



Planning Board – Monday, January 25, 2021, 6:30PM

AGENDA

NOTE: This meeting will be conducted using the online meeting platform, Zoom.* The public may view the meeting online by visiting www.zoom.us/join and enter the **Meeting ID: 857 8338 6440**. If you are unable to attend the meeting online, you may call the toll-free # (888) 475-4499 and enter the Meeting ID to listen to the meeting. More info on how to access this meeting is available at ci.keene.nh.us/planning-board. If you encounter any issues accessing this meeting, please call 603-209-4697 during the scheduled meeting time.

I. **Call to Order** – Roll Call

II. **Election of Planning Board Chair and Vice Chair**

III. **Minutes of Previous Meeting** – December 21, 2020

IV. **Public Hearing:**

SPR-04-20 – Site Plan – Group Home, 169 Church Street – Applicant Timothy Sampson, on behalf of owner Boisvert Construction of Winchester LLC, proposes to construct a 5,690-sf two-story, duplex-style group home with a habitable attic and a maximum occupancy of 24 people on the vacant lot located at 169 Church Street (TMP# 574-027-000). The site is 0.58 acres in size and is located in the High Density District.

V. **Community Development Director Report**

Overview of Administrative Approvals Issued in 2020

VI. **New Business**

VII. **Upcoming Dates of Interest – February 2021**

- Joint PB/PLD Committee – Monday, February 8, 6:30 PM
- Planning Board Steering Committee – February 9, 11:00 AM
- Planning Board Site Visit – February 17, 8:00 AM – To Be Confirmed
- Planning Board Meeting – February 22, 6:30 PM

**In Emergency Order #12, issued by the Governor pursuant to Executive Order #2020-04, which declared a COVID-19 State of Emergency, the requirement that a quorum of a public body be physically present at the meeting location under RSA 91-A:2, III(b), and the requirement that each part of a meeting of a public body be audible or otherwise discernible to the public at the meeting location under RSA 91-A:2, III(c), have been waived. Public participation may be provided through telephonic and other electronic means.*

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**CITY OF KEENE
NEW HAMPSHIRE**

PLANNING BOARD
MEETING MINUTES

Monday December 21, 2020 6:30 PM Council Chambers

Members Present

Douglas Barrett, Chairman
Christopher Cusack, Vice-Chair
Councilor Michael Remy
David Orgaz
Gail Somers
Pamela Russell Slack
Mayor George Hansel

Staff:

Rhett Lamb, Asst. City
Manager/Community Development
Director
Tara Kessler, Senior Planner
Mari Brunner, Planner

Members Not Present:

Andrew Weglinski
Tammy Adams, Alternate
Emily LaVigne Bernier, Alternate

I. Call to order – Roll Call

Chair Barrett began the meeting by reading the following statement with respect to holding remote meetings: *“In Emergency Order #12, issued by the Governor of the State of New Hampshire pursuant to Executive Order #2020-04, certain provisions of RSA 91-A regulating the operation of public body meetings have been waived during the declared COVID-19 State of Emergency.*

Specifically:

- *The requirement that a quorum of a public body be physically present except in an emergency requiring immediate action under RSA 91-A:2, III(b);*
- *The requirement that each part of a meeting of a public body be audible or otherwise discernible to the public at the location specified in the meeting notice as the location of the meeting under RSA 91-A:2, III(c).*
- *Provided, however that the public body must:*
 - *Provide access to the meeting by telephone, with additional access possibilities by video or other electronic means;*
 - *Provide public notice of the necessary information for accessing the meeting;*
 - *Provide a mechanism for the public to alert the public body during the meeting if there are problems with access; and*
 - *Adjourn the meeting if the public is unable to access the meeting.*
- *All votes are to be taken by roll call.*
- *All board participants shall identify the location from where they are participating and who is present in the room with them.*

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Chair Barrett said the public may access the meeting online by visiting the Zoom website, www.zoom.us/join, and entering the Meeting ID, which he stated. The Meeting ID also appeared on the Agenda for the meeting. The public can, listen, but not view, the meeting by calling the toll-free phone number (888) 475-4499 and entering the Meeting ID. He noted that if someone is unable to access the meeting, they should call 603-757-0622.

Chair Barrett called the meeting to order at 6:30 PM and roll call was taken.

II. Minutes of previous meeting – November 23, 2020 Meeting

A motion was made by Mayor George Hansel to accept the November 23, 2020 minutes. The motion was seconded by Councilor Michael Remy and was unanimously approved.

III. Advice and Comment

Patricia Russell Park Conceptual Design – Andy Bohannon, on behalf of the City of Keene, seeks input on the proposed redesign of Patricia Russell Park (formerly Carpenter Field) located at 0 Carpenter St (TMP# 573-073-000). This property is 4.96-ac and is located in the Medium Density District.

Parks Recreation and Facilities Director Andy Bohannon addressed the Board. Mr. Bohannon stated in 2010 the Comprehensive Master Plan called for a management plan for parks and recreation. In 2012, the Active and Passive Plan was created and one of the recommendations in the plan was to look at each park and see if each should be repurposed to benefit the community. As a result of this planning effort, it was apparent that Carpenter Field, which has been renamed to Patricia Russell Park, was in need of revitalization. The Conway School of Design was brought on by the City to look at the future for the Park. They came up with a concept plan for a redesign of the park space, which was placed in the CIP for 2020.

In 2020, the City contracted with the firm Milone and Macbroom to facilitate and develop the design phase for the park. Mr. Bohannon stated a committee was put together consisting of community members and staff and the plan was to create a signature playground for the community; provide pedestrian circulation and create an athletic field. Mr. Bohannon presented two design concepts to the Board. He reviewed the array of proposed amenities and park features proposed in each design, and distinguished where they differ from each other.

Concept 1: Mr. Bohannon noted that this design extends beyond the existing city-owned park parcel. There is a walking track planned to surround the parcel, creating a multi-generational approach to recreation. He explained each of the blue dots has a specific item and explanation can be found on the website. Some of the proposed amenities in this concept include pavilion areas, unique vantage points, a recreation field for sports such as rugby, lacrosse, and soccer, playground areas, bocce court, connections with Beaver Brook for youth and adults, a kiosk for education on the brook, stormwater infiltration areas, a parking lot (not on City property), and parking on Carpenter Street.

77 Mr. Bohannon noted the existing Linden Trees along Carpenter Street will be retained as
78 they provides a lot of value to the park.

79
80 Concept 2: Mr. Bohannon reviewed the different features proposed in this design. These
81 features include a parking on the property as well as along Carpenter Street, an area for
82 food trucks, public restrooms, storage and gathering areas for recreation teams,
83 playground spaces, connections to Beaver Brook for youth and adults including a path
84 into the brook, rain garden and stormwater infiltration, an overlook, and more.

85
86 Mr. Bohannon stated these plans are available on the Parks and Recreation website. He
87 indicated staff is requesting public input through the end of the month. This concluded
88 Mr. Bohannon’s presentation.

89
90 Chair Barrett asked when construction is slated to begin. Mr. Bohannon stated final
91 design is set to be complete by January/February 2021 with construction to begin in
92 September 2021.

93
94 Ms. Russell Slack reminded everyone that Patricia Russell is her mother. She
95 commended the project and noted her family is in favor of concept 2. Ms. Russell Slack
96 stated this would be a great project for the community.

97
98 Mr. Bohannon stated if the public is having a hard time making comments online to
99 please email comments to him directly – abohannon@ci.keene.nh.us

100
101 Mayor Hansel stated there are elements in both concepts he likes and asked whether in
102 the future there will be a connectivity to downtown – a pedestrian bridge over Beaver
103 Brook. Mr. Bohannon stated there have been conversations undertaken with property
104 owners on the west side of Beaver Brook. He stated he is hoping for some grant funding
105 to make this happen.

106
107 Mayor Hansel referred to concept 2 and asked how slow Beaver Brook was going to be
108 and whether there is a plan to have standing water; the Mayor felt standing water next to
109 an athletic field could cause a mosquito issue.

110
111 Chair Barrett asked what type of lighting is being planned. Mr. Bohannon stated at the
112 present time the plan is for lighting to happen from dawn to dusk. He indicated the city is
113 working with the Rugby Club and Lacrosse Club to look at field lighting which is outside
114 the scope and is something that could be considered if additional funds can be raised in
115 the community.

116
117 **III. Boundary Line Adjustment:**
118 **S-08-20 – Boundary Line Adjustment** – 89 Main St & 0 Commercial St – Applicant
119 and owner Colonial Theatre Group Inc. proposes a boundary line adjustment between
120 their property located at 89 Main Street (TMP# 575-008-000) and 0 Commercial Street
121 (TMP# 575-010-000), which is owned by the City of Keene, NH. This adjustment would
122 result in a transfer of 0.01-acres (370.5 sf) from the 1.6-acre lot located at 0 Commercial

123 Street to the 0.36-acre lot located at 89 Main Street. Both properties are located in the
124 Central Business District. The applicant is requesting a waiver from Standard III.C.5.b of
125 the Planning Board's Site Plan and Subdivision Regulations that requires a survey plan
126 showing all metes and bounds of the revised parcels be submitted as part of a boundary
127 line adjustment application.

128

129 A. Board Determination of Completeness

130 Senior Planner, Tara Kessler addressed the Board and stated the applicant has requested
131 exemptions from providing a separate grading plan, landscaping plan, lighting plan, and
132 technical reports. She noted the proposal is for a boundary line adjustment and no new
133 development is proposed with this application. The Colonial received approval from the
134 Board in the recent past for an expansion of their building. The proposed lot line
135 adjustment is to accommodate that addition. After reviewing this request, Staff has
136 determined exempting the applicant from submitting this information would have no
137 bearing on the merits of the application.

138

139 She went on to say the applicant has prepared a metes and bounds survey for the Colonial
140 Theater property at 89 Main St and for the portions of the 0 Commercial Street that will
141 be affected by the adjustment. The metes and bounds survey does not include all of 0
142 Commercial Street and the applicant is seeking a waiver from providing the full metes
143 and bounds of the property at 0 Commercial Street. Ms. Kessler noted the Board will not
144 be able to address that waiver until the public hearing is opened.

145

146 A motion was made by Mayor George Hansel that the Planning Board accept this
147 application as complete. The motion was seconded by Councilor Michael Remy and was
148 unanimously approved by roll call vote.

149

150 B. Public Hearing

151 Attorney Gary Kinyon addressed the Board on behalf of the applicant. Attorney Kinyon
152 noted with respect to the waiver request, there was a document submitted that outlines the
153 four standards that are required to support the granting of the waiver.

154

155 *a) That granting the waiver will not be contrary to the spirit and intent of these*
156 *Regulations;*

157 Attorney Kinyon noted the boundary line adjustment involves only 370.5 square feet of
158 land, a three-foot corridor along the western edge and a portion of the northern edge of
159 the Colonial property. The city parcel is 1.6 acres and hence the applicant feels it would
160 not be contrary to the spirit and intent of the regulations not to survey the entire 1.6 acres.

161

162 *b) That granting the waiver will not increase the potential for creating adverse impacts*
163 *to abutters, the community or the environment; and*

164 Attorney Kinyon stated the Colonial is going to be constructing an addition that would
165 extend to the back to the western boundary of the Colonial Theater property pursuant to
166 the site plan application which was approved by the Planning Board. The need for the
167 boundary line adjustment is to locate underground foundation components for this
168 addition in an area that is presently city-owned land. The city suggested that the applicant

169 obtain this land from the city rather than seek an easement from the city. Hence, the
170 reason for the boundary line adjustment. Once these components are installed
171 underground to support the foundation, the ground will be covered and there will be no
172 difference to the ground after the installation and will not create any adverse impacts.

173

174 *c) That granting the waiver has not been shown to diminish the property values of*
175 *abutting properties.*

176 This relates to the reason for the boundary line adjustment – nothing on the ground will
177 change before and after the adjustment.

178

179 *d) Consideration will also be given to whether strict conformity with the regulations or*
180 *Development Standards would pose an unnecessary hardship to the applicant.*

181 The Colonial Theater would like to keep its surveying costs down with this boundary line
182 adjustment and the Board could reasonably evaluate the boundary line adjustment
183 without the need for a full survey.

184

185 A motion was made by Mayor George Hansel that the Planning Board grant a waiver
186 from Standard III.C.5.b of the Planning Board’s Site Plan and Subdivision Regulations
187 that all metes and bounds be surveyed for 0 Commercial Street for TMP# 575-010-000
188 for the boundary line adjustment application for S-08-20. The motion was seconded by
189 Councilor Michael Remy and was unanimously approved by roll call vote.

190

191 Attorney Kinyon went on to address the boundary line adjustment. He explained this
192 request is pursuant to a site plan application approved by the Planning Board in
193 September. It is for the purpose of an addition to the west end of the theater.

194

195 Attorney Kinyon noted slide 9 of the staff report shows the survey plan created by David
196 Mann. As noted previously, 370.5 square feet is the area of the boundary line adjustment
197 (the area going from the city to the theater). The boundary line adjustment will increase
198 the Colonial Theater’s property to approximately 0.36 acres and reduce the city property
199 to 1.59 acres.

200

201 Attorney Kinyon referred to the comments from staff regarding the northern portion of
202 the boundary line adjustment which would be the sidewalk between Colonial Theater and
203 the Commercial Street parking area. Staff’s recommendation is that an easement be
204 provided to the city from the Colonial as part of the boundary line adjustment so that the
205 sidewalk can still be used. The Colonial Theater has not objection to providing this
206 easement. This concluded Attorney’s Kinyon’s remarks.

207

208 Staff comments were next. Ms. Kessler reiterated the issue with the sidewalk mentioned
209 by Attorney Kinyon.

210

211 Mayor Hansel asked whether the issue with the easement needs to be included in the
212 motion as this is going to be part of the negotiation between the City Manager and the
213 Colonial Theater. Ms. Kessler stated the City Attorney had asked that this item be

214 included as part of the condition of approval as the Colonial will now own land that will
215 be accessed by the city as well as part of the Commercial Street lot.

216

217 The Chairman asked for public comment. With no public comment, the Chairman closed
218 the public hearing.

219

220 C. Board Discussion and Action

221 A motion was made by Mayor George Hansel that the Planning Board approve S-08-20,
222 as shown on the plan identified as “Boundary Line Adjustment Plan Prepared for City of
223 Keene and Colonial Theatre Group, Inc., City of Keene, County of Cheshire, State of
224 New Hampshire” prepared by David Mann Survey at a scale of 1” = 20’ on December 1,
225 2020 and last revised on December 8, 2020 with the following conditions prior to
226 signature by the Planning Board Chair:

227 1. Owners’ signature appears on plan.

228 2. Documentation of any necessary easements or agreements between the City of Keene
229 and the Colonial Theatre Group Inc. shall be submitted to the Community Development
230 Department.

231 The motion was seconded by Councilor Michael Remy and was unanimously approved
232 by roll call vote.

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234 V. Public Hearings:

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236 **1. CONTINUED – SPR-963, Modification #3** – Site Plan – Sunoco Curb Cut
237 Modifications, 345 Winchester St. – Applicant McFarland Johnson, Inc., on behalf of
238 owner, RE Sandri TVE LLC, proposes to close an existing curb cut along Winchester
239 Street and create a new curb cut along Old Key Road at the site of the Sunoco Gas
240 Station located at 345 Winchester Street (TMP# 111-027-000). The site is 0.63 acres in
241 size and is located in the Commerce District.

242

243 Ms. Kessler noted this public hearing was opened at the November Planning Board
244 meeting and was continued to this meeting. On December 16, staff received a letter from
245 the applicant, Eugene McCarthy of McFarland Johnson requesting the application be
246 withdrawn. The owner Sandri Realty no longer wishes to pursue the new curb cuts on the
247 site.

248

249 A. Board Discussion and Action

250 A motion was made by Mayor George Hansel that the Planning Board accept the
251 withdrawal of the application for SPR 963 Mod. 3 for 345 Winchester Street without
252 prejudice.

253 The motion was seconded by Councilor Michael Remy and was unanimously approved
254 by roll call vote.

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256 **2. SPR-878, Modification #1 – Site Plan** – Volkswagen Addition, 18 Production Ave. –
257 Applicant and owner 18 Production Ave LLC proposes a 3,690-sf single-story addition to
258 the existing 11,270-sf Noyes Volkswagen building located at 18 Production Ave (TMP#
259 110-004-000). The site is 2.14 acres in size and is located in the Industrial District.

260

261 A. Board Determination of Completeness

262 Planner Mari Brunner addressed the Board and stated that the applicant requests
263 exemptions from providing building elevations that have been prepared and stamped by
264 an architect registered in the State of NH, a lighting plan, a drainage report, and a traffic
265 report. Staff recommend that the board grant these exemptions and accept the application
266 as complete.

267

268 A motion was made by Mayor George Hansel that the Board accept that application SPR
269 878, Modification #1. The motion was seconded by Councilor Michael Remy and was
270 unanimously approved by roll call vote.

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272 B. Public Hearing

273 Mr. Jim Phippard of Brickstone Landuse Consultants addressed the Board on behalf of
274 the applicant. He referred to a plan and explained the area shaded in yellow is the current
275 Noyes Volkswagen property. To the north is the Hyundai Dealership. To the left of the
276 Hyundai Dealership is another motor vehicle dealership, Subaru of Keene.

277

278 The existing Noyes Volkswagen property is 11,270 square feet which includes a
279 mezzanine area and is located on a 2.14 acre lot. The property is located in the industrial
280 district. City water and sewer exist at this site.

281

282 The proposal before the Board is to construct an addition on the southerly side of the
283 building. Mr. Phippard indicated Code Enforcement has asked the applicant to designate
284 where customer and employee parking will be located – those areas have been designated
285 and noted those areas have been shown on the plan.

286

287 Mr. Phippard explained the landscaping plan. The applicant proposes to replace five
288 Norway maples along Production Avenue, which have died, with five Red maples. The
289 applicant does not propose to alter the existing plants that have matured over the last 20
290 years. What is being proposed will comply with what is required under zoning for the
291 number of parking spaces.

292

293 Mr. Phippard then went on to refer to the building elevations. The addition will be a
294 metal building with a flat metal roof and will match what exists on the site today.

295

296 Two lights will be added over the egress doors and one over the overhead the building
297 addition. They will be full cut off LED fixtures. The applicant is requesting an exemption
298 for providing a photometric plan as these lights will have no impact on adjacent sites.
299 This concluded Mr. Phippard's comments.

300

301 Mari Brunner addressed the Board in reference to staff comments.

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303 Drainage: The proposed addition would be located in a paved area hence there will be no
304 increase in impervious surfaces and no increase in runoff. This standard appears to be
305 met.

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Sedimentation and Erosion Control: The Applicant proposes to install silt fencing to the south and east of the area to be disturbed and has provided a detail for silt fencing which is included on the proposed site plan.

Landscaping: Ms. Brunner referred to the plan approved in 2000. The current proposal is to reduce the number of plantings on site. The Norway maples planted on site have since died and the applicant is proposing to replace these with five red maples along Production Avenue. The trees that are no longer on site were located either to the side or to the rear of the site. The total number of trees are being reduced from 18 to 12 and as indicated the existing plantings around the site have grown quite a bit over the last 20 years.

Ms. Brunner noted the landscape standard requires one tree for every ten parking spaces in parking lots of ten spaces or more. There will be a total of 12 trees on site. There are 75 parking spaces for employee and customer parking, and an additional 60 parking spaces for display only. Staff recommend that the display parking spaces should not count towards the total number of parking spaces for the purposes of this standard due to their intended use as display parking. Ms. Brunner noted staff feels the landscape standard has been met.

The Chairman asked for public comment next. With no comment from the public, the Chairman closed the public hearing.

C. Board Discussion and Action

A motion was made by Mayor George Hansel that the Planning Board approve SPR-878, Modification #1 for the construction of a 3,690-sf single-story addition to the existing, 11,270-sf Noyes Volkswagen building located at 18 Production Ave (TMP# 110-004-000), as depicted on the site plan identified as "Addition to Noyes Volkswagen, Inc." prepared by Brickstone Land Use Consultants at a scale of 1 inch = 40 feet, dated November 9, 2020 and last revised on December 7, 2020 with the following conditions prior to signature by Planning Board chair:

1. Submittal of a security for landscaping in an amount acceptable to the City Engineer and Community Development Director.

The motion was seconded by Councilor Michael Remy and was unanimously approved by roll call vote.

VI. Adoption of 2021 Meeting Schedule

A motion was made by Mayor George Hansel that the Planning Board adopt the 2021 meeting schedule. The motion was seconded by Councilor Michael Remy and was unanimously approved by roll call vote.

352 **VII. Community Development Director Report**

353 Mr. Lamb recognized Doug Barrett and Chris Cusack for their years of service on the
354 Planning Board. He stated it has been a pleasure working with both these individuals and
355 thanked them for their service.

356

357 Chair Barrett thank staff for all their assistance during his time on the Board. Vice-Chair
358 Cusack echoed the Chairman's comments.

359

360 **VIII. New Business**

361 None

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363 **IX. Upcoming Dates of Interest** – December 2020

364 • Joint PB/PLD Committee – Monday, January 11, 6:30 PM & TUESDAY, January 19,
365 6:30 PM

366 • Planning Board Steering Committee – January 12, 11:00 AM

367 • Planning Board Site Visits – January 20, 8:00 AM – To Be Confirmed

368 • Planning Board Meeting – January 25, 6:30 PM

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370 The meeting adjourned at 8:15 pm.

371

372 Respectfully submitted,

373

374 Krishni Pahl

375 Minute Taker

376

377 Reviewed by: Tara Kessler, Senior Planner

STAFF REPORT

SPR-04-20 -SITE PLAN REVIEW – Group Home, 169 Church Street

Request:

Applicant Timothy Sampson, on behalf of owner Boisvert Construction of Winchester LLC, proposes to construct a 5,690-sf two-story, duplex-style group home with a habitable attic and a maximum occupancy of 24 people on the vacant lot located at 169 Church Street (TMP# 574-027-000). The site is 0.58 acres in size and is located in the High Density District.

Background:

The property located at 169 Church Street was previously the site of a multi-family residential building, which burned down in March of 2017. Currently, the lot is vacant and the damaged structure has been removed. The site is bordered by Church Street to the north, residential properties to the east and west, and Beaver Brook to the south. Pat Russell Park is located immediately to the southeast of the property (see Figure 1). The site is located entirely within the Beaver Brook floodway.

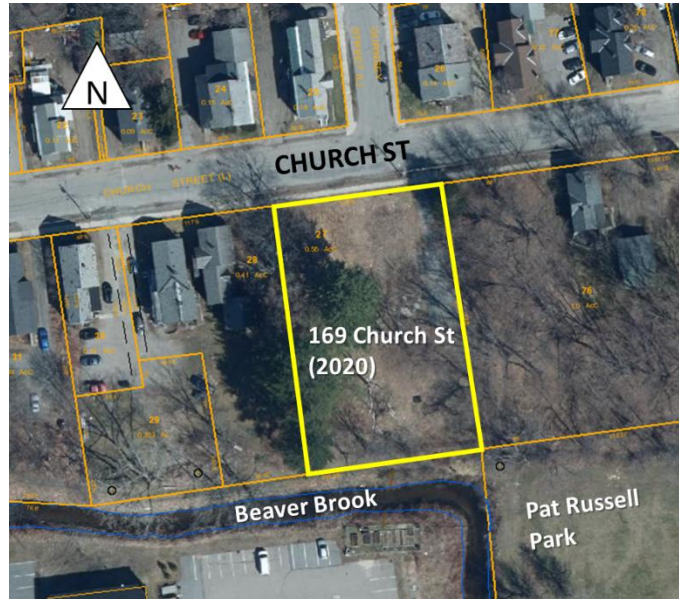


Figure 1. An image showing an aerial view of the property located at 169 Church Street using 2020 imagery. The 169 Church Street lot is outlined in yellow.

The Applicant proposes to construct a 5,690-sf two-story, duplex-style group home with a habitable attic and a maximum occupancy of 24 people in roughly the same location as the previous structure on the site. The Applicant proposes to utilize the existing curb cut and parking area to provide 5 on-site parking spaces. Per Sec. 102-977 of City code, the Zoning Administrator has determined that the proposed number of parking spaces is adequate for the use.

Completeness:

The Applicant requests exemptions from providing a grading plan, a separate landscaping plan, a lighting plan, a drainage report, a soils report, and a traffic report. Staff recommend that the board grant these exemptions and accept the application as “complete.”

Departmental Comments: Included below are comments provided by City staff as part of their review of the application. Some of these comments have been addressed by the applicant.

Zoning:

1. The dumpster needs to be located on an approved surface.
2. Please submit a separate parking narrative signed by the applicants in order to complete the minimum parking determination as required under Sec. 102-977.

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Code Enforcement:

1. Please be aware that a floodplain development permit will be required as part of the building permit for the new building.
2. Please be aware that an elevation certificate will be required prior to issuance of a certificate of occupancy for the building.

Engineering:

1. Please show the existing water and sewer utility connections to the building.
2. Please be aware that a separate water connection will be required for the sprinkler system (it cannot be tied in with the domestic water line).
3. Please be aware that an excavation permit will be required for any utilities connections in the public right-of-way.
4. Please show the dimensions of the proposed parking stalls and travel aisle.

Application Analysis: The following is a review of the Planning Board development standards relevant to this application.

1. **Drainage:** The Applicant proposes to construct a group home with a building footprint of 2,260-sf. This footprint is smaller than the previous structure on the site, which had a footprint of 2,490-sf. No other changes to impervious surfaces are proposed at this time. The Applicant notes that, due to the decrease in impervious cover, there will not be an increase in the velocity or volume of runoff from the site. This standard appears to be met.
2. **Sedimentation and Erosion Control:** The Applicant proposes to install silt fencing along the south (rear) end of the site adjacent to Beaver Brook to prevent sediment or silt from entering the water body. A detail has been provided on the proposed site plan for the silt fence. This standard appears to be met.
3. **Hillsides:** There are no steep slopes present on the site. This standard does not apply.
4. **Snow Storage:** The Applicant proposes to store snow at the end of the driveway on either side of the proposed dumpster, as shown on the proposed site plan. This standard appears to be met.
5. **Flooding:** This site is located entirely within the floodway for Beaver Brook. The City Floodplain Administrator has determined that a new structure would be allowed as long as it is located in the same location as the previous structure on the site. In the project narrative, the Applicant states that the building will be constructed one foot above the flood elevation mark in accordance with FEMA regulations. In addition, a Floodplain Development Permit will be required as part of the building permit for the proposed new building, and an elevation certificate will be required prior to the issuance of a certificate of occupancy for the building. This standard appears to be met.
6. **Landscaping:** The Applicant proposes to install three landscape beds, including a 4-ft wide "landscape buffer" that wraps around the north (front) end of the building, a 2-ft landscape

STAFF REPORT

buffer along a portion of the west side of the building, and a planting area along the south end of the east building façade, as shown in Figure 2. Staff recommend that the the number and type of plantings (e.g. perennials, annuals, shrubs, etc.) proposed for these planting beds be specified on the site plan, as a condition of approval.

8. **Screening:** The Applicant proposes to install a dumpster at the end of the driveway on a hard pack or asphalt surface. The dumpster will be screened from view with a wood fence that is a minimum of six feet tall. In addition, an HVAC unit is proposed on the west side of the building on a 4-ft by 4-ft concrete pad. This unit is located toward the rear of the building and is screened from view from the street. This standard appears to be met.
10. **Lighting:** The Applicant proposes to install nine wall-mounted lights, including four on the east façade facing the driveway and parking area, two on the rear of the building, and three on the west side of the building. In addition, the Applicant proposes to install two lights affixed to a pole at the rear of the building to illuminate the parking area. All proposed light fixtures are full cut-off LED fixtures that will be placed on timers. All lights will be mounted at a height of 10-ft or less, and will be located a minimum of 25-ft from the property line. This standard appears to be met.
11. **Sewer and Water:** The Applicant proposes to utilize existing sewer and water connections that were used for the previous structure on the site. The proposed sewer and water line is shown on the proposed plan. This standard appears to be met.
12. **Traffic:** In the project narrative, the Applicant states that traffic generation will not increase relative to the previous use, which was a multi-family residential building with six units. According the parking narrative submitted by the owner, only two residents will be allowed to have a personal motor vehicle while residing at this location; no other residents will be allowed to park on the site or on the street. Residents without a car will use public transportation, carpooling, bicycling, and walking to meet their transportation needs. After reviewing the parking narrative, staff have determined that the proposed use is not expected to result in an increase in traffic generation to the site relative to the previous use. Staff recommend that the Planning Board consider including a condition of approval which states that any future change in the use or operation of the site will require review by the Community Development Department to ensure the proposed changes are in compliance with City's minimum parking requirements for off-street parking.

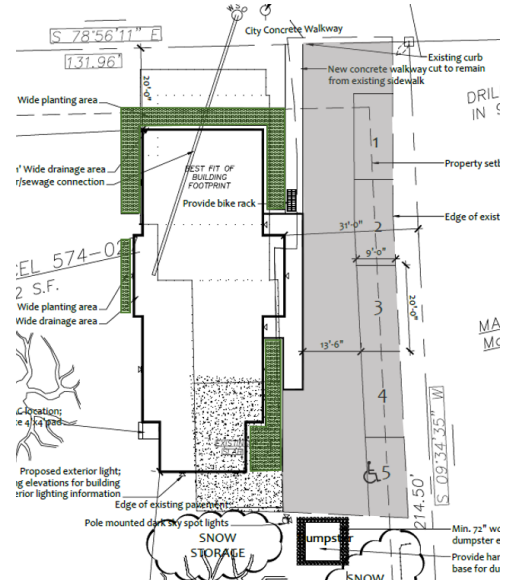


Figure 2. Excerpt from the site plan submitted by the Applicant which shows the proposed landscaping beds, shaded in green.

STAFF REPORT

With respect to parking, the Applicant proposes to provide five parallel parking spaces: two for residents, two for guests, and one van-accessible space to meet ADA requirements. These parking spaces are proposed to be located along the left side of the driveway. The Board may consider asking the Applicant how vehicles will safely navigate into these parallel spaces given their placement on the lot, lack of turnaround area for vehicles on the site, and the close spacing between spaces. In addition, in order to prevent residents from parking on the grass at the end of the driveway, staff recommend that a fence or other barrier be installed at the end of the driveway as a condition of approval.

With respect to bicycle parking, a bicycle rack is proposed near the main entrance. This standard appears to be met.

13. Comprehensive Access Management: The Applicant proposes to accommodate non-vehicle trips to the site by installing a concrete walkway that will connect the main entrance of the building to the City sidewalk. In addition, a bicycle rack will be provided adjacent to the main entrance. No changes are proposed to the existing curb cut, which is shown in Figure 3. This standard appears to be met.



Figure 3. Google street view image of the 169 Church Street property from May 2012, which shows the existing curb cut and City sidewalk on Church Street.

15. Filling and Excavation: In the project narrative, the Applicant notes that the proposed structure will utilize the existing foundation for the previous structure to the extent possible. Any fill on the site would be subject to the City's compensatory storage requirements through the floodplain Development Permit process. In order to ensure that any stockpiled materials are appropriately handled, staff recommend that a note be added to the plan that states "All erosion and sediment control measures shall comply with the standards and practices contained in the most recent version of the New Hampshire Department of Environmental Services NH Stormwater Manual."
16. Wetlands: There are no wetlands present on or near the site. This standard does not apply.
17. Surface Water: The south (rear) end of this property abuts Beaver Brook. The Applicant has included the 30-ft. surface water protection buffer on the proposed site plan. No work is proposed within the buffer; this standard appears to be met.
19. Architecture and Visual Appearance: The Applicant proposes to construct a colonial style two-story group home with a habitable attic and a gable end facing the street. This structure is proposed to be a wood-framed building with grey vinyl siding, black shutters, and black architectural shingles. The height of the proposed building is 31'-10¼" above-grade, which is

STAFF REPORT

consistent with the architectural scale of the neighborhood. The architectural elevations are included as an attachment to this staff report.

This standard states that “Front facades and exterior walls shall be articulated to reduce the massive scale and...to provide visual interest consistent with the City’s distinctive architectural identity, unique character, and prevailing human scale.” The proposed building is consistent with the architectural style of other buildings on the street, which are predominantly wood clapboard residential buildings with gable ends facing the street. The proposed building elevations include fenestration at the pedestrian scale, including windows and a side entry door along the north elevation facing Church Street.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

Approve SPR-04-20 for the construction of a 5,690-sf two-story group home with a habitable attic on the property located at 169 Church Street (TMP# 574-027-000), as depicted on the plan set identified as “Proposed Building, 169 Church Street, Keene, NH 03431” prepared by Sampson Architects at a scale of 1 inch = 16 feet and dated December 17, 2020 and last revised on January 11, 2021 with the following conditions:

1. Prior to signature by Planning Board chair:
 - A. Submittal of a revised site plan that includes the following:
 - i. A note which states “All erosion and sediment control measures shall comply with the standards and practices contained in the most recent version of the New Hampshire Department of Environmental Services NH Stormwater Manual.”
 - ii. A fence or other barrier at the southern-most end of the parking area to prevent parking on the grass.
 - iii. A table noting the number and type of plantings proposed for the three landscape beds surrounding the proposed building.
 - B. Owner’s signature appears on plan.
2. Any change in use or operation of the property will require review by the Community Development Director and Zoning Administrator to ensure the proposed changes are in compliance with City’s minimum off-street parking requirements.

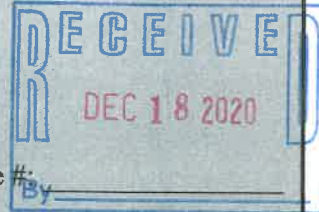
SPR-04-20

CITY OF KEENE | PLANNING BOARD SITE PLAN REVIEW / MODIFICATION APPLICATION



This form must be filled out in its entirety. If a box is not checked, staff will assume that the information is not provided and the application is, therefore, not complete. Incomplete applications will not be accepted for review.

A	Project Name Proposed Building 169 Church St	Date Received/Date of Submission:
	Tax Map Parcel number(s) 597-027-000-000-000	Date of pre-application meeting:
		Date Application is Complete:
		Community Development Dept File #:



Project Address: 169 Church St	Owner	PRINTED Name: Boisvert Construction of Winchester LLC
		Signature: see authorized agent
Address: 401 Keene Road Winchester NH 03470		
Telephone\ Email: boisvertconstruction@att.net		
Acreage/S.F.of Parcel: .58 /	Applicant	PRINTED Name: Timothy Sampson
Zoning District: HD		Signature: TJS
		Address: 103 Roxbury St Suite 206 Keene NH 03431
		Telephone\ Email: Tim e Sampson Architects.com 603 769 7736

Modifications: Is this a modification to a previously-approved site plan: No Yes: SPR#: _____ Date: _____

For those sections of the application that are not affected by the proposed modification to the previously approved site plan, you are encouraged to request exemptions in lieu of submitting required documents.

B Descriptive Narrative Including

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Type of development | <input checked="" type="checkbox"/> Sedimentation Control | <input checked="" type="checkbox"/> Scope/scale of development |
| <input checked="" type="checkbox"/> Proposed uses | <input checked="" type="checkbox"/> Vegetation | <input checked="" type="checkbox"/> Parcel size |
| <input checked="" type="checkbox"/> Location of access points | <input checked="" type="checkbox"/> Debris management | <input checked="" type="checkbox"/> Proposed stormwater, drainage & erosion plan |
| <input checked="" type="checkbox"/> Any other descriptive information | <input checked="" type="checkbox"/> Disposal proposals for boulders, stumps & debris | |

C A complete application must include the following

Sampson Architects Memo: Authorized Agent

103 Roxbury Street

Suite 206

Keene, NH 03431

16 December 2020

To: Community Development

City of Keene

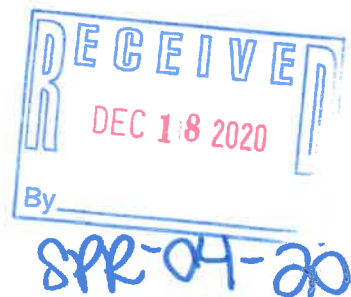
Re: Authorized Agent

Sampson Architects

I, Suzanne Boisvert , owner of 169 Church Street Street Keene, NH , authorize Timothy Sampson (Sampson Architects) to apply for and represent me in filing any necessary applications required for permitting and approvals for all work at 169 Church Street, including but not limited to appearing before any government agency at general meetings or public hearing addressing such construction or improvements at my property located at 169 Church St. Keene NH.



Suzanne Boisvert (owner)



Narrative for Prospect House – Church St

169 Church St.
Map 574 Lot 027
Suzanne and David Boisvert
Boisvert Construction
Prospect House
401 Keene Rd
Winchester, NH 03470
boisvertcontstruction@outlook.com
David 603-762-0393
Suzanne 603-762-0611

We propose to build a two-story building one foot above the flood elevation mark in accordance with FEMA regulations for the purpose of a Sober Living (Social Model) Co-ed Group home. Women would live on one side and men on the other (two separate entrances, duplex style, one building) It is intended now for co-ed but this may vary based on need.

There was a four-unit apartment building previously on this site. The building has been removed and we intend to rebuild there and use the existing access point and driveway. Since this was already in use previously, we are not changing the lot layout. The current vegetation, sedimentation controls, such as grass remains on site. Since the site will be used as previously used there, we are not changing stormwater, drainage or erosion plans. The existing paved driveway and parking will be used and may just need some repair. One pine tree will be removed professionally from the site. The parcel size is .58, it a fairly level, open grassy lot. Carpenter Field abuts it in the rear, it is separated by a fence.

Parking Plan:

Use Existing paved parking lot. Lot will be marked out (stripped)

10 total:

2 ADA

2 Manager

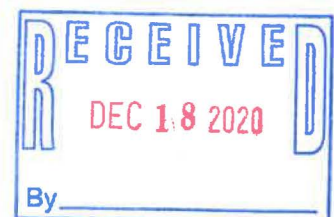
4 Residents (will be designated by manager)

2 Guests

No other residents or guests will be allowed to park on property or on street, this will be a house rule and will be enforced. Residents will use public transportation, car pooling, taxi's, bicycles, walking and shared rides (residents/manager) as mode of transportation. Typically, not all residents would own a vehicle at this stage of recovery.

Garbage Plan:

Dumpster – Straight ahead at the end of the driveway



SPK-04-20

Drainage: Existing Grass, natural flow of lot as is.

Sedimentation & erosion control: The current vegetation, sedimentation controls, such as grass remains on site. Since the site will be used as previously used there, we are not changing stormwater, drainage or erosion plans.

Hillside Protection: N/A (no elevation)

Snow Storage: will be at the end of the driveway.

Flooding: Building will be built 1 foot above the certified flood plain

Landscaping: Lot will remain as is, open with grass

Screening: N/A

Noise: We anticipate no increased noise with this new building over the previously existing building. The level of noise will be consistent with the residential neighborhood

Air quality: Heating and ventilation system to be installed by professional HVAC contractor. No pollutants will be introduced the neighborhood beyond what would be expected from a residential development.

Lighting Plan: We intend to use Dark Sky lights outside with 75watt bulbs LED
Fixtures will be black lantern style

Sewer & Water: City of Keene

Traffic: Traffic will flow in and out of the existing driveway, we anticipate no increased traffic with this new building over the previously existing building. Levels of traffic will be consistent with a residential development.

Hazardous & Toxic Materials: N/A

Filling & Excavation: Intend to replace foundation to build upon.

Wetlands: Abuts property in rear, intend to install silt fence as required during construction. All construction will be outside the wetlands and pre requirements within a flood plain.

Surface waters: none

Stump dumps: unknown to us

Visual and Architectural Details: Wood Framed, Colonial style Duplex with Grey vinyl siding, black shutters, black exterior doors, Architectural Lifetime black shingles. Exterior finishes will be consistent with the neighborhood.

169 Church St

Parking Plan:

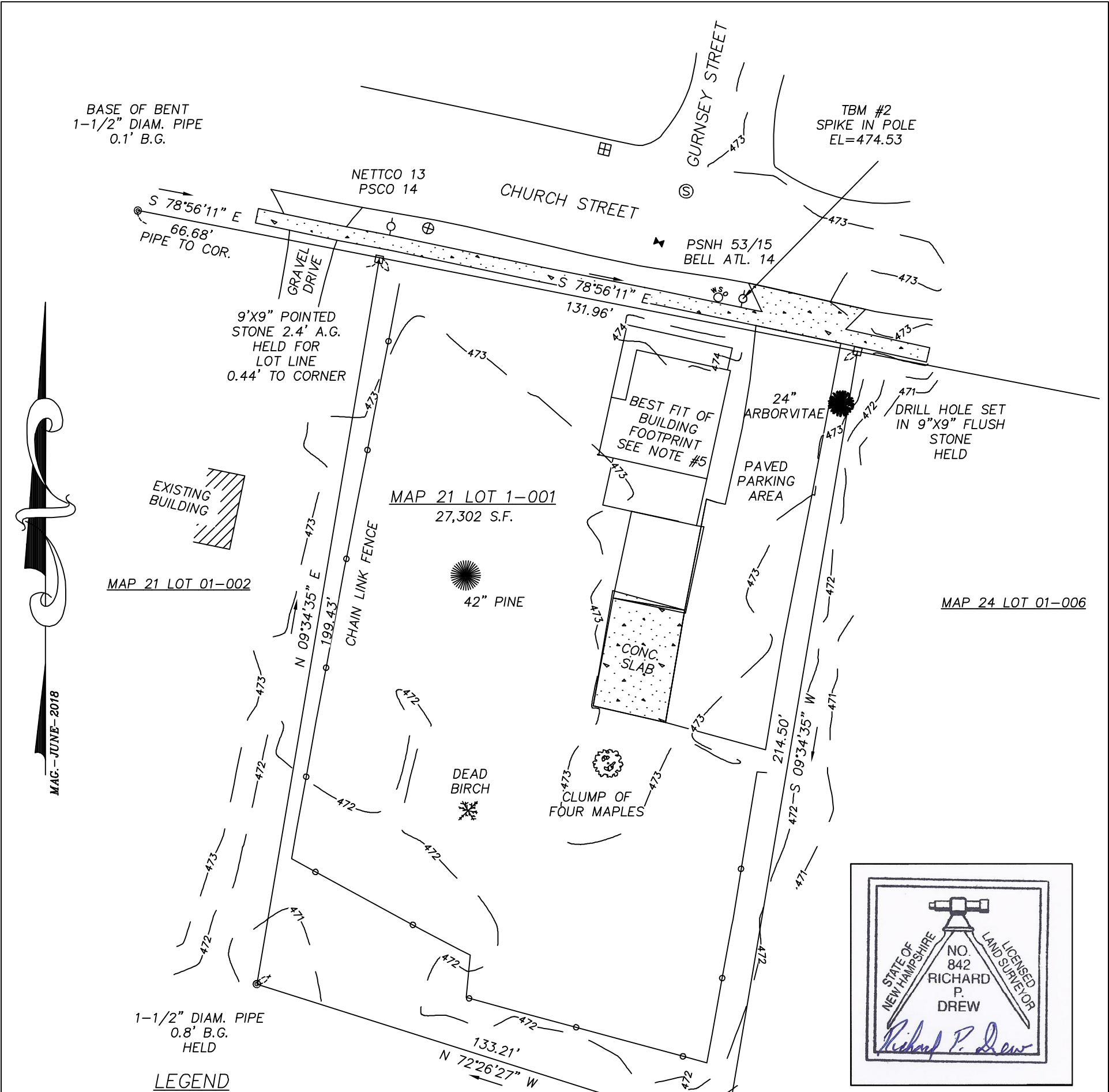
Use Existing paved parking lot. Parking will be marked out (stripped)

5 total:

1 ADA 2 Residents (will be designated by manager) 2 Guests

No other residents or guests will be allowed to park on property or on street, this will be a house rule and will be enforced. Residents will use public transportation, car pooling, taxi's, bicycles, walking and shared rides (residents/manager) as mode of transportation. Typically, not all residents would own a vehicle or have license to drive at this stage of recovery.

Submitted by: Suzanne Boisvert



BASE OF BENT
1-1/2" DIAM. PIPE
0.1' B.G.

TBM #2
SPIKE IN POLE
EL=474.53

NETTCO 13
PSCO 14

CHURCH STREET

GURNEY STREET

S 78°56'11" E
66.68'
PIPE TO COR.

S 78°56'11" E
131.96'

9'X9" POINTED
STONE 2.4' A.G.
HELD FOR
LOT LINE
0.44' TO CORNER

BEST FIT OF
BUILDING
FOOTPRINT
SEE NOTE #5

PAVED
PARKING
AREA

24" ARBORVITAE
DRILL HOLE SET
IN 9"X9" FLUSH
STONE
HELD

EXISTING
BUILDING

MAP 21 LOT 1-001
27,302 S.F.

MAP 21 LOT 01-002

42" PINE

MAP 24 LOT 01-006

N 09°34'35" E
199.43'
CHAIN LINK FENCE

DEAD
BIRCH

CLUMP OF
FOUR MAPLES

214.50'

472-S 09°34'35" W

1-1/2" DIAM. PIPE
0.8' B.G.
HELD

LEGEND

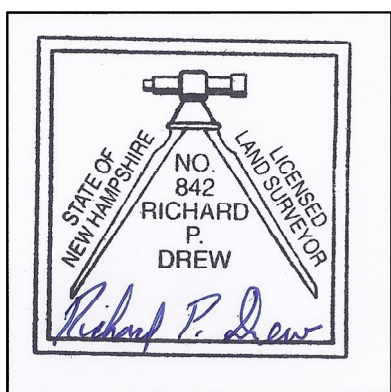
- - UTILITY POLE
- ⊙ - SEWER MAN HOLE
- ⊗ OR ⊞ - CATCH BASIN
- WV - WATER GATE
- ⊕ - WATER SHUT OFF
- AG - ABOVE GRADE
- BG - BELOW GRADE

MAP 23 LOT 04-009-0400

133.21'
N 72°26'27" W

N 81°11'25" E
4.05'
REBAR TO CORNER

5/8" DIAM.
REBAR FOUND
0.2' B.G.



12/21/2020

DATE

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

**EXISTING CONDITIONS
169 CHURCH STREET
KEENE, N.H.**

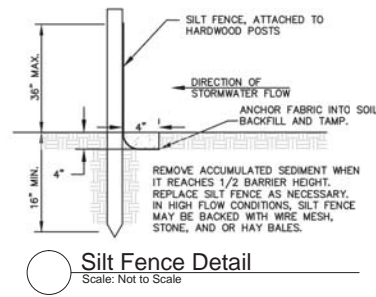
NOTES

1. THE PURPOSE OF THIS PLAT IS TO SHOW THE EXISTING CONDITIONS OF MAP 21 LOT 01-001 AS OF THE DATE OF THIS SURVEY.
2. LOT NUMBERS REFER TO THE CITY OF KEENE PROPERTY MAPS.
3. ELEVATIONS ARE BASED ON NAVD 88.
4. SUBJECT PARCEL IS IN A FLOODWAY AND FLOOD ZONE AE. SEE MAP 33005C0267E EFFECTIVE DATE OF 5/23/2006. BASE FLOOD ELEVATION IS 475.
5. HOUSE LOCATION IS BASED ON TAX RECORDS, FIELD LOCATION, AND GOOGLE EARTH IMAGES.

PREPARED FOR: BOISVERT CONSTRUCTION
401 KEENE ROAD
WINCHESTER, NH 03470
DATE: JUNE 6, 2018
SCALE 1" = 30'
REVISED: JULY 9, 2018
CHANGED BUILDING FOOT PRINT

RICHARD P. DREW, LLC
266 TULLY BROOK ROAD
RICHMOND, NEW HAMPSHIRE 03470
(603) 239-4147 email: rpdrewllc@gmail.com

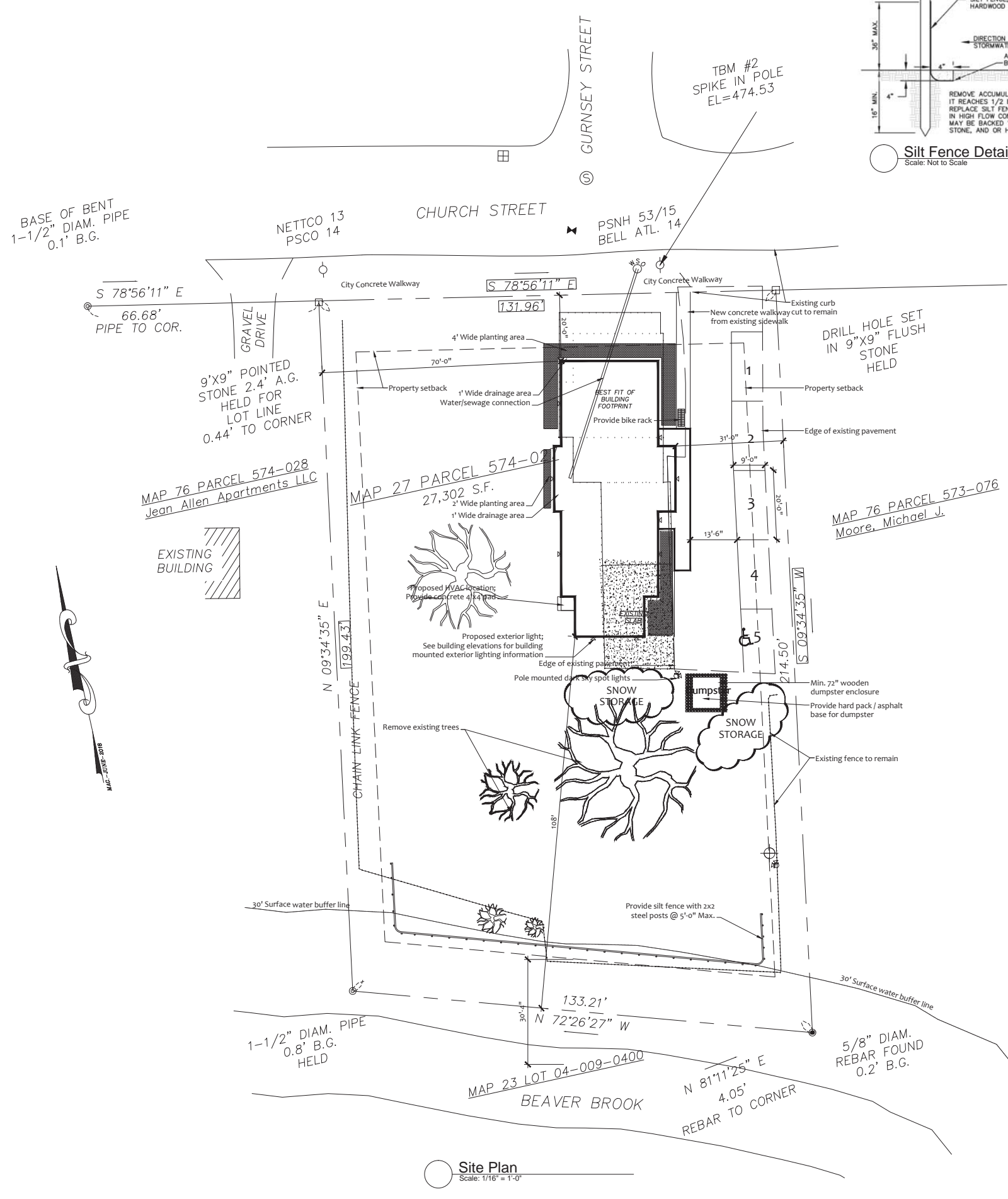
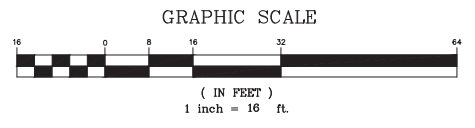
LEGEND	
---	Property Line
----	Site Setback
---	Proposed Building
▨	Existing Building
.....	Existing Foundation
.....	Previous Building on Site
---	Road/Street
---	City Sidewalk
○	Telephone Pole
○	Water/Sewage Connection
○	Sewer Cover
○	Sewer Grate
▨	Planting Area
---	Existing Driveway
○	Tree
---	Property Line Rebar
1	Parking Lot
1	Parking Lot Numbers
♿	Handicap Parking Space
▨	Handicap Clearance
---	Fence
---	Proposed Driveway and Walkways
---	Surface Water Buffer Line
---	Silt Fence
▨	Hard-pack
---	Tree to be removed
○	Building Mounted Exterior Dark Sky Light
○	Pole Mounted Exterior Dark Sky Light



Zoning Data:

Parcel ID:	574-027-000
Owner:	Boisvert Construction of Winchester LLC
Zoning:	HD
Lot Area:	.58 Acres / 25,265 +/- sf

	Required	Previous Structure	Proposed Structure
Lot Size Minimum:	6,000 sf	25,265 sf	25,265 sf
Minimum Lot Area per Dwelling:	5,000 sf	-	12,632 sf
Lot Width Minimum (feet):	50'	132'	132'
Maximum Height (stories):	2	2	2
Maximum Height (feet):	35'	34' +/-	32' +/-
Minimum Yard:	-	-	-
Front:	15'	5'	20'
Side:	10'	33' / 69'	31' / 70'
Rear:	15'	99'	108' +/-
Maximum Percentage of lot covered by structure:	55%	10%	10%
Maximum Percentage of lot covered by impermeable surfaces:	75%	21%	21%
Min. Percentage of green/open space:	40%	79%	79%
Minimum front setback of paved and unpaved parking and travel surface	None	NA	NA
Minimum side setback of paved and unpaved parking and travel surfaces	None	5'	5'
Minimum rear setback of paved and unpaved parking and travel surfaces	None	102'	102'
Required Frontage:	50'	132'	132'
First Floor Sq Ft:	-	2,490 sf	2,260 sf
Second Floor Sq Ft:	-	1,495 sf	2,180 sf
Attic Sq Ft:	-	748 sf	1,250 sf



Site Plan
Scale: 1/16" = 1'-0"

These drawings are LIMITED SCOPE and are intended only to describe general design intent, scale, overall spatial relationships and material where indicated. These drawings shall be considered preliminary for purposes of design review, comment, or budget pricing only, unless expressly released for other purposes as indicated in the issue log. The architect assumes responsibility for errors in the information provided, and not for omissions.

Architect:
Timothy Sampson
NCARB, LEED AP
103 Roxbury Street
Suite 206
Keene, NH
603 769 7736

Engineer:
-

Prepared For
Boisvert Construction
401 Keene Road
Winchester, NH 03470

PROJECT
Proposed Building
169 Church Street
Keene, NH 03431

TITLE
Site Plan

Date:	Revisions:
12.17.20	Planning Bd Submission
1.11.21	Planning Bd Submission R
-	-

SCALE	as noted
DATE	1.11.21
SHEET NUMBER	

A0
22 of 31

A
B
C
D

| 1 | 2 | 3 | 4 | 5 | 6

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Timothy Sampson
 NCARB, LEED AP
 103 Roxbury Street
 Suite 206
 Keene, NH
 603 769 7736



Engineer:

SAMPSON ARCHITECTS
 2020 WOF# 20-047

Prepared For
Boisvert Construction
 401 Keene Road
 Winchester, NH 03470

PROJECT
Proposed Building
 169 Church Street
 Keene, NH 03431

TITLE
Plan Elevations Notes

Date:	Revisions:
12.17.20	Planning Bd Submission
1.11.21	Planning Bd Submission R

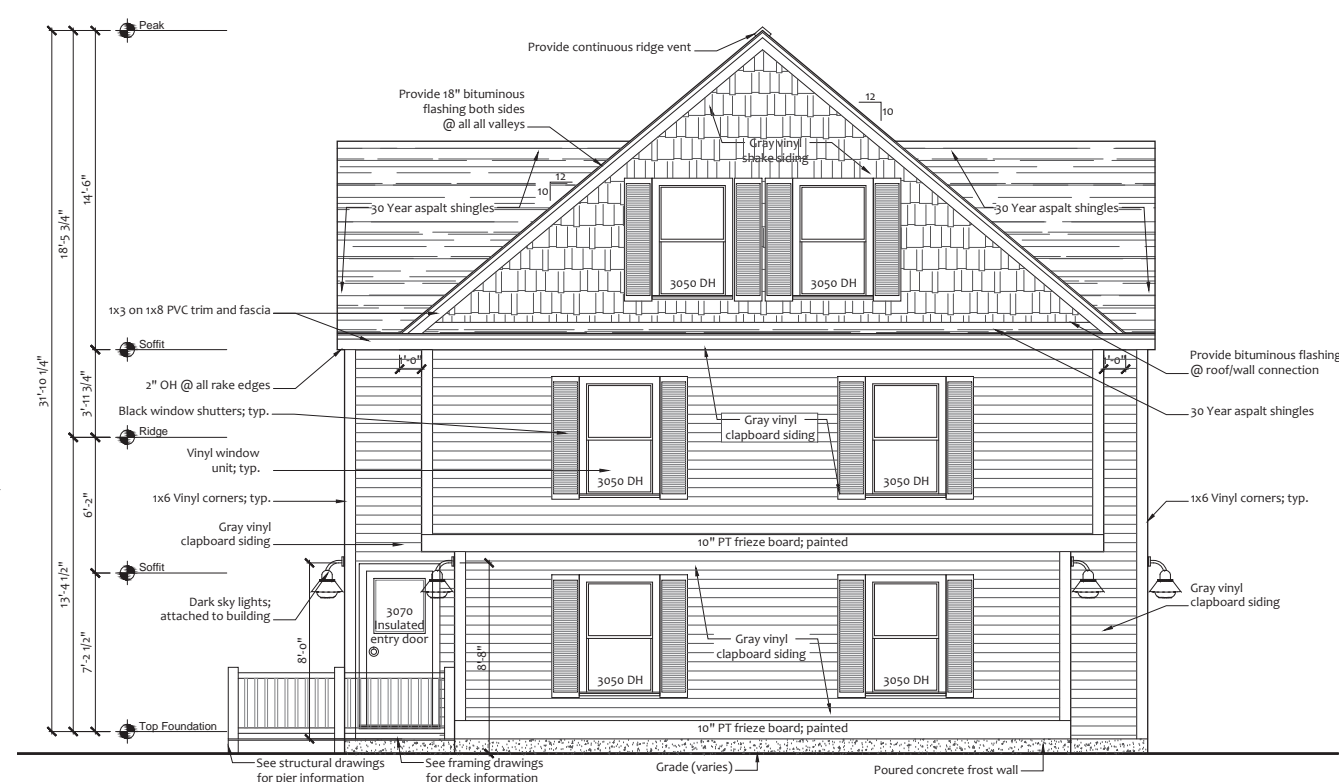
SCALE	as noted
DATE	1.11.21
SHEET NUMBER	

SCALE as noted

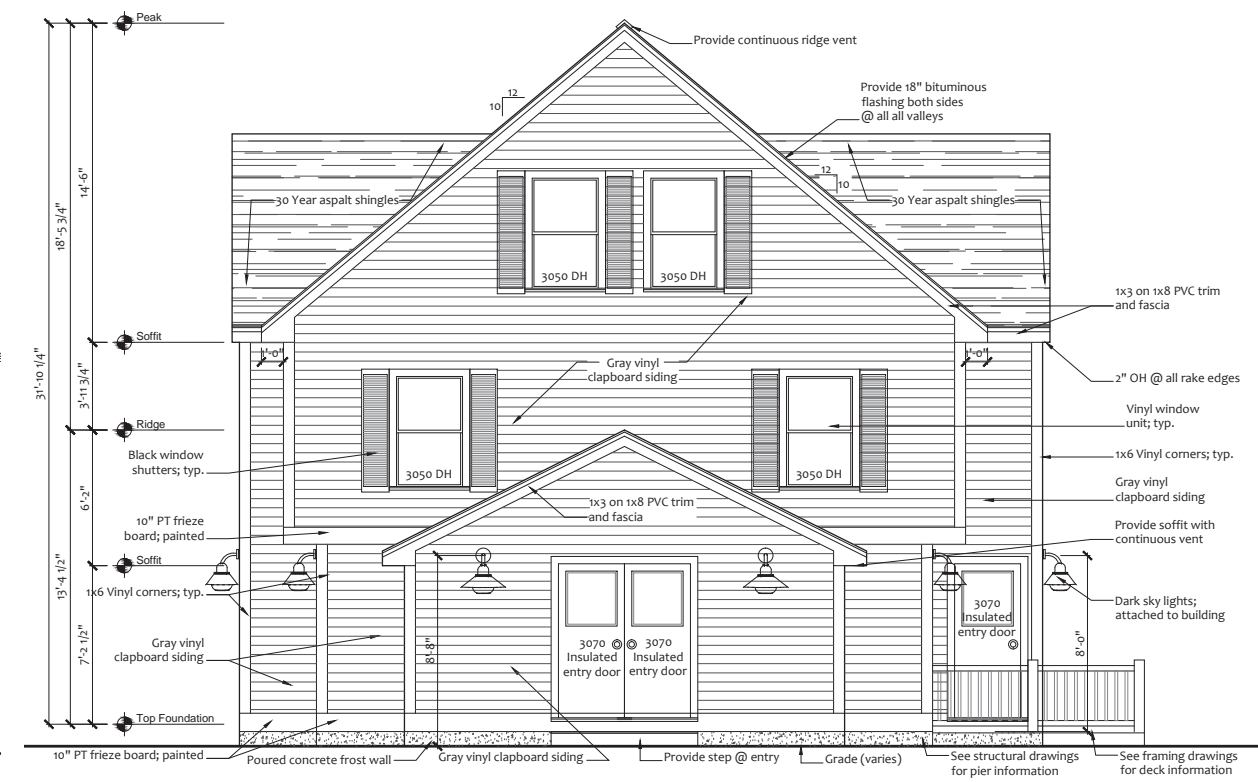
DATE 1.11.21

SHEET NUMBER

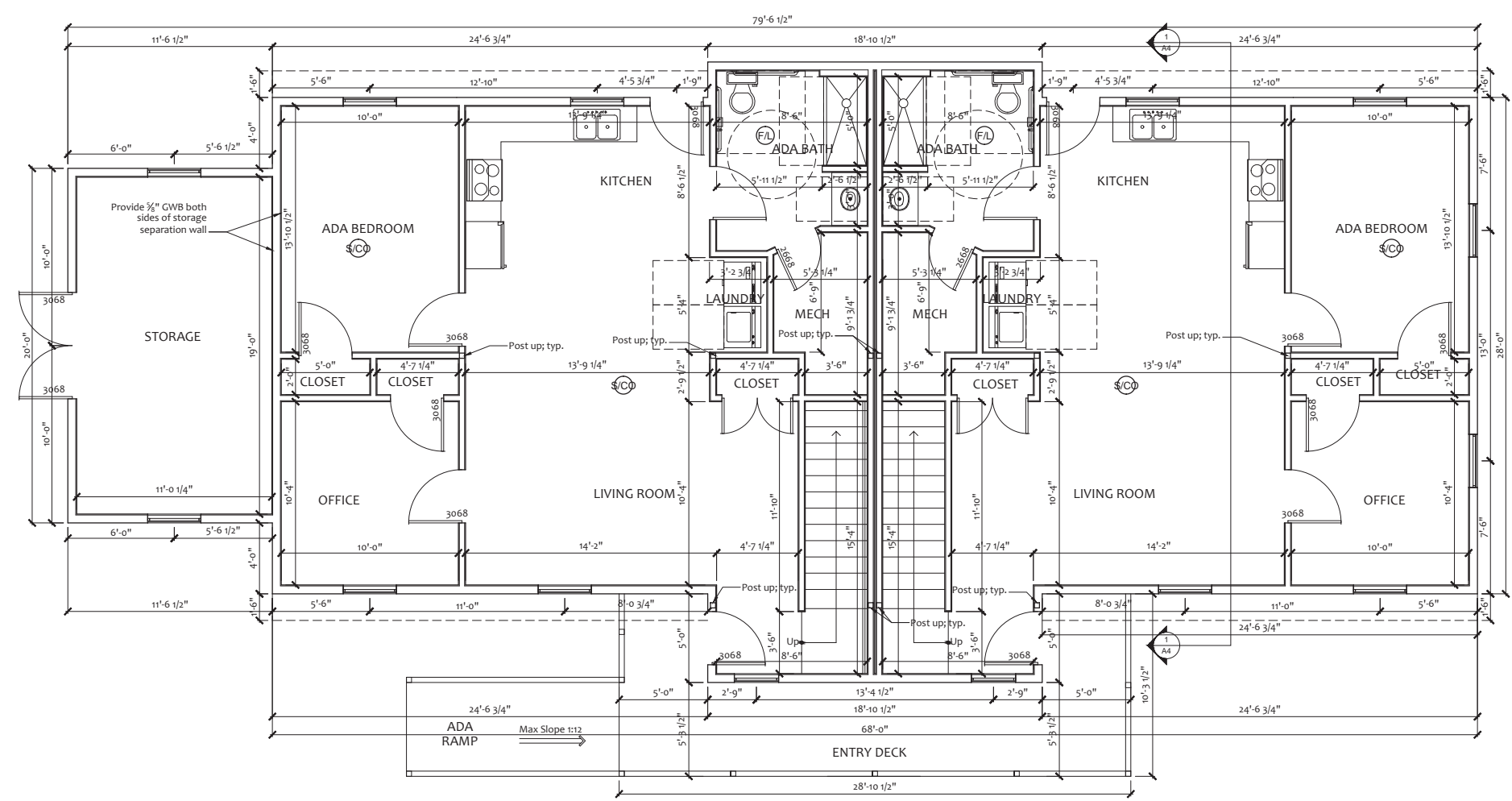
A1
 23 of 31



North (Street) Elevation
 Scale: 1/4" = 1'-0"



South Elevation
 Scale: 1/4" = 1'-0"



First Floor Plan
 Scale: 1/4" = 1'-0"

- GENERAL NOTES:**
- Contractor shall review existing conditions by field visit prior to submitting bid.
 - Dimensions shown are approximate only. All dimensions shall be field verified and coordinated with existing conditions.
 - Contact architect / engineer for decisions related to variation from information shown.
 - Contractor shall use due care in cutting into and working adjacent to existing conditions which are to remain. Any disturbed existing conditions shall be patched to match previous condition.
 - The contractor shall certify that all work is in accord with the 2018 version of the International Building Code, all other local or national codes and requirements and good construction practices.
 - ADA ramp height and length to be field verified

B

C

D

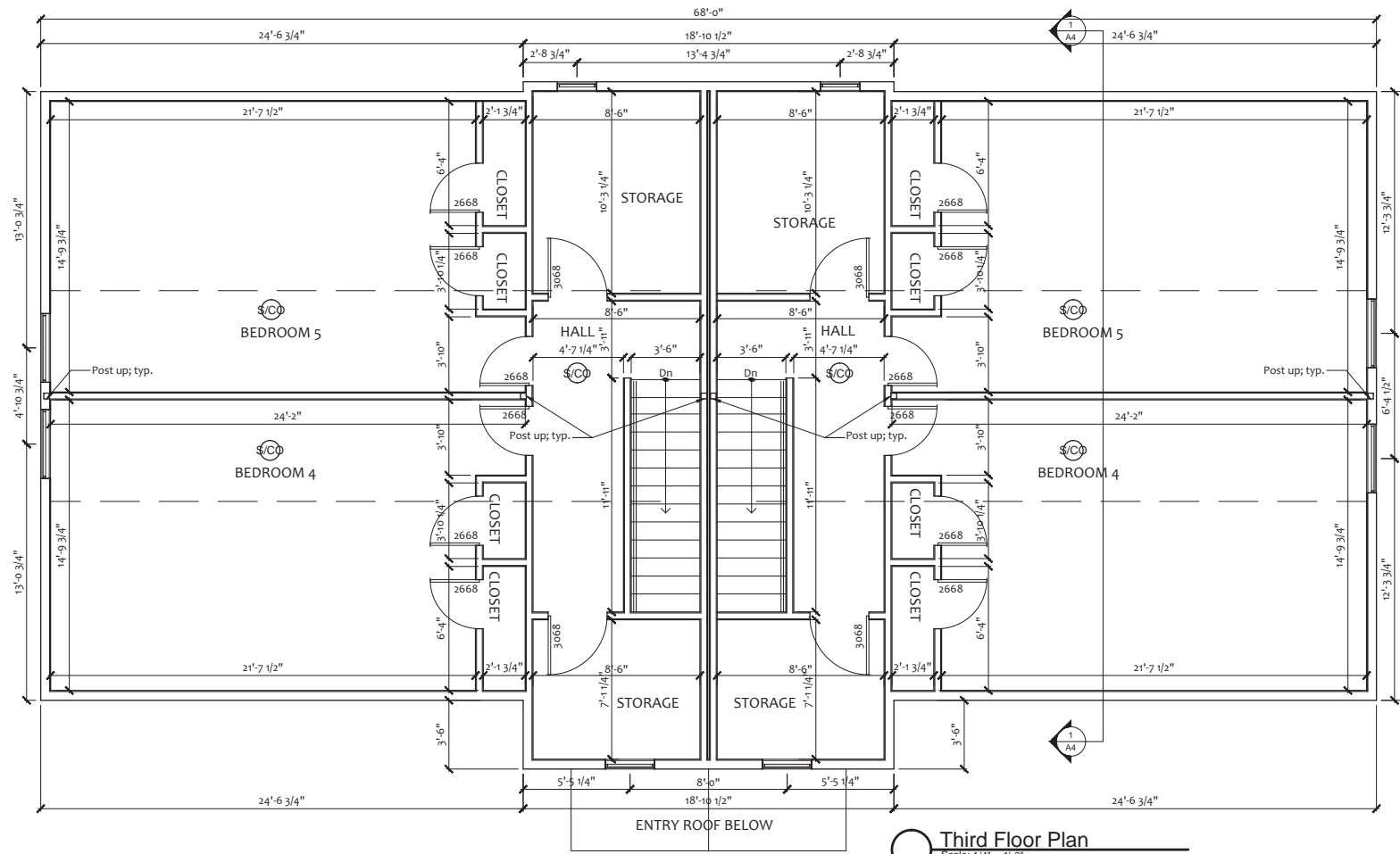
| 2

| 3

| 4

| 5

| 6

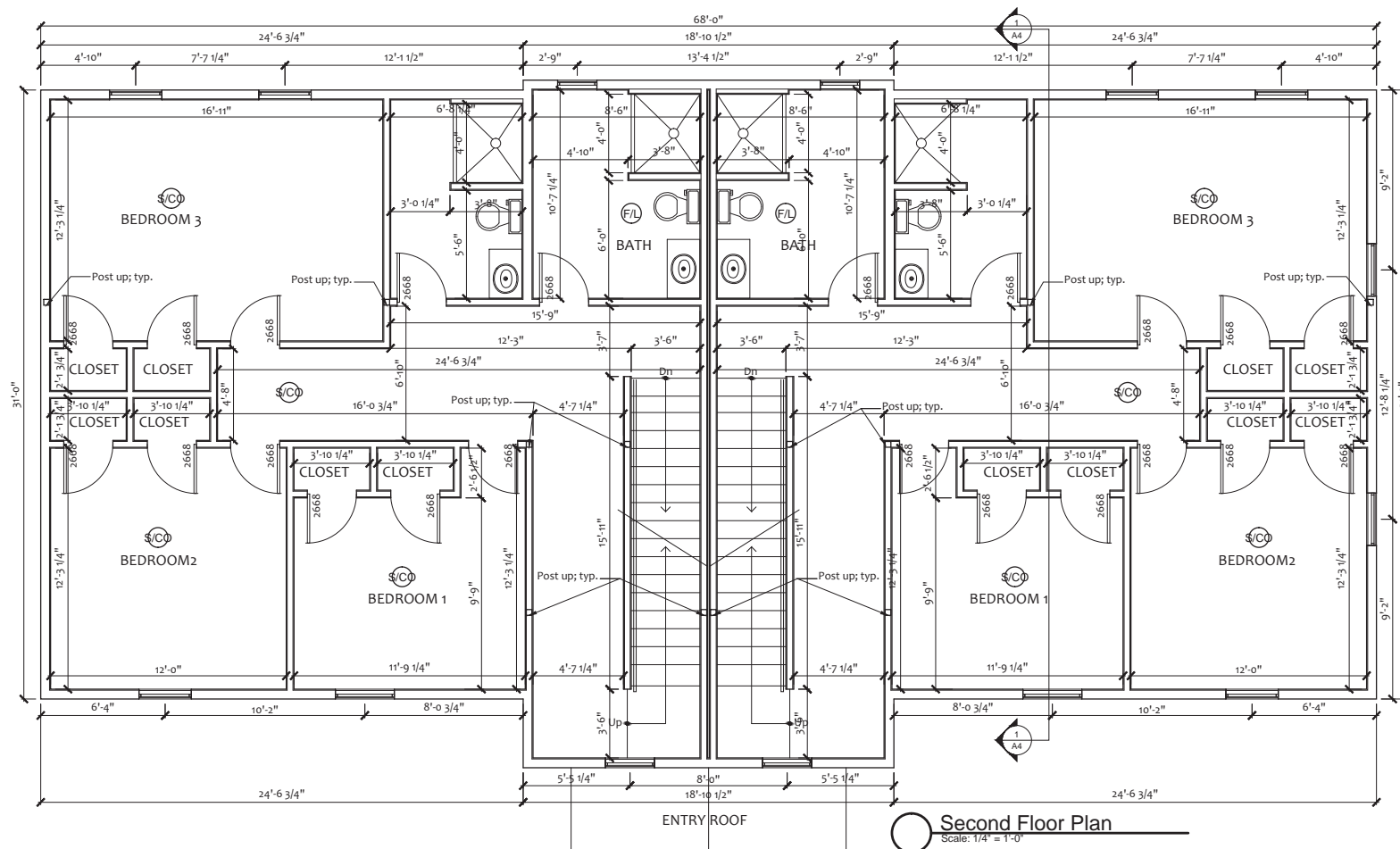


Third Floor Plan
Scale: 1/4" = 1'-0"

LEGEND

(FIL) Mechanical exhaust fan with light

(C/O) Mechanical exhaust fan with light



Second Floor Plan
Scale: 1/4" = 1'-0"

LEGEND

(FIL) Mechanical exhaust fan with light

(C/O) Mechanical exhaust fan with light

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Suite 206
Keene, NH
603 769 7736



Engineer:

SAMPSON ARCHITECTS
2020 WOF# 20-047

Prepared For
Boisvert Construction
401 Keene Road
Winchester, NH 03470

PROJECT
Proposed Building
169 Church Street
Keene, NH 03431

TITLE
Plans

Date:	Revisions:
12.17.20	Planning Bd Submission
1.11.21	Planning Bd Submission R
-	-

SCALE as noted

DATE 1.11.21

SHEET NUMBER

A2
24 of 31

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 NCARB, LEED AP
 103 Roxbury Street
 Suite 206
 Keene, NH
 603 769 7736



Engineer:

SAMPSON ARCHITECTS
 2020 WOF# 20-047

Prepared For
Boisvert Construction
 401 Keene Road
 Winchester, NH 03470

PROJECT
Proposed Building
 169 Church Street
 Keene, NH 03431

TITLE
Elevations

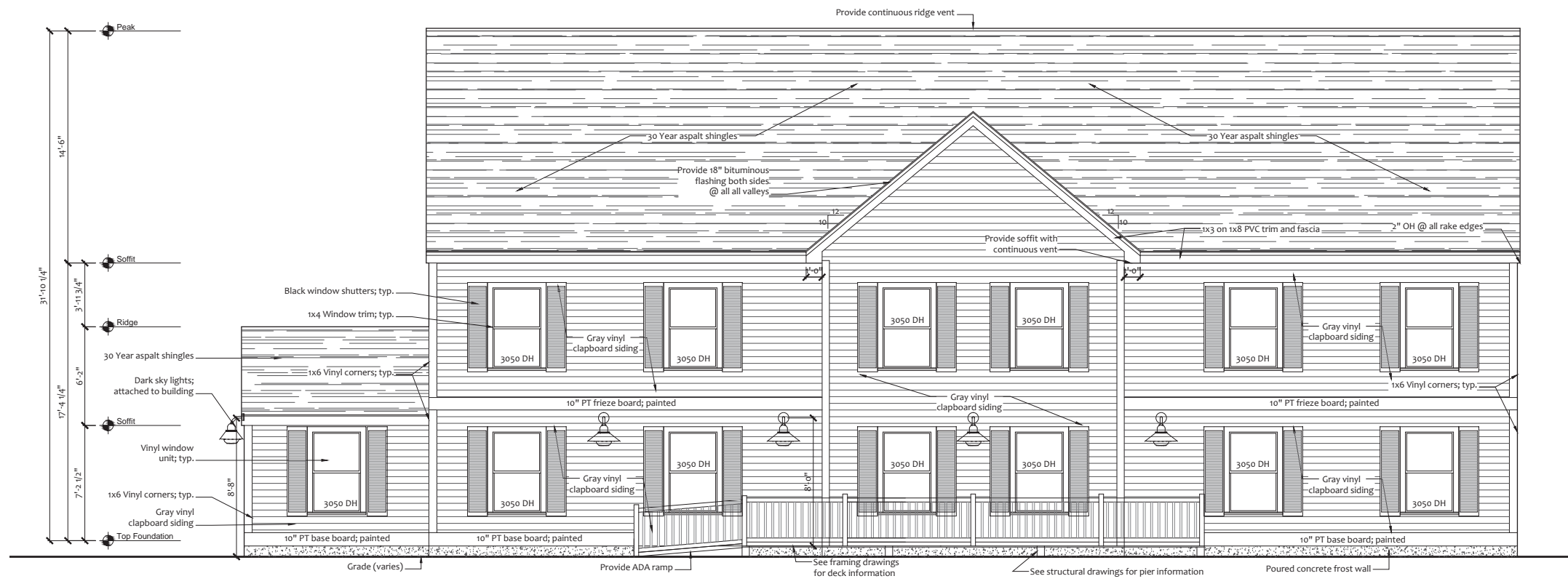
Date:	Revisions:
12.17.20	Planning Bd Submission
1.11.21	Planning Bd Submission R
-	-

SCALE as noted

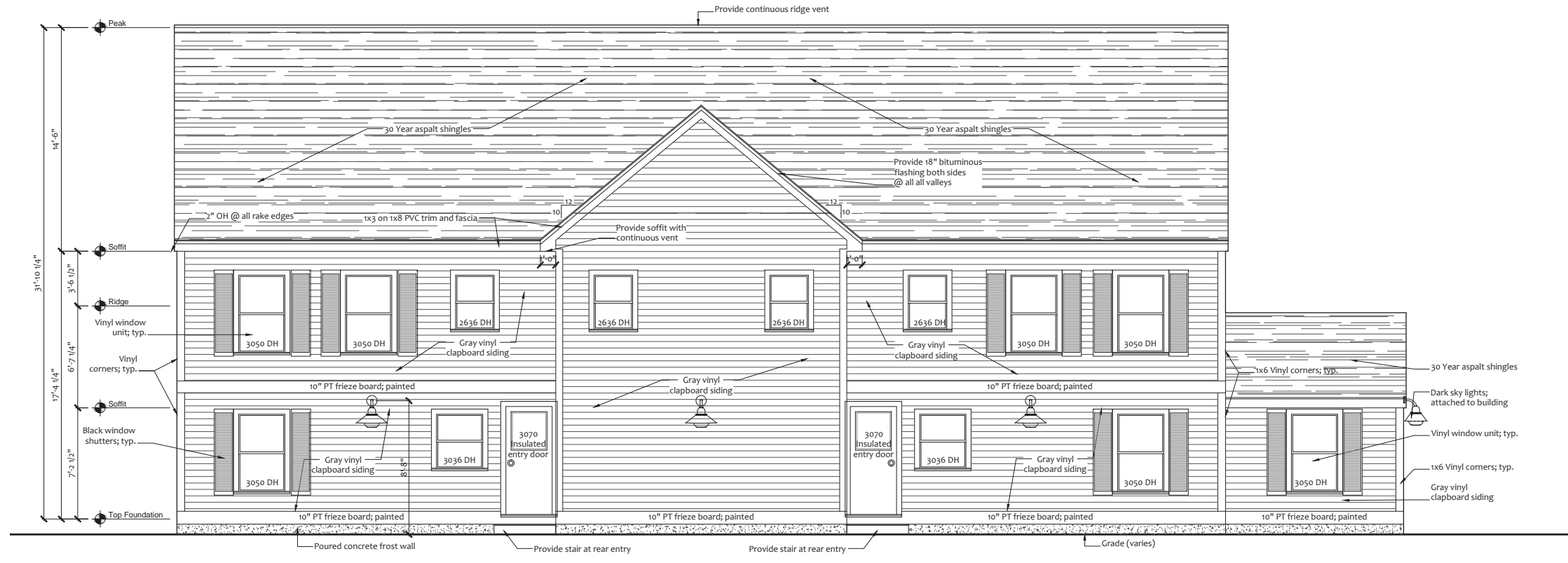
DATE 1.11.21

SHEET NUMBER

A3
 25 of 31



East Elevation
 Scale: 1/4" = 1'-0"



West Elevation
 Scale: 1/4" = 1'-0"

A

B

C

D

| 2

| 3

| 4

| 5

| 6

169 Church St

Lighting Plan:

Barn Light 1-Light Black Outdoor Wall Mount Lantern Sconce

by

Sea Gull Lighting



Dimensions

Product Depth (in.)

24

Product Height (in.)

15

Product Width (in.)

16 in

Details

Compatible Bulb Type

Incandescent,LED

Exterior Lighting Product Type

Outdoor Lanterns

Fixture Color/Finish

Black

Fixture Material

Black Outdoor Barn Light Wall Mount Sconce

by

Hampton Bay



Dimensions

Product Depth (in.)

12 in

Product Height (in.)

11 in

Product Width (in.)

9 in

Details

Compatible Bulb Type

Eco-Incandescent, Edison Bulb, Incandescent, LED

Exterior Lighting Product Type

Outdoor Sconces

Fixture Color/Finish

Black

Fixture Material

Metal

Glass/Lens Type

No Glass/Lens

Included

Black LED Outdoor Wall Lantern Sconce with Frosted Glass

by

Home Decorators Collection



Dimensions

Product Depth (in.)

5.8

Product Height (in.)

8

Product Width (in.)

4.7

Details

Actual Color Temperature (K)

3000

Color Rendering Index (CRI)

80

Color Temperature

Bright White

Compatible Bulb Type

LED

Exterior Lighting Product Type

Outdoor Sconces

Fixture Color/Finish

Black

DATE: January 25, 2021
TO: Planning Board
FROM: Rhett Lamb, Community Development Director/ACM
SUBJECT: Update on Administrative Approvals / Minor Planning Projects for 2020

The following projects were administratively approved by Planning Staff during 2020:

1. **SPR-956, Mod. #2 – Cheshire Tire Changes to Exterior Siding - 582 Main St:** Applicant & owner 580 Main Street LLC proposes to replace the existing siding on the building located at 582 Main Street (TMP# 114-013-000) with prefinished vertical metal siding in ivory and evergreen colors to match the existing color scheme on the Cheshire Tire Center building located on the same lot.
2. **SPR-10-19 – Colonial Theatre Second Venue – 20 Commercial St:** Applicant Tad Schrantz, on behalf of owner Jeanna C. Hamblet, proposes to change the use of the building located at 20 Commercial Street (TMP# 575-009-000) from a gym to a performance venue that will operate 6-7 days a week and accommodate 150-175 patrons. Minor alterations will be made to on-site parking, including restriping and the delineation of a van-accessible parking space.
3. **SPR-03-14, Mod. #2 – Jersey Mike’s Exterior Cooler – 362 Winchester St:** Applicant Forrest Grove East LLC, on behalf of owner William C. Brown, proposes to install a walk-in cooler and two condenser units on the southeastern façade of Jersey Mike’s Sub Shop located at 362 Winchester Street (TMP# 111-004-000).
4. **SPR-942, Mod. #1 – Hannaford Exterior Modifications – 447 West St:** Applicant WBRC Architects/Engineers, on behalf of owner Syfeld Keene Associates LLC, proposes to change the finish colors of the building exterior, install 21 wall pack light fixtures, and new rooftop equipment at Hannaford Supermarket located at 447 West Street (TMP# 565-018-000).
5. **SPR-370, Mod. #1 – Perry Dental Exterior Modifications – 391 West St:** Applicant Dan Bartlett, on behalf of owner 391 West Street LLC, proposes modifications to the existing building and site located at 391 West Street (TMP# 577-042-000), including replacing existing vinyl siding and roof shingles, relocating an existing entryway, installing new lighting, restriping the existing parking lot, and installing rooftop mechanical equipment.
6. **SPR-902, Mod. #6 – Former Burger King Landscaping – 346-354 Winchester St:** Applicant Jeffrey Levy, on behalf of owner Riverside Improvements LLC, proposes to replace the existing landscaping in the area adjacent to the former Burger King Restaurant located at 346-354 Winchester Street (TMP# 111-004-000) with new landscaping, including 3 trees, 40 shrubs, and 62 perennials.
7. **SPR-876, Mod. #2 – Ametek Site Modifications – 44 Black Brook Rd:** Applicant SVE Associates, on behalf of owner NH Black Brook LLC, proposes modifications to the Ametek site located at 44 Black Brook Rd (TMP# 221-021-000), including the construction of a temporary loading dock, modifications to the on-site drainage system, the installation of two new doors and an exit stair, and changes to the exterior building materials.

8. **SPR-902, Mod. #7 – Sierra Trading Post Storefront Modifications – 346-354 Winchester St:** Applicant Jeffrey Taylor, on behalf of owner Riverside Improvements LLC, proposes to expand the storefront window system and install two wall sconces at the new Sierra Trading Post store located at 346-354 Winchester Street (TMP# 111-004-000).
9. **SPR-879, Mod. #1 – KFC/Taco Bell Building & Site Modifications – 85 Key Rd:** Applicant Corey Jenkins, on behalf of owner 85 Key Road LLC, proposes modifications to the KFC/Taco Bell property located at 85 Key Road (TMP# 111-020-000), including updating the exterior paint colors, installing new lighting, replacing two existing RTUs, and resurfacing and restriping the existing parking lot.
10. **SPR-01-20 – Farrar Dumpster & Transformer Installation – 15 Avon St:** Applicant and owner Avon Street Inc. proposes to install a 500 kVA transformer and dumpster in a 16'x31' fenced enclosure on the eastern portion of the parcel located at 15 Avon Street (TMP# 578-003-000).
11. **SPR-578, Mod. #2 – Mobil Gas Station Transformer & Associated Equipment – 219 West St:** Applicant Williams Construction Group, on behalf of owner Summit Distributing LLC, proposes to install two 75 kVA transformers, an HV panel, utility meter, and utility cabinet at the Mobil Gas Station & Convenience Store located at 219 West Street (TMP# 576-013-000).
12. **SPR-930, Mod. #7 – Subaru Emergency Generator & Parking Lot Modifications – 11 Production Ave:** Applicant and owner Wilco Realty Corporation proposes to install a gas generator and 4 propane tanks along the southern building façade, modify the parking space alignment, and increase the number of parking spaces on the southern portion of the Subaru of Keene property located at 11 Production Ave (TMP# 242-002-000).
13. **SPR-876, Mod. #3 – Ametek Addition Minor Modifications – 44 Black Brook Rd:** Applicant Brickstone Land Use Consultants, on behalf of owner NH Black Brook LLC, proposes modifications to the Ametek addition, including reducing the height of the addition from 26' to 20', relocating an existing air intake unit, and installing a trash door in place of an egress door on the property located at 44 Black Brook Road (TMP# 221-021-000).
14. **SPR-02-20 – Eversource Parking Lot – 19 Production Ave:** Applicant and owner Eversource Energy proposes to pave an existing gravel storage and parking Area, pour a concrete pad, and repair 4 sections of existing asphalt on the property located at 19 Production Ave (TMP# 242-001-000).
15. **SPR-03-19, Mod. #1 – Keene Mini Storage Solar Array – 678 Marlboro Rd:** Applicant ReVision Energy, on behalf of owner Keene Mini Storage LLC, proposes to install a rooftop solar array on an existing building on the northeastern portion of the Keene Mini Storage property located at 678 Marlboro Road (TMP# 241-107-000).
16. **SPR-967, Mod. #8K – Monadnock Food Co-op Landscaping Changes – 34 Cypress St:** Applicant and owner Monadnock Food Co-op, proposes changes to the landscaping surrounding the parking area on the eastern portion of the property located at 34 Cypress Street (TMP# 574-041-000-000G & 574-041-000-000E), which will result in a decrease in the total number of trees from 10 to 9 and increase the total number of shrubs and perennials from 93 to 104.

17. **SPR-03-20 – North & Gilsum Solar Installation – 28-36 North St:** Applicant ReVision Energy, on behalf of owner Monadnock Affordable Housing Corporation, proposes to install rooftop solar energy systems on five buildings on the property located at 28-36 North Street (TMP# 536-008-000).
18. **SPR-922, Mod. #1 – Rite Aid Exterior Painting – 348 Winchester St:** Applicant Hazel Wood Hopkins Sign Permit Consultants, on behalf of owner Riverside Improvements LLC, proposes to change the finish colors on the Rite Aid building located at 348 Winchester Street (TMP# 114-004-000-001) from beige to various shades of gray.