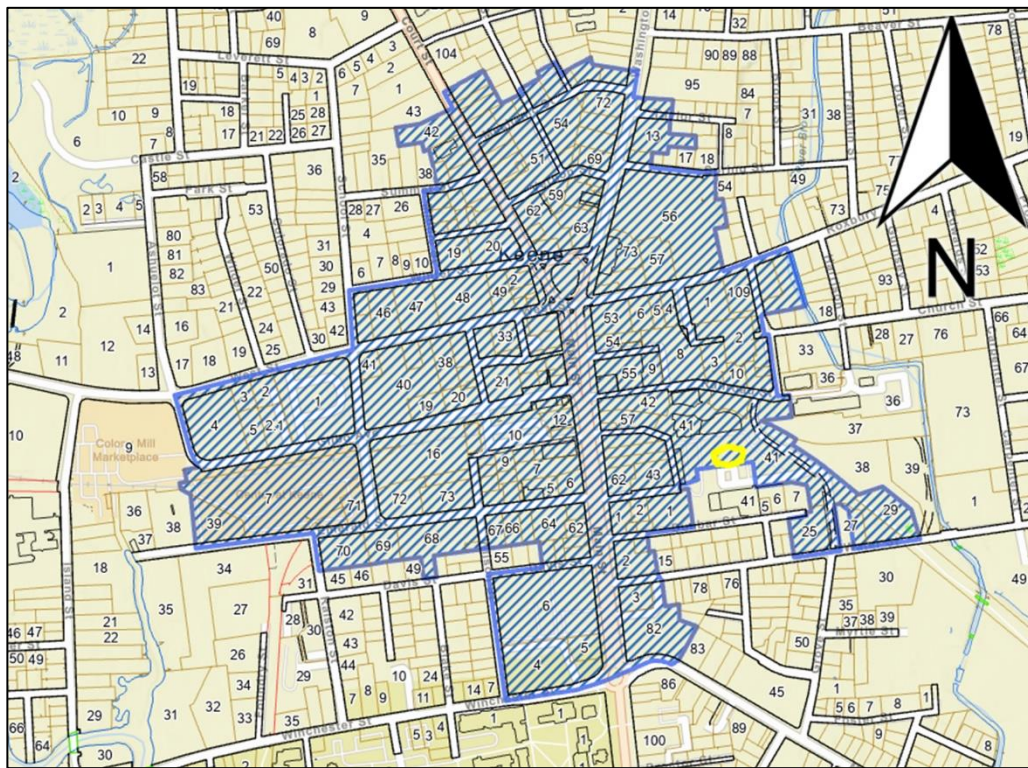
TAX MAP/PARCEL: 574-041-000-00B

Historic name	N/A [Railroad Square Senior Housing]		Source	N/A	
Address	49 Community Way		Current owner	Railroad Square Senior Housing LP	
Current Use	Domestic: Multi Family		Historic Use	N/A	
Date Built	2009	Source	Tax Card	Style	Modern Commercial
Architect	George Hickey		Builder	Unknown	
Alterations	Railroad Square Senior Housing is a modern apartment block that was constructed as part of the Railroad Square redevelopment of the former Boston & Maine Railroad Company tracks, freight yards, and loading docks. The building has 24 one- and two-bedroom units.				

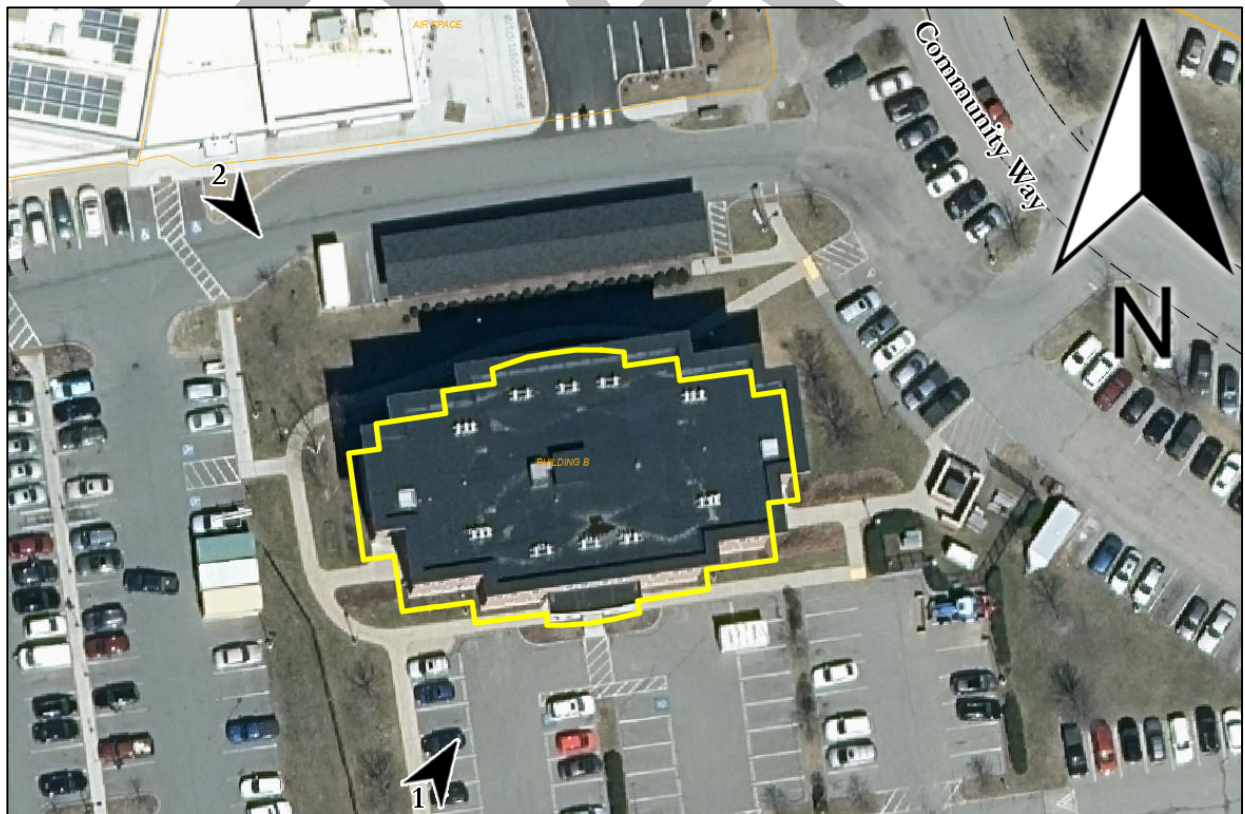


Photo No. 1	49CommunityWay-1.jpg	Date	June 19, 2024	Direction	Northeast
Notes	Designed by Bedford architect George Hickey, Railroad Square Senior Housing contains 24 modern one- and two-bedroom apartments. The three-story building is made of masonry. Designed in the modern commercial style, the form incorporates architectural details that are reminiscent of late 19 th to early 20 th century commercial styles such as a beltcourse of simulated stone above the second floor, sheltered entrance portico supported by Tuscan style columns and a heavy projecting denticulated cornice that incorporates Italianate-style wooden brackets.				

Location Map



Site Map (with photo key)



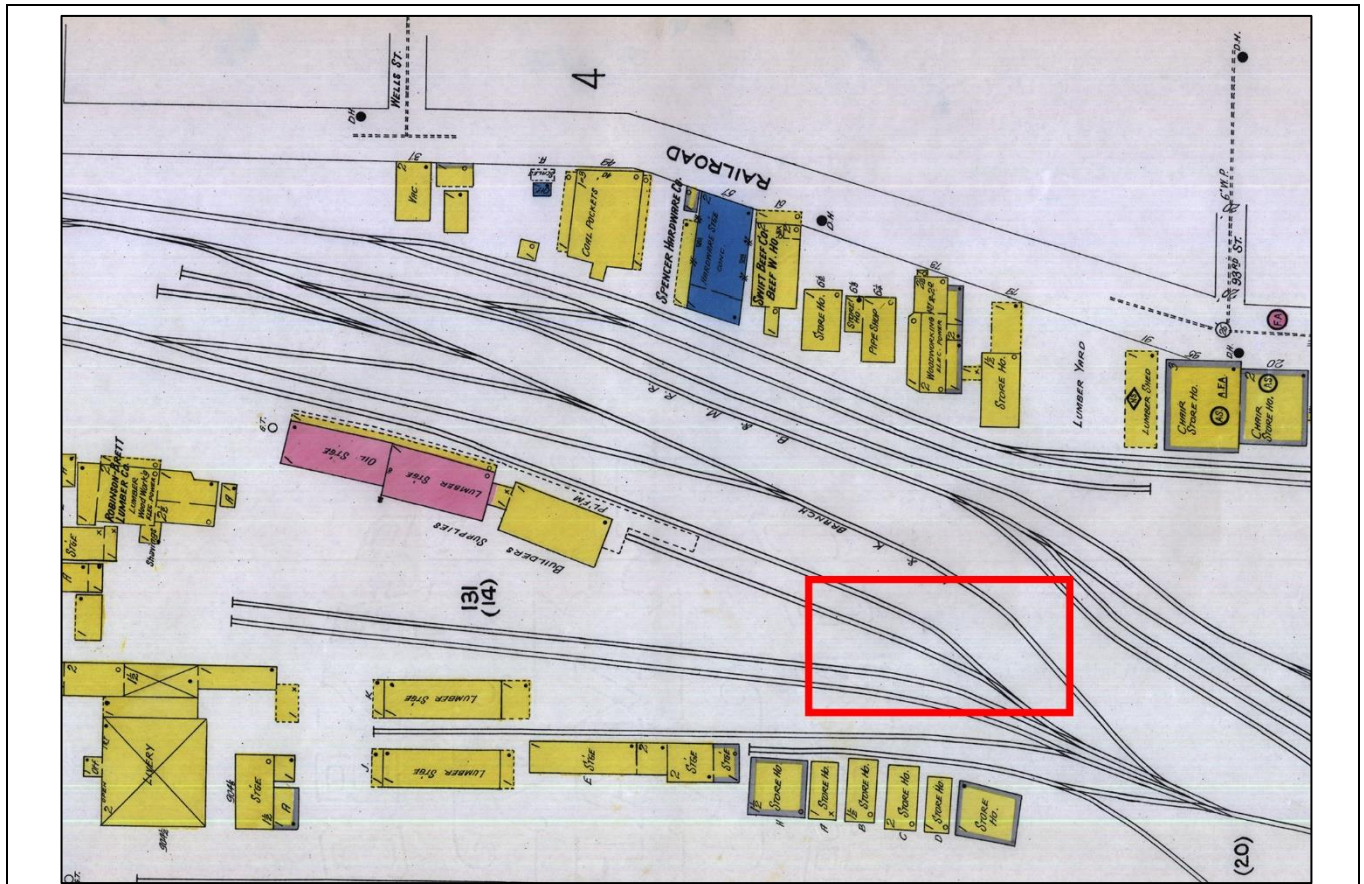
ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Modern commercial multi-unit apartment block	TBD
Structure	Masonry	TBD
Foundation	Poured concrete	TBD
Siding	Brick	TBD
Roof	Flat membrane	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Flat vinyl around windows, simulated stone accents above second floor, bracketed denticulated cornice molding above third-floor level that is reminiscent of Italianate commercial architecture	TBD
Windows	Double-hung, with applied grills simulating a 4/1 window configuration	TBD
Doors	Multi-light glass doors with full side-panels within larger surround	TBD
Porches	Sheltered entries through open porticos supported by Tuscan columns	TBD
Additions	N/A	N/A
Other	N/A	N/A
Outbuildings	N/A	N/A
Landscape	Parcel is building foot-print only and is surrounded by paved parking areas	TBD

* Is this a Character Defining Feature for this resource? Yes or No

Setting	Mixed Use Neighborhood
Integrity	Technically, the modern apartment block at 49 Community Way retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2009. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.
Significance	The Railroad Square Senior Housing at 49 Community Way is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2059.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)



Photo No. 2	49CommunityWay-2.jpg	Date	June 19, 2024	Direction	Southeast
Notes	The north (seen here) and south elevations of the building are very similar in design, with a prominent central entrance through a sheltered portico.				



Historic Photo 1	1924 Sanborn Fire Insurance Map of Keene, Sheet 6	Direction	N/A
Notes	Excerpt from 1924 Sanborn Fire Insurance Map of Keene, showing the Boston & Maine Railroad Company yards. The approximate location of Railroad Square Senior Housing is outlined in red, spanning several company railroad tracks.		

RESOURCE: 92 WATER STREET

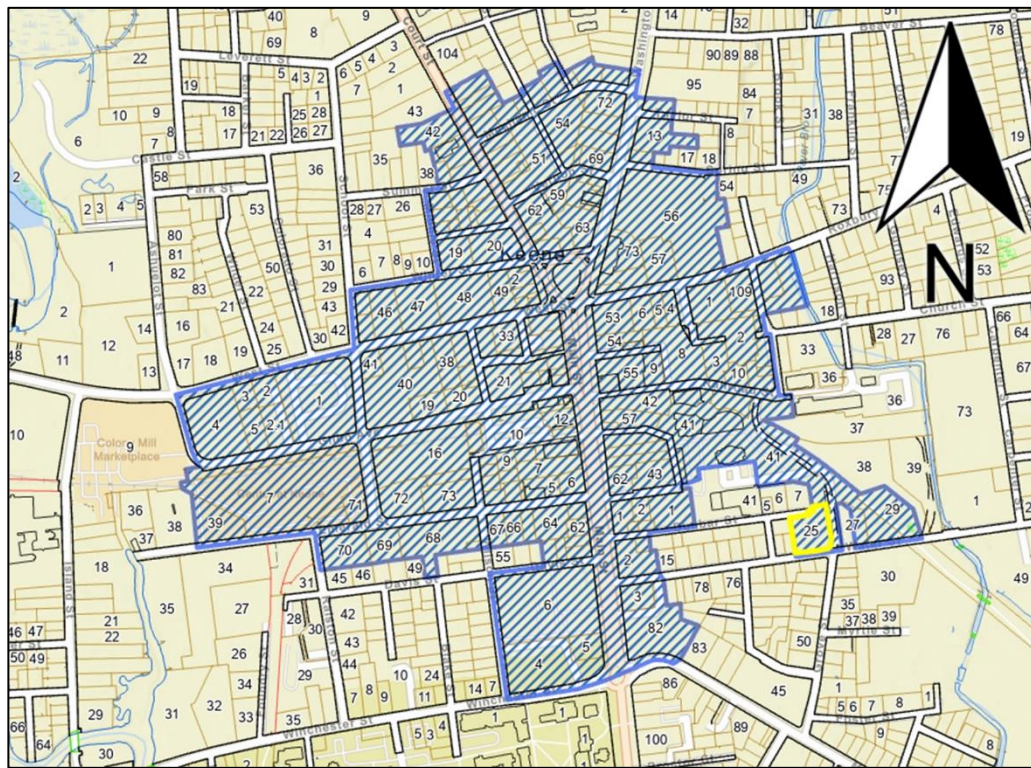
TAX MAP/PARCEL: 585-025-000

Historic name	N/A [CitySide Apartments]		Source	N/A	
Address	92 Water Street		Current owner	Cityside Housing Associates, LP	
Current Use	Domestic: Multiple Dwelling		Historic Use	N/A	
Date Built	2011	Source	Tax Card	Style	Neo-Traditional
Architect	Unknown		Builder	Unknown	
Alterations	The modern CitySide Apartments were constructed on a vacant lot at the site of the former M. S. Perkins Co., just south of the Boston & Maine Railyard in 2011.				

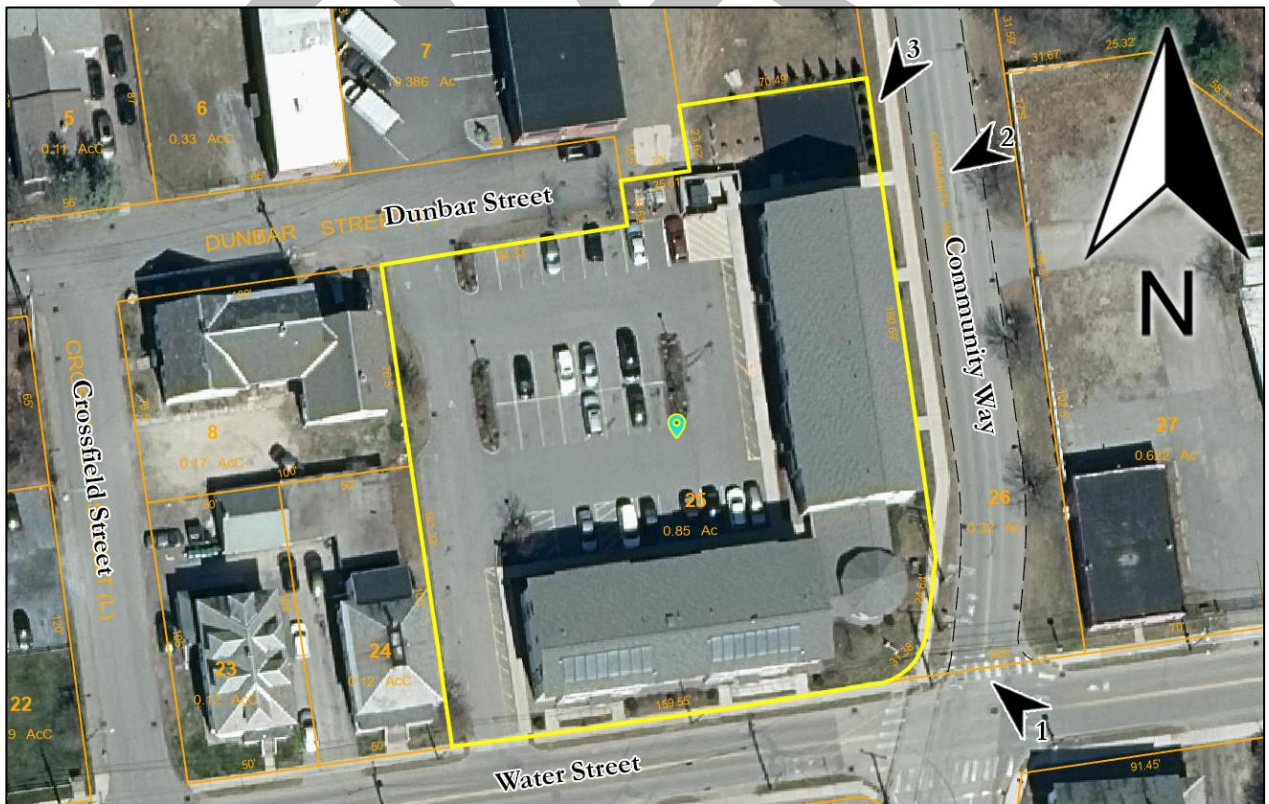


Photo No. 1	92WaterSt-1.jpg	Date	June 19, 2024	Direction	Northwest
Notes	92 Water Street is a modern connected apartment building that consists of two large three-story rectangular blocks set at right angles and connected by a two-story twelve-sided turret. The connected building has asphalt shingle roofing and vinyl siding with narrow corner boards and horizontal banding. Many of the vinyl windows are flanked by inoperable shutters, adding depth to the exterior wall-plane and associating the structure with domestic use.				

Location Map



Site Map (with photo key)



ARCHITECTURAL FEATURES TABLE		
FEATURE	DESCRIPTION	CDF*
Form/Style	Large connected apartment block, consisting of two wings connected by a corner turret	TBD
Structure	Wood-framed	TBD
Foundation	Poured concrete	TBD
Siding	Vinyl	TBD
Roof	Gable roof with open eaves covered in asphalt shingles	TBD
Chimneys	N/A	N/A
Dormers	N/A	N/A
Trim	Small flat wooden headers over windows, no surrounds or sills; flat wooden belt course above first or second floors and narrow corner boards in some areas	TBD
Windows	Double-hung windows with applied grills with 4/1 configuration	TBD
Doors	Synthetic -panel doors	TBD
Porches	N/A	N/A
Additions	Octagonal turret at intersection of two main blocks	TBD
Other	Vinyl shutters	N/A
Outbuildings	N/A	N/A
Landscape	Small shrubs, concrete paths, and asphalt parking lot	TBD

* Is this a Character Defining Feature for this resource? Yes or No

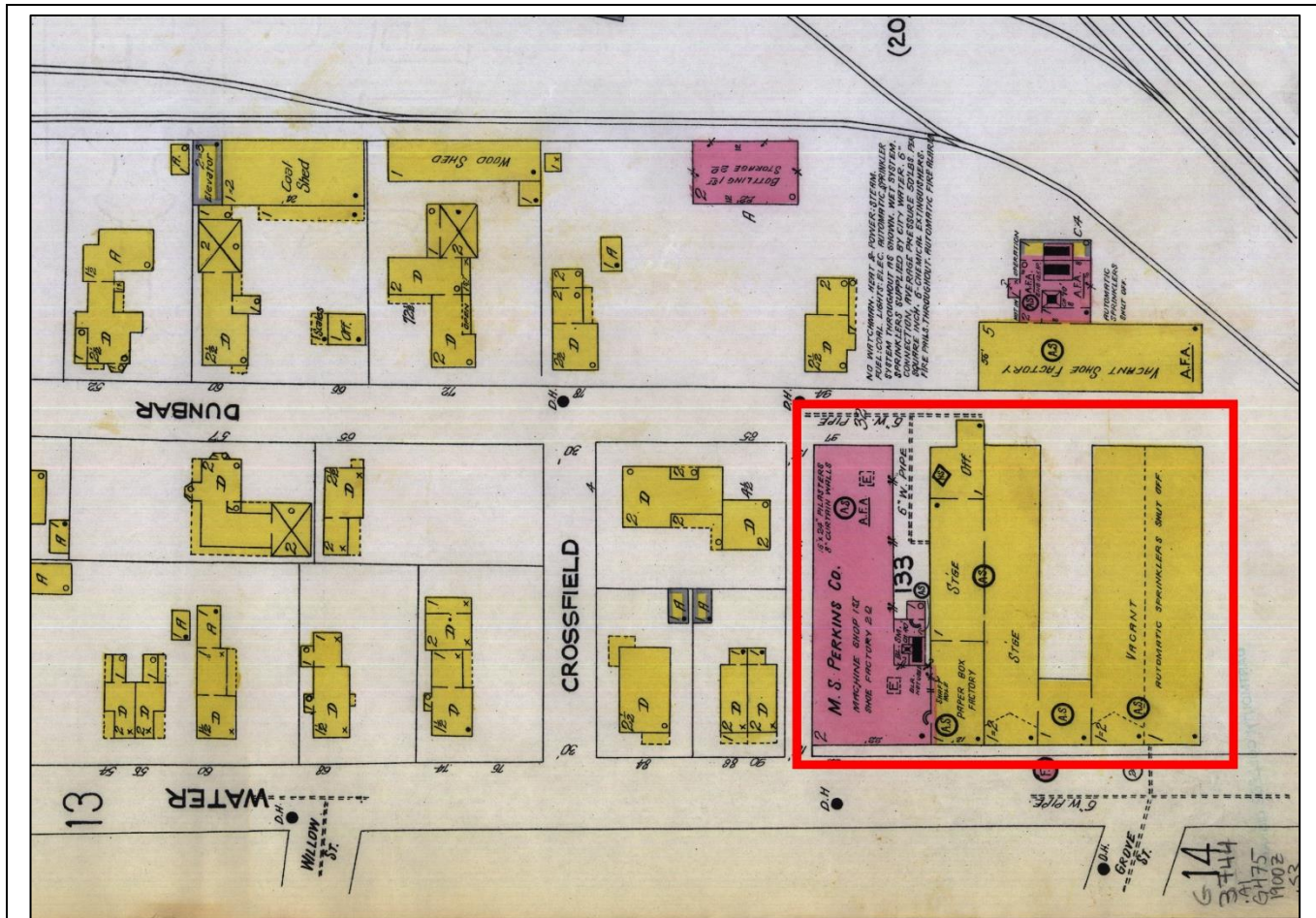
Setting	Mixed Use Neighborhood
Integrity	Technically, the modern commercial apartment block at 92 Water St retains all aspects of integrity for the time at which it was constructed, as it has changed very little since 2011. The building itself retains integrity of location, setting, design, materials, workmanship, feeling and association.
Significance	CitySide Apartments (92 Water Street) is not eligible for inclusion in the National Register Historic District as it does not meet the age requirement of 50 years. The Park Service instated this age requirement because it is difficult to fully analyze a structure in the present: without the historical buffer provided by a generation of change, we have trouble discerning what are, indeed, the “character defining” features of a given architectural form and style. The determination of “character-defining” feature and significance, therefore, will need to be re-evaluated in approximately 2061.
National Register District Ranking	Non-contributing due to age
Recommended Local Historic District Ranking	Non-contributing (age)



Photo No. 2	92WaterSt-2.jpg	Date	June 19, 2024	Direction	Northwest
Notes	Additional view of the south elevation of the wing that fronts onto Water Street. Note the multiple types of modern composite material exterior siding used with variant paint colors, as well as the use of narrow inoperable window shutters to create a sense of depth to the building plane, similar to that employed in late 19 th century Queen Anne or Italianate Victorian architecture.				



Photo No. 3	92WaterSt-3.jpg	Date	June 19, 2024	Direction	Southwest
Notes	View of north and west elevations of wing facing onto Community Way. Again, note use of multiple colors and compositions of wall sheathing. Also note small arched window in gable end at attic level.				



Historic Photo 1	1924 Sanborn Fire Insurance Map, Sheet 6	Direction	N/A
Notes	<p>The large connected mill building that sat on the location now occupied by CitySide Apartments housed the M. S. Perkins Machine Co. from 1991 through the mid-1970s. Until 1991, the building was used for shoe manufacture, then it became a medical supply, rug, and book warehouse until 1997. In 1998 the City of Keene took title to the property after the owners failed to pay back property taxes. With help from grants through the EPA and NHDES, the site was cleaned up and sold to Southwestern Community Services.</p>		

RESOURCE: 92 WATER STREET

TAX MAP/PARCEL: 585-025-000



Historic Photo 2	August 2009 Google street view of 92 Water Street	Direction	Northwest
Notes	Google street-view image of the site of CitySide Apartments after the demolition of the M. S. Perkins Machine Co. and before the construction of the apartment building. Note the historic residential buildings at the left side of the photo, many of which still stand.		



CITY OF KEENE
NEW HAMPSHIRE

MEMORANDUM

TO: Historic District Commission
FROM: Evan J. Clements, AICP - Planner
DATE: August 14, 2024
SUBJECT: HDC Regulations Amendment – Public Hearing

Recommendation:

To hold a public hearing on the proposed amendment to the Historic District Regulations to change the method of mailed abutter notices from Certified Mail to Certificate of Mailing. The Board should then vote on the proposed amendment.

Background:

In previous practice, abutter notices for land use applications have been sent to abutters via Certified Mail. This United States Postal Service (USPS) product has become increasingly expensive and cumbersome to both staff and abutters. We have received complaints from abutters who have missed the public hearing notices because they were not present when the mail carrier attempted to deliver the letter. Since the letter could not be signed for, it would be returned to the post office. Having to make an unplanned trip to the post office can be challenging and as a result, the abutter misses the notice.

As part of an initiative to reduce costs associated with applications to City Land Use Boards and reduce the burden on abutters, staff from the Community Development Department have explored alternative mailing products offered by the USPS. One such product, Certificate of Mailing, meets the statutory definition of “verified mail” per RSA 21:53, is less costly to the applicant, and is less burdensome on the abutter being notified.

Article 26.15 of the Land Development Code (LDC) is also part of the Historic District Regulations. This means that in order to amend the LDC to make the change from Certified Mail to Certificate of Mailing, the Board will need to vote to approve the change to their regulations. If the Board determines to approve this change to their regulations, staff will move forward with an Ordinance to City Council.

The Board initially discussed the proposed regulation change at their public meeting on February 21, 2024.