



Historic District Commission Meeting Agenda

Wednesday, February 16, 2022

4:30 PM

City Hall, 2nd Floor Council Chambers

Note: The public may join the meeting online or at City Hall in the 2nd Floor Council Chambers. To access the meeting online, visit www.zoom.us/join or call (646) 558-8656 and enter the Meeting ID: 824 1448 9213.*

SITE VISIT: Prior to the meeting, Commission members will conduct a site visit of 147 Main Street at 3:30 p.m. and 35-43 & 45-47 Main Street at 3:50 p.m.

1. **Call to Order and Roll Call**
2. **Election of Chair and Vice Chair**
3. **Minutes of September 15, 2021**
4. **Public Hearings:**

COA-2022-01 – 35-43 & 45-47 Main St – T-Mobile Telecommunications Installation – Applicant T-Mobile Northeast LLC, on behalf of owner Mitchell H. Greenwald Revocable Trust, proposes to install a telecommunications facility on the roof of the existing building at 45-47 Main St (TMP# 575-025-000-000-000) and a generator on the property located at 35-43 Main St (TMP# 575-026-000-000-000). Both properties are ranked as Primary Resources and are located in the Downtown Core District.

COA-2017-07, Modification #1 – 147 Main St – Building Demolition – Applicant Timothy Sampson, on behalf of owner 147 Main Street LLC, proposes to demolish the building located at 147 Main St (TMP# 584-060-000-000-000). The property is ranked as a Contributing Resource and is located in the Downtown Core District.

5. **NHMA Presentation** – Steve Buckley, Legal Counsel for the New Hampshire Municipal Association (NHMA), will provide a virtual presentation titled “Historic District Commission role and responsibilities.” This presentation is offered as part of the NHMA on-demand training series.
6. **Staff Updates**
 - a) List of 2021 Minor Project Approvals as of December 31, 2021
 - b) Update - Community Kitchen Solar PV Array Project (COA-2014-07, Modification #2)
7. **New Business**
8. **Upcoming Dates of Interest**
 - a) Next HDC Meeting: March 16, 2022
 - b) HDC Site Visit: March 16, 2022 (To be confirmed)
9. **Adjourn**

*A Zoom link and call in information is being provided as a public service; however, the public body will be meeting in person with a quorum present at the location, date and time contained in this notice. If for some reason the Zoom link or call in does not work, the public meeting will continue in person.

1 City of Keene
2 New Hampshire

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5 HISTORIC DISTRICT COMMISSION
6 MEETING MINUTES
7

Wednesday, September 15, 2021

4:30 PM

2nd Floor Committee Room,
City Hall

Members Present:

Andrew Weglinski, Chair
Russ Fleming, Vice Chair
Councilor Catherine Workman
Hans Porschitz

Staff Present:

Tara Kessler, Senior Planner

Members Not Present:

Hope Benik
Sam Temple
David Bergeron, Alternate
Tia Hockett, Alternate
Peter Poanessa, Alternate

8
9 **1) Call to Order & Roll Call**

10
11 Chair Weglinski called the meeting to order at 4:31 PM.

12
13 **2) Minutes of July 20, 2021**

14
15 Mr. Fleming made a motion to accept the minutes of July 20, 2021 as presented. Councilor
16 Workman seconded the motion, which passed unanimously.

17
18 **3) Public Hearing: COA-2014-07 Mod. 4 – 37 Mechanic St – The Community Kitchen**
19 **Solar Array Supplementary Equipment** – Applicant Charles Michal of Weller & Michal
20 Architects Inc., on behalf of owner, The Community Kitchen Inc., proposes to install
21 supply lines/supplementary equipment on the primary façade of the building at 37
22 Mechanic St (TMP#554-087-000). A waiver is requested from Sec. 21.5.5.G of the HDC
23 Regulation in the Keene Land Development Code related to supply/supplementary
24 equipment for renewable energy systems. The property is ranked as a Primary Resource
25 and is located in the Downtown Limited District.

26
27 Ms. Kessler stated staff recommended that the board accept the application as complete.

28 Chair Weglinski made a motion to accept the application as complete. Councilor Workman
29 seconded the motion, which passed unanimously.

30

31 Chair Weglinski opened the public hearing and invited the applicant to speak.

32

33 Charles Michal of Weller and Michal Architects stated he was present on behalf of Community
34 Kitchen, a well-known institute in the City. He went on to state that the current project is a
35 continuation of a series of projects, with assistance from community development grants, to
36 improve the facility they operate out of and put it into a safe and capable condition to carry out
37 their mission. He noted an increased effort to reduce high operating costs and reported that prior
38 projects improved refrigeration capacities in the building; however, they are still seeing very
39 high electrical costs, sometimes running as high as \$3,500 per month.

40

41 Mr. Michal continued to state that they'd like to install a PV solar array on the roof to directly
42 offset that operating cost, and as a renewable energy project it would also be a contribution to the
43 City's own goals. The project had previously been approved by HDC with supplemental
44 equipment for installation on the west facing façade. They were underway when it was realized
45 that the original designated location for the mounted safety disconnect switches, necessary for
46 emergency personnel to be able to disable the array, could not be used. He explained that the
47 abutting property owner denied permission to place equipment in the previously designated
48 location because it would cross the property line, and the abutter does not desire any new
49 additions on the property. Additionally, codes prevent installation on the rear of the building, as
50 well as running interior conduit through the building.

51

52 Mr. Michal stated they discussed the situation with staff and looked at other potential scenarios,
53 concluding that the primary façade is the best location for the equipment. He then showed an
54 image with the wall-mounted equipment, and a conduit running to the roof enclosed with a
55 conduit cover, on the south facing elevation of the building, near the southwest corner. He stated
56 the equipment and conduit cover would be painted a color that closely matches the brick surface
57 to which it will be mounted.

58

59 Chair Weglinski opened the floor for questions.

60

61 Chair Weglinski asked how much the solar array would offset the usage/operating costs. Mr.
62 Michal stated he didn't have the exact number handy but could get that information at a later
63 time.

64

65 Mr. Fleming asked if staff would approve the color of paint. Mr. Michal stated they would be
66 more than happy to paint a small section and let staff give their opinion. He added that he could
67 use a color matching app to help the process be more accessible.

68

69 Mr. Porschitz asked if there was an option to have the conduit blending in versus the entire box
70 of equipment. Mr. Michal answered that if they come off the public service poll the conduit
71 could enter the building but that is a violation of building code.

72

73 Ms. Kessler stated they had been working with the applicant to approve a location for equipment
74 and the only other suitable location would be west facing, which does not work due to lack of
75 permission from the property owner. She went on to state that the standard the applicant is
76 seeking a waiver from is Section 21.5.5.G which says that “All supplementary equipment and
77 supply lines associated with renewable energy systems shall be placed in inconspicuous locations
78 and/or concealed from view with architectural elements (e.g. downspouts) or other screening.”
79 She went on to state that the location on the primary façade of the building is not inconspicuous
80 so the applicant is seeking a waiver from the standard and proposing to paint the equipment to
81 match it as closely as possible the brick. Ms. Kessler noted that the board can place a stipulation
82 that staff approve the color prior to completing painting.

83

84 Chair Weglinski asked for public comments. There being none, he closed public hearing and
85 began board deliberations.

86

87 Mr. Fleming made a motion to grant a waiver from Section 21.5.5.G of the Historic District
88 Commission Regulations and to approve COA-2014-07, Modification #4 for the installation of
89 supply lines/supplementary equipment associated with the roof-mounted solar PV array on the
90 south-facing façade of the building at 37 Mechanic Street (TMP#554-087-000) as presented in
91 the application and supporting materials submitted to the Community Development Department
92 on August 25, 2021, but with the stipulation that staff approve the color proposed based on a
93 sample test on the building. Councilor Workman seconded the motion, which passed
94 unanimously.

95

96 **4) Staff Updates**

97

98 Ms. Kessler stated, as part of its public hearing surrounding the Land Development Code, the
99 Commission had asked that staff bring forth to the Planning Board a request that any major site
100 plans for new developments/construction, or additions to buildings younger than 50 years old,
101 within the downtown Historic District be brought to the Historic District Commission (HDC)
102 for an advisory review and recommendation to the Planning Board, before the Planning Board
103 concludes a public hearing on the application.

104

105 She reported that staff followed through with that request and a public hearing was held in
106 August; however, the Planning Board denied the proposed amendment. She explained that
107 Mayor Hansel had concerns about adding another step to the process and felt it would contradict
108 the intent of the project, which was to create a more streamlined review process.

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110 Ms. Kessler informed the commission that they can add this item to the October meeting
111 agenda if they'd like to discuss further.

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Ms. Kessler announced the virtual workshop being held by the Heritage Commission on September 21, 2021. She explained that architectural historians from Preservation Company would be guiding a virtual exploration of the history and evolution of urban barns and carriage houses in Keene’s north central neighborhood.

5) **New Business**

6) **Next Meeting:** Chair Weglinski stated the next meeting is October 20, 2021.

7) **Adjournment**

There being no further business, Chair Weglinski adjourned the meeting at 5:00 PM.

Respectfully submitted by,
Nicole Cullinane, Minute Taker

Reviewed and edited by,
Mari Brunner, Senior Planner

STAFF REPORT

COA-2022-02 – 35-43 & 45-47 Main Street – T-Mobile Telecommunications Installation

Request:

Applicant T-Mobile Northeast LLC, on behalf of owner Mitchell H. Greenwald Revocable Trust, proposes to install a telecommunications facility on the roof of the existing building at 45-47 Main St (TMP# 575-025-000-000-000) and a generator on the property located at 35-43 Main St (TMP# 575-026-000-000-000). Both properties are ranked as Primary Resources and are located in the Downtown Core District.

Background:

The two properties that are the subject of this proposal are located adjacent to each other on the west side of Main Street between Lamson Street and Gilbo Avenue (see Figure 1).

The 35-43 Main Street property, located on the corner of Main Street and Lamson Street, is the location of the Latchis Block building (also known as the “Lamson Block”). The eastern portion of this building was built in 1877 by William Lamson, and it remained in the Lamson family until 1922. Demetrius Latchis purchased the building and built the western/rear section in 1923 for use as a theatre. Historical uses of the building include pharmacies, grocery stores, general retail, Miller Bros-Newton Clothiers (1920-1951, now located in the Exchange Block), the Latchis Theatre (1923-1980s), offices, and apartments.

For over 70 years, the 45-47 Main Street property was the site of the Kingsbury Shoemaking business, which folded in 1901. Alex S. Bruder purchased the property and demolished the existing wood frame building and erected the present brick structure in 1910. The building initially housed a bakery, restaurant, and a billiards hall. Historic uses include a bakery and ice cream parlor, the Woolworth Co. (1930-1980s), the Bon Ton Restaurant (1920-1958), a meeting hall on the fourth floor (used by the Knights of Pythias), and apartments / offices.

The request is to install six antennas and six remote radio heads on the roof of the Bruder Block building inside two enclosures, install hybrid fiber cabling in cable trays along the rear of the building to connect to ground equipment located in the basement, and install a generator on the northwest portion of the Latchis Block property.

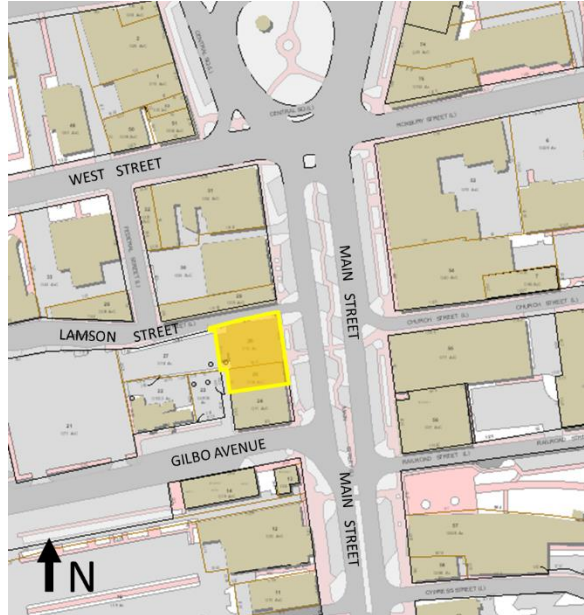


Figure 1. Location map showing the 35-43 & 45-47 Main Street properties, highlighted in yellow.



Figure 2. Photo of the Latchis Block (right) and the adjacent Bruder Block (center).
Date of photo: Fall 2002.

STAFF REPORT

Per Section 21.4 of the HDC Regulations, this request is classified as a “Major Project” for review by the Historic District Commission.

Completeness:

The Applicant requests an exemption from submitting a material sample. Staff recommend that the Commission grant the requested exemption, and accept the application as “complete.”

Application Analysis:

The following is an analysis of the relevant standards of the HDC Regulations.

21.5.4 Utility, Service, and Mechanical Equipment

“A. Mechanical equipment (e.g. HVAC units, transformers, etc.), telecommunications equipment, and antennas shall be set back on the roof of the building so as to be minimally visible from the street, or ground-mounted toward the rear of the building set as low to the ground as possible and with appropriate screening or landscaping to minimize visibility.”

The Applicant proposes to install six wireless antennas and six remote radio heads on the roof of the Bruder Block building (45-47 Main Street) within two new enclosures. The proposed material of the enclosures is RF-transparent fiberglass, which the Applicant proposes to paint black. The enclosures would each have a footprint of 8' by 9'-8" with a height of 10' above the roof (60' overall height above ground level).



Figure 3. Rendering to show the visibility of the proposed antenna enclosure, as viewed from Main Street looking west.

The first enclosure (sector Alpha) is proposed to be set back 16'-1" from the eastern edge of the roof (Main Street façade). The second enclosure (sector Gamma and Beta) is proposed to be set back 16'-2" from the western edge of the roof (rear façade). The first enclosure would be visible from Main Street looking west, and both enclosures would be visible from Central Square, Lamson Street, and Gilbo Ave, as shown in the renderings submitted by the Applicant. The rendering of the view from Main Street is shown in Figure 3, and the full set of renderings is included as an attachment to this report.

Staff asked the Applicant about the possibility of setting the first enclosure (sector Alpha) further back from Main Street, and in response the Applicant stated the following:

“The further the antennas have to shoot over the roof, the more interruption in signal. We try to minimize shooting over the rooftop of any installation to ensure that the signal is not interfered with. In this case, we have also tried to minimize enclosures, which is why you see sector B shooting over the neighboring rooftop.”

STAFF REPORT

The Applicant also proposes to install a generator along the north building facade of the Latchis Block building, near the west / rear end of the building. There is existing an existing fenced-in area screened by a lattice-style wood fence, as shown in Figure 4. The Applicant proposes to remove and replace the existing wood fence with a 4' tall PVC stockade fence. This area is adjacent to the pedestrian-only section of Lamson Street. The detail for the proposed new fence is shown on Sheet A-5 of the plan set.

“B. New mechanical supply lines, pipes, and ductwork shall be placed in inconspicuous locations and/or concealed with architectural elements, such as downspouts.”

The Applicant proposes to install hybrid fiber cabling in cable trays along the roof and the rear of the building, as shown on the “Roof/Site Plan” (Sheet A-1) and on the “Partial West Elevation” (Sheet A-2). The cabling is proposed to be screened from view using cable trays painted to match the color of the underlying brick building.



Figure 4. Photo of the existing fenced-in area where a generator is proposed to be installed on the 35-43 Main Street property. Date of photo: 2/1/22.

Recommendation:

If the Board is inclined to approve this request, the following language is recommended for a motion:

Approve COA-2022-02 for the installation of a telecommunications facility and generator on the properties located at 35-43 and 45-47 Main Street, as presented on the plan set identified as “Site Number: 4KN0339A, Site Name: 55 Main St. Keene RT” prepared by AEG Advanced Engineering Group, P.C. on September 7, 2021 and last revised on November 17, 2021 with no conditions.

HISTORIC DISTRICT COMMISSION

MAJOR PROJECT APPLICATION



A	Project Name:		For Staff Use Only: Date Received :		
	Tax Map Parcel number(s)		Community Development Department File #		
	5 7 5 - 0 2 5 - - - - -		Project Address: 35-43 Main Street and 45-47 Main Street		
	5 7 5 - 0 2 6 - - - - -		Square Footage of Parcel: 2613 sq. ft and 6098 sq. ft.		
		Zoning District: DT-C			
Applicant	PRINTED Name/Co.: T-Mobile Northeast LLC		Owner	PRINTED Name/Co.: Mitchell H. Greenwald Revocable Trust of 1996 and Erika Greenwald Revocable Trust of 1996	
	Address: 15 Commerce Way, Norton, MA 02766			Address: P.O Box 361, 55 Main Street, Keene, NH	
	Telephone: 978-337-5210 E-mail: amy.white@wellmanassociates.net			Telephone: 617-357-3035 E-mail: mggreenwaldreality.com	
	Signature:			Signature:	
	Printed Name: <u>Amy White - Agent</u> <u>T-mobile Northeast LLC</u>			Printed Name: <u>Mitchell Greenwald</u> <u>Erika Greenwald</u>	
B	Descriptive Narrative Including:	<input checked="" type="checkbox"/> Type of alteration <input checked="" type="checkbox"/> Reason for alteration <input checked="" type="checkbox"/> Location of alteration <input checked="" type="checkbox"/> Material selection <input checked="" type="checkbox"/> Site features <input checked="" type="checkbox"/> Landscape features		Exemptions Requested (for materials not submitted) Circle one: YES NO (If YES see section H)	

C	A complete application must include the following:			
	<input checked="" type="checkbox"/> Two (2) copies of completed application forms <input checked="" type="checkbox"/> Two (2) copies of Descriptive Narrative <input checked="" type="checkbox"/> FEES covering the costs of processing, legal notice, advertising the public hearing, mailing notices out to abutters. <input checked="" type="checkbox"/> Signed and Notarized Abutters List (direct Abutters only) <input checked="" type="checkbox"/> Two (2) sets of Mailing Labels for abutters	<input type="checkbox"/> Copies of any Zoning Board of Adjustment actions <i>N/A</i> <input checked="" type="checkbox"/> Three (3) copies of site plan (see Section D) <input checked="" type="checkbox"/> Three (3) color copies of architectural elevations (see Section E) <i>see site plans</i> <input checked="" type="checkbox"/> Scale and Massing Depictions (see Section F) <i>see site plans</i> <input type="checkbox"/> Material Examples (see Section G) - <i>wavier</i>		



15 Commerce Way, Norton, MA 02766

January 14, 2022

City of Keene
Historic District Commission
3 Washington Street
Keene, NH 03431

RE: T-Mobile Northeast LLC
Proposed Wireless Facility
35-43 Main Street and 45-47 Main Street, Keene, NH

To Whom it May Concern:

On behalf of T-Mobile Northeast LLC (“Applicant”), pursuant to Article 21 of the City of Keene Land Development Code, we respectfully request the granting of a Certificate of Appropriateness for the siting of a telecommunications facility (“Facility”) at the above referenced locations.

The properties are identified as Assessors Tax Map 575, Lot 25 and 26 and consist of two abutting buildings (“Buildings”) located within the town’s Main Street Historic District. Each building is 50-feet in height, with mixed use occupancy including commercial on the ground floors and residential on the upper floors of the buildings.

Company Information

The Applicant is licensed by the Federal Communications Commission (the “FCC”) to construct and operate a wireless telecommunications network in various markets throughout the country, including the State of New Hampshire and in particular in the City of Keene. The Applicant continues to design and develop a telecommunications system to serve all of the State of New Hampshire. One of the key design objectives of its systems is to provide seamless coverage. Such a system requires a grid of radio transmitting and receiving links located approximately .25 to 2 miles apart, depending on the location of existing and proposed installations in the surrounding area, the existing use of the network and the existing topography. The radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the Facility to the user on the ground. This dynamic requires the antennas to be located in a location where the signal is not obstructed or degraded by other buildings or by topographical features such as hills. In order to remedy a significant gap in T-Mobile’s ability to provide wireless service in the City of Keene, as verified by T-Mobile’s radio frequency engineers, the Applicant is proposing a wireless communications facility at the above location.

Description of Proposed Installation

The Applicant proposes to install six (6) wireless communications antennas and six (6) remote radio heads (RRH) on the rooftop of 45-47 Main Street within two (2) proposed stealth enclosures, each measuring 8'x 9'8" with an overall height at 60-feet AGL. The antennas and RRH's will be connected via hybrid fiber cabling to equipment cabinets within the basement of the building. The hybrid fiber cabling will run in cable trays along the rear of the building into the basement which will be painted to match the building. The Applicant's proposed equipment on the rooftop will be installed out of view and concealed within the stealth enclosures minimizing the visual impact of the installation. Ground equipment will be installed within the basement of the property located at 35-43 Main Street and will not be visible from the exterior of the building. The exterior material of the proposed stealth enclosures will be comprised of radio frequency (RF) transparent material, which will be painted black. The Applicant also proposes to install a generator at the ground level of the building located at 35-43 Main Street for emergency backup power. The generator will be screened from view by existing fencing.

After installation, the Facility will be unmanned and will require only monthly visits by a single vehicle for routine maintenance. Finally, the Facility will comply with all applicable local, state and federal safety codes, including FCC regulations related to radio frequency emissions.

Submission Requirements

In support of our request for a Certificate of Appropriateness, attached please find:

- 1) Historic District Communication Major Project Application;
- 2) Community Development Certified Notice List;
- 3) Abutters List for 35-43 Main Street, and 45-47 Main Street;
- 4) Mailing Labels for 35-43 Main Street, and 45-47 Main Street;
- 5) Photosimulations;
- 6) Site Plans prepared by Advanced Engineering Group dated November 17, 2021;
- 7) Check in the amount of \$189.04 representing the \$50.00 Application Fee; \$62.00 Legal Fee and Notice Fee in the amount of \$77.04.

We look forward to meeting with the Commission at its next available meeting. Should there be questions concerning this application in the meantime, please call me at 978-337-5210. We thank you for your consideration.

Sincerely,



Amy White
Agent for T-Mobile Northeast LLC

PROJECT INFORMATION

SCOPE OF WORK: UNMANNED TELECOMMUNICATIONS FACILITY MODIFICATIONS
 SITE ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431
 LATITUDE: 42.932661° N
 LONGITUDE: 72.27872° W
 JURISDICTION: NATIONAL, STATE AND LOCAL CODES OR ORDINANCES
 CURRENT USE: TELECOMMUNICATIONS FACILITY
 PROPOSED USE: TELECOMMUNICATIONS FACILITY
 PROJECT TYPE: NSD
 DESIGN CONFIGURATION: 67E5A998E 6160

SITE NUMBER: 4KN0339A
SITE NAME: 55 MAIN ST KEENE RT

35-43 & 45-47 MAIN STREET
 KEENE, NH 03431
 CHESHIRE COUNTY

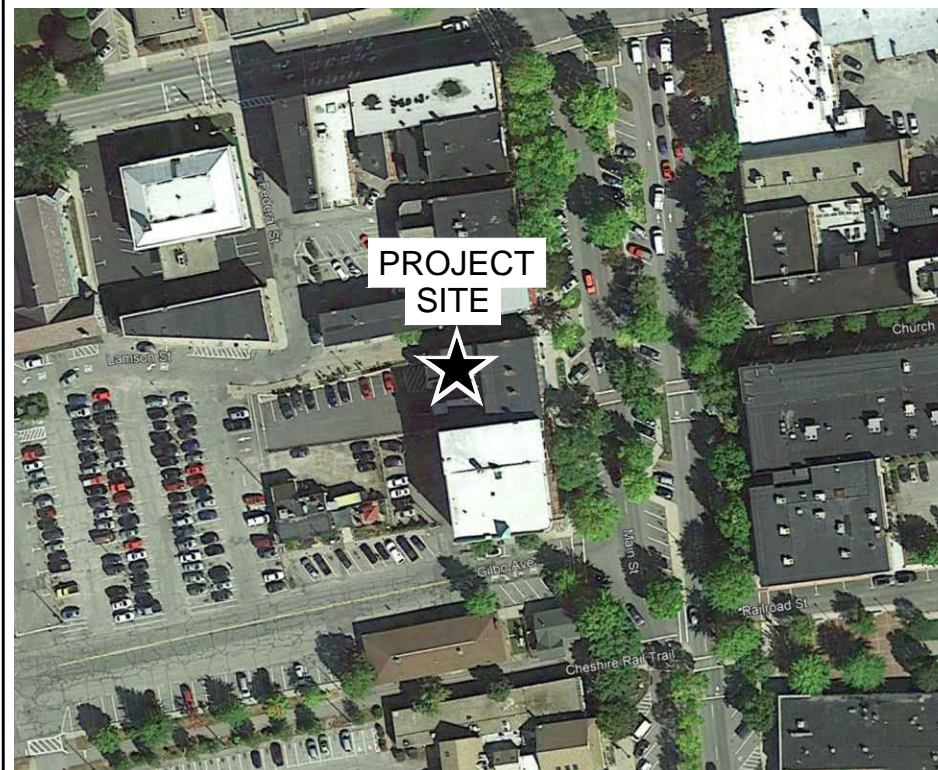
DESIGN CONFIGURATION: 67E5A998E 6160

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LOCUS MAP



GENERAL NOTES

- THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE NORTHEAST, LLC. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
- THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE T-MOBILE REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SIGNATURES



DIG SAFE SYSTEM, INC.



CALL BEFORE YOU DIG

CALL TOLL FREE: 811 OR 888-DIG-SAFE

UNDERGROUND SERVICE ALERT



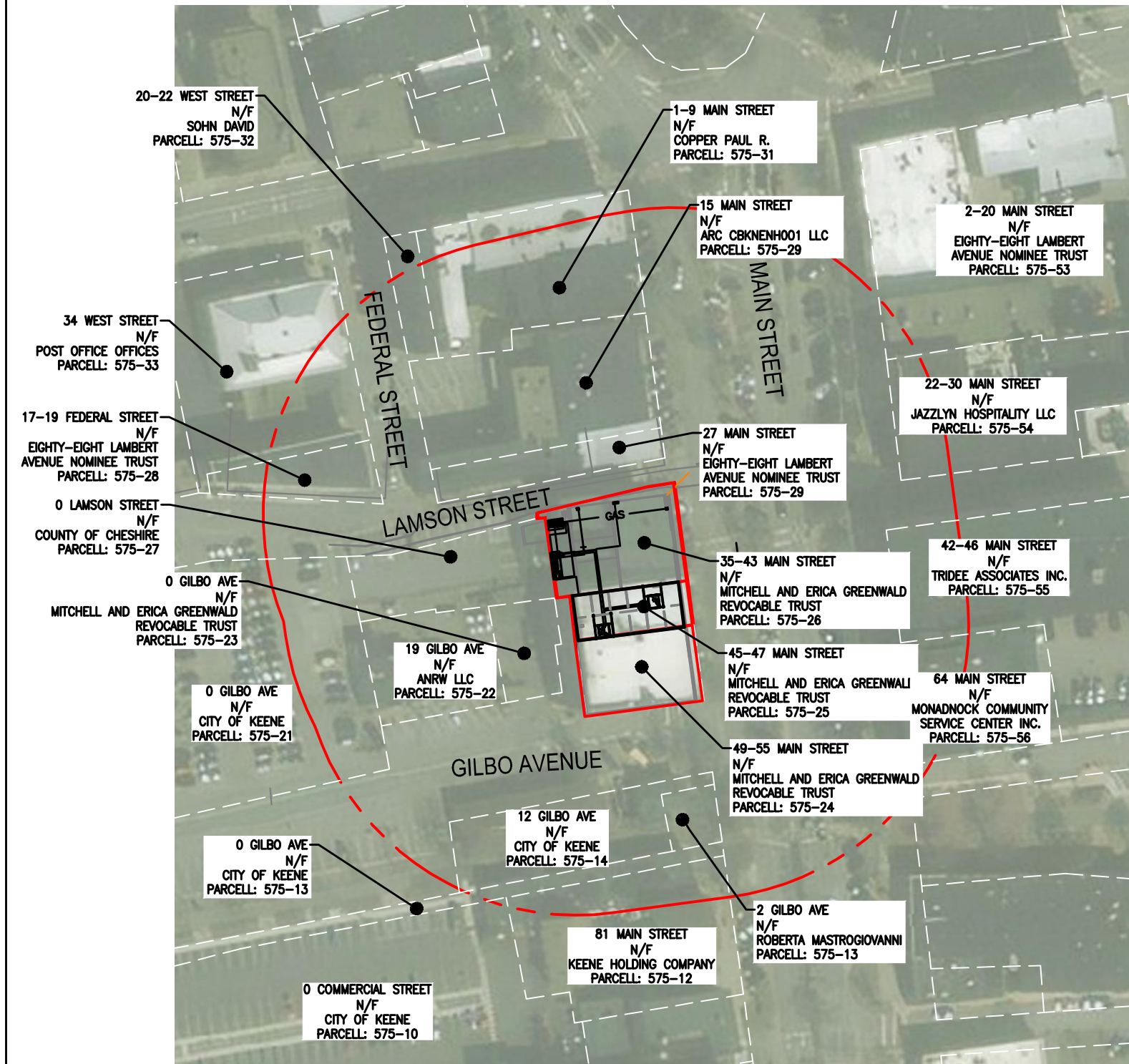
SITE NUMBER: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431
 CHESHIRE COUNTY

T-MOBILE NORTHEAST LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

NO.	DATE	REVISIONS	BY	CHK
0	08/07/21	ISSUED FOR REVIEW	AAB	MRC
1	10/15/21	ISSUED FOR CONSTRUCTION	JWH	MRC
2	10/21/21	REVISED	JWH	MRC
3	11/17/21	REVISED	CJG	MRC

TITLE SHEET

SHEET NO.

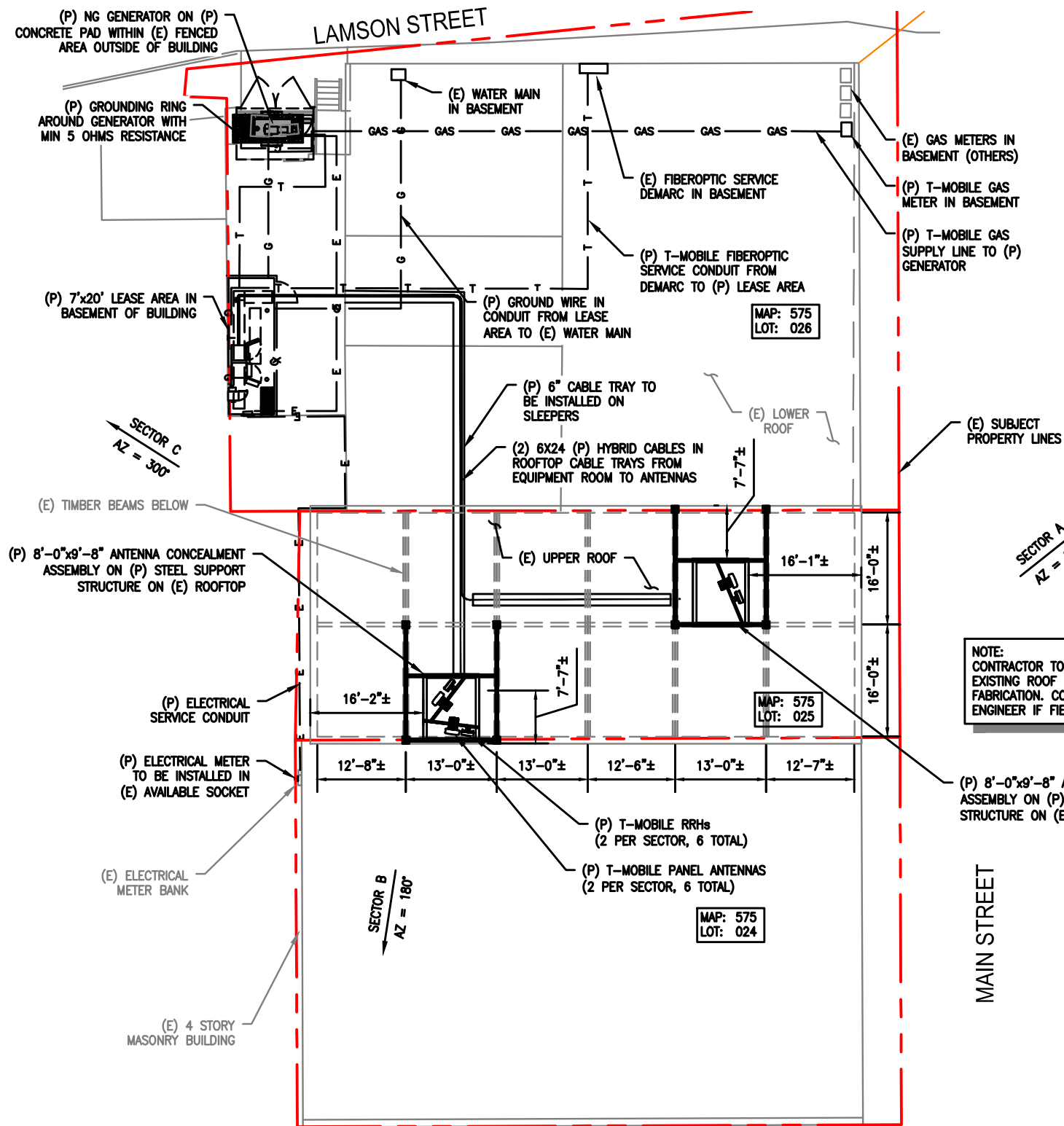


Subject Properties:		Mailing Address:	
Parcel Number: 575-025-000 CAMA Number: 575-025-000-000-000 Property Address: 45-47 MAIN ST.	Parcel Number: 575-026-000 CAMA Number: 575-026-000-000-000 Property Address: 35-43 MAIN ST.	GREENWALD MITCHELL H. REVOCABLE TRUST GREENWALD ERIKA REVOCABLE TRUST PO BOX 361 KEENE, NH 03431	GREENWALD MITCHELL H. REV. TRUST PO BOX 361 KEENE, NH 03431
Abutters:			
Parcel Number: 575-010-000 CAMA Number: 575-010-000-000-000 Property Address: 0 COMMERCIAL ST.	Parcel Number: 575-012-000 CAMA Number: 575-012-000-000-000 Property Address: 81 MAIN ST.	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431	KEENE HOLDING CO LLC 200 GRIFFIN RD, SUITE 1 PORTSMOUTH, NH 03801-7145
Parcel Number: 575-013-000 CAMA Number: 575-013-000-000-000 Property Address: 2 GILBO AVE.	Parcel Number: 575-013-000 CAMA Number: 575-013-000-001-000 Property Address: 2 GILBO AVE.	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431	MASTROGIOVANNI, ROBERTA 67 MAIN ST. KEENE, NH 03431
Parcel Number: 575-014-000 CAMA Number: 575-014-000-000-000 Property Address: 12 GILBO AVE.	Parcel Number: 575-014-000 CAMA Number: 575-014-000-001-00A Property Address: 12 GILBO AVE.	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431
Parcel Number: 575-014-000 CAMA Number: 575-014-000-001-00B Property Address: 12 GILBO AVE.	Parcel Number: 575-014-000 CAMA Number: 575-014-000-001-00C Property Address: 12 GILBO AVE.	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431
Parcel Number: 575-015-000 CAMA Number: 575-015-000-000-000 Property Address: 0 GILBO AVE.	Parcel Number: 575-021-000 CAMA Number: 575-021-000-000-000 Property Address: 0 GILBO AVE.	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431	CITY OF KEENE 3 WASHINGTON ST. KEENE, NH 03431
Parcel Number: 575-022-000 CAMA Number: 575-022-000-000-000 Property Address: 19 GILBO AVE.	Parcel Number: 575-023-000 CAMA Number: 575-023-000-000-000 Property Address: 0 GILBO AVE.	ANRW LLC 19 GILBO AVE. KEENE, NH 03431	GREENWALD MITCHELL H. REVOCABLE TRUST GREENWALD ERIKA REVOCABLE TRUST PO BOX 361 KEENE, NH 03431
Parcel Number: 575-024-000 CAMA Number: 575-024-000-000-000 Property Address: 49-55 MAIN ST.	Parcel Number: 575-027-000 CAMA Number: 575-027-000-000-000 Property Address: 0 LAMSON ST.	GREENWALD MITCHELL H. REVOCABLE TRUST GREENWALD ERIKA REVOCABLE TRUST PO BOX 361 KEENE, NH 03431	COUNTY OF CHESHIRE 33 WEST ST. KEENE, NH 03431
Parcel Number: 575-028-000 CAMA Number: 575-028-000-000-000 Property Address: 17-19 FEDERAL ST.	Parcel Number: 575-029-000 CAMA Number: 575-029-000-000-000 Property Address: 27 MAIN ST.	EIGHTY-EIGHT LAMBERT AVENUE NOMINEE TRUST 17 ROXBURY ST. KEENE, NH 03431	EIGHTY-EIGHT LAMBERT AVENUE NOMINEE TRUST 17 ROXBURY ST. KEENE, NH 03431
Parcel Number: 575-030-000 CAMA Number: 575-030-000-000-000 Property Address: 15 MAIN ST.	Parcel Number: 575-031-000 CAMA Number: 575-031-000-000-000 Property Address: 1-9 MAIN ST.	ARC CBKKNENH001 LLC 2325 EAST CAMELBACK RD. 9TH FLR. PHOENIX, AZ 85016	COOPER PAUL R. COOPER SUZANNE G. 81 MORNING ST. PORTLAND, ME 04101-4429
Parcel Number: 575-032-000 CAMA Number: 575-032-000-000-000 Property Address: 20-22 WEST ST.	Parcel Number: 575-033-000 CAMA Number: 575-033-000-000-000 Property Address: 34 WEST ST.	SOHN DAVID 1666 BELL BLVD. APT. 738 BAYSIDE, NY 11360	POST OFFICE OFFICES LLC PO BOX 55071 ECM 41505 BOSTON, MA 02205-5071

Parcel Number: 575-053-000 CAMA Number: 575-053-000-000-000 Property Address: 2-20 MAIN ST.	Parcel Number: 575-054-000 CAMA Number: 575-054-000-000-000 Property Address: 22-30 MAIN ST.	EIGHTY-EIGHT LAMBERT AVENUE NOMINEE TRUST 17 ROXBURY ST. KEENE, NH 03431	JAZZLYN HOSPITALITY LLC 440 BEDFORD ST. LEXINGTON, MA 02420-1547
Parcel Number: 575-055-000 CAMA Number: 575-055-000-000-000 Property Address: 42-46 MAIN ST.	Parcel Number: 575-056-000 CAMA Number: 575-056-000-000-000 Property Address: 64 MAIN ST.	TRIDEE ASSOCIATES INC. PO BOX 485 ALSTEAD, NH 03602	MONADNOCK COMMUNITY SERVICE CENTER INC 64 MAIN ST. 2ND FLOOR KEENE, NH 03431
Parcel Number: 575-056-000 CAMA Number: 575-056-000-001-001 Property Address: 64 MAIN ST.	Parcel Number: 575-056-000 CAMA Number: 575-056-000-001-002 Property Address: 64 MAIN ST.	MONADNOCK COMMUNITY SERVICE CENTER INC 64 MAIN ST. 2ND FLOOR KEENE, NH 03431	MONADNOCK COMMUNITY SERVICE CENTER INC 64 MAIN ST. 2ND FLOOR KEENE, NH 03431
Parcel Number: 575-056-000 CAMA Number: 575-056-000-001-003 Property Address: 64 MAIN ST.		MONADNOCK COMMUNITY SERVICE CENTER INC 64 MAIN ST. 2ND FLOOR KEENE, NH 03431	

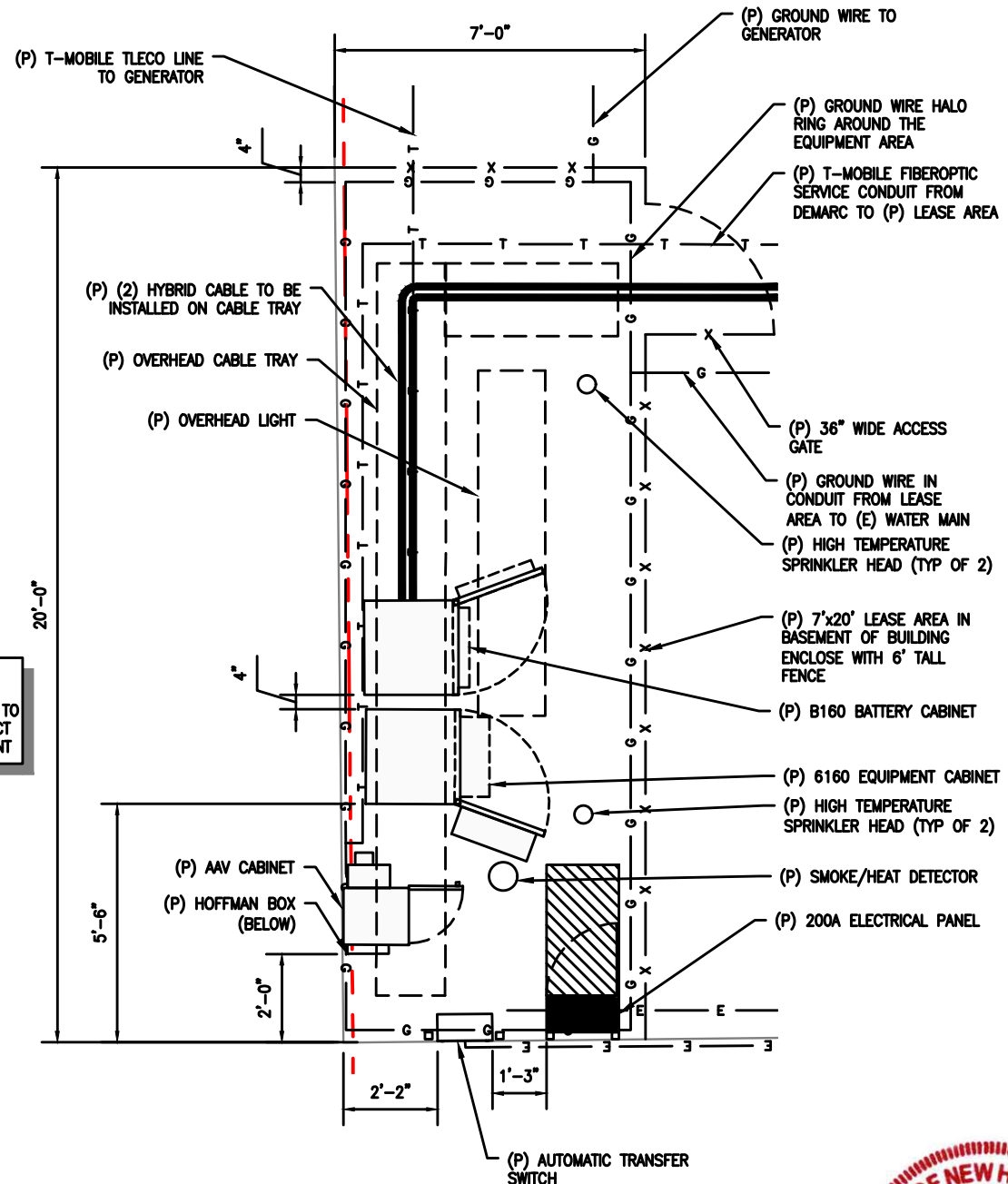


NO.	DATE	REVISIONS	BY	CHK
0	09/07/21	ISSUED FOR REVIEW	AAB	MRC
1	10/15/21	ISSUED FOR CONSTRUCTION	JWH	MRC
2	10/21/21	REVISED	JWH	MRC
3	11/17/21	REVISED	CJG	MRC



1 ROOF / SITE PLAN
 A-1 SCALE: 1" = 20'
 NORTH

NOTE:
 CONTRACTOR TO VERIFY LOCATION OF THE
 EXISTING ROOF BEAMS AND COLUMNS PRIOR TO
 FABRICATION. CONTRACTOR TO NOTIFY PROJECT
 ENGINEER IF FIELD CONDITIONS ARE DIFFERENT



2 EQUIPMENT PLAN
 A-1 SCALE: 1" = 5'
 NORTH



NO.	DATE	REVISIONS	BY	CHK
0	09/07/21	ISSUED FOR REVIEW	AAB	MRC
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2	10/21/21	REVISED	JWH	MRC
3	11/17/21	REVISED	CJG	MRC

NOTE:
 1. CONTRACTOR TO VERIFY LOCATION OF THE EXISTING ROOF BEAMS AND COLUMNS PRIOR TO FABRICATION. CONTRACTOR TO NOTIFY PROJECT ENGINEER IF FIELD CONDITIONS ARE DIFFERENT
 2. CONTRACTOR TO PAINT CABLE TRAYS TO MATCH EXISTING BUILDING CONTRACTOR TO COORDINATE WITH LANDLORD ON COLOR AND STYLE

EQUIPMENT SCHEDULE

EQUIPMENT TO BE ADDED

QUANTITY	DESCRIPTION
3	ERICSSON AIR 6449 B41 PANELS ANTENNAS
3	RFS APXVAALL18_43-NA20 PANEL ANTENNAS
3	RRH: ERICSSON RADIO 4460 B25+B66
3	RRH: ERICSSON RADIO 4480 B71+B85
2	6x24 HCS FIBER CABLES
1	EQUIPMENT CABINET (ERICSSON 6160)
1	BATTERY CABINET (ERICSSON B160)
1	PURCELL CABINET
1	PPC CABINET
1	GENERATOR
1	AUTOMATIC TRANSFER SWITCH (ATS)

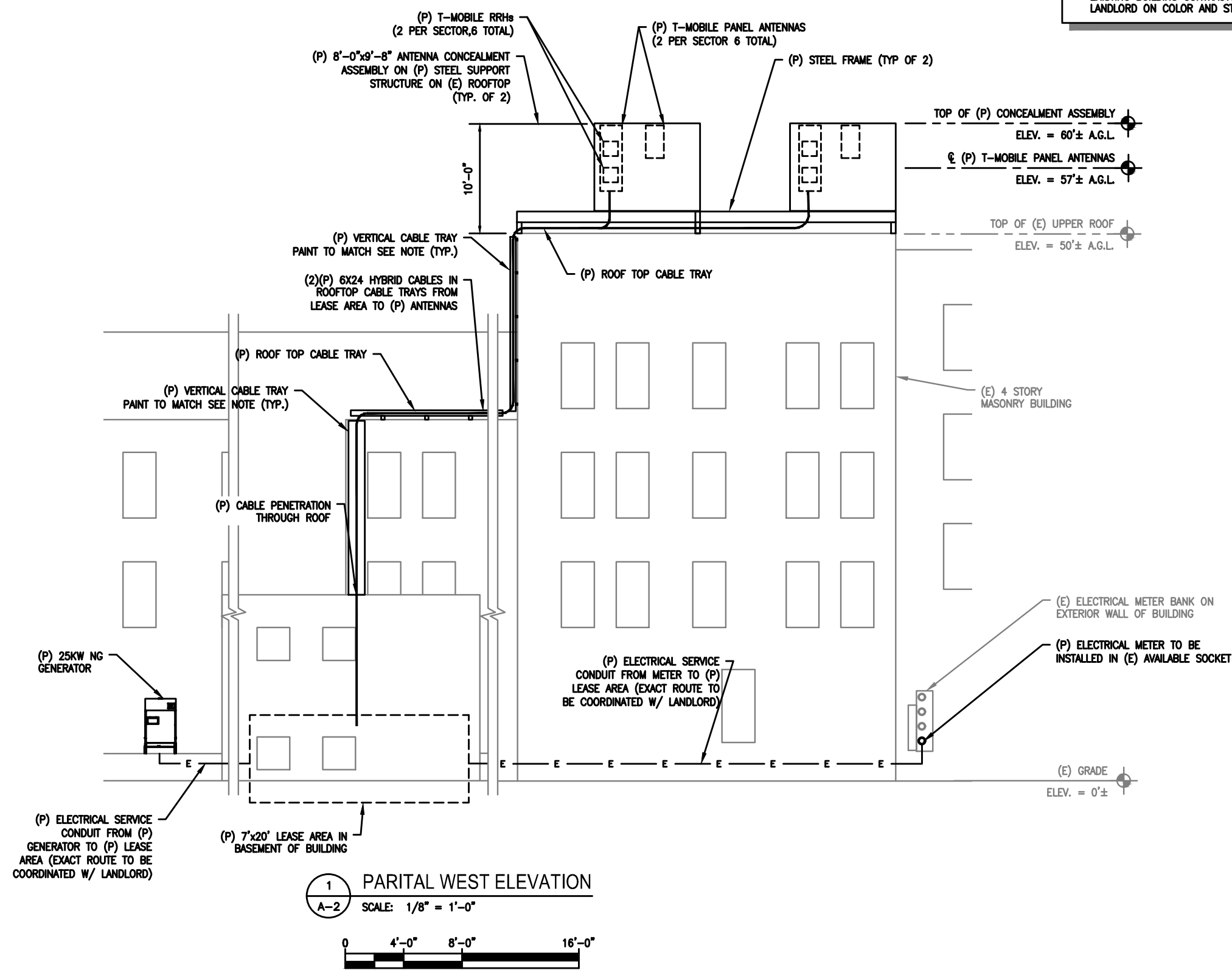
FINAL EQUIPMENT CONFIGURATION

3	ERICSSON AIR 6449 B41 PANELS ANTENNAS
3	RFS APXVAALL18_43-NA20 PANEL ANTENNAS
3	RRH: ERICSSON RADIO 4460 B25+B66
3	RRH: ERICSSON RADIO 4480 B71+B85
2	6x24 HCS FIBER CABLES
1	EQUIPMENT CABINET (ERICSSON 6160)
1	BATTERY CABINET (ERICSSON B160)
1	PURCELL CABINET
1	PPC CABINET
1	GENERATOR
1	AUTOMATIC TRANSFER SWITCH (ATS)

RF CONFIGURATION 67E5A998E 6160

SCOPE OF WORK

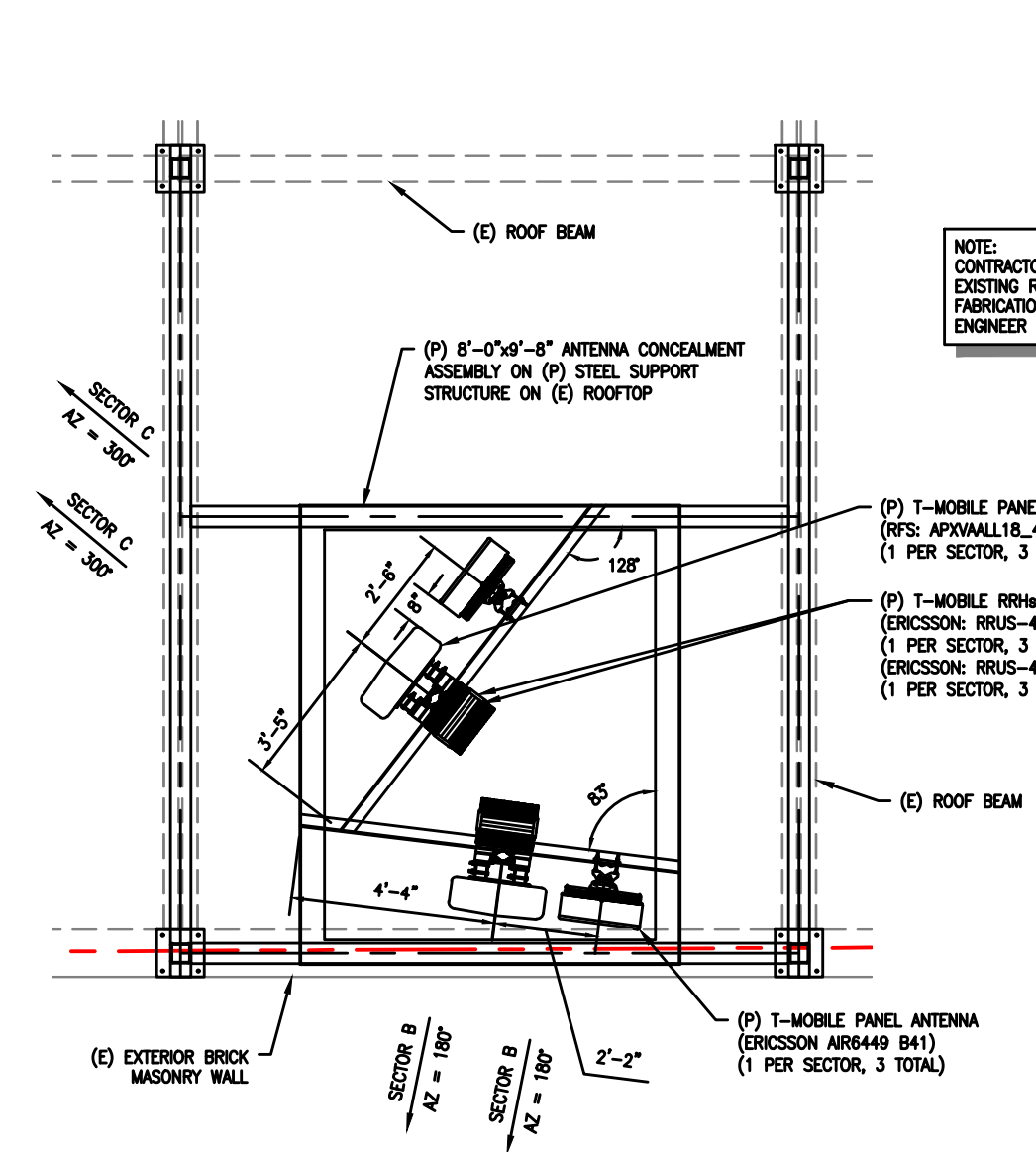
1. INSTALL (6) NEW PANEL ANTENNAS, (2) PER SECTOR
2. INSTALL (6) NEW REMOTE RADIO HEADS ON (P) PIPE MOUNT, (2) PER SECTOR
3. INSTALL (2) ENCLOSURE
4. INSTALL (2) HCS FIBER CABLES
5. INSTALL (1) EQUIPMENT CABINET
6. INSTALL (1) PURCELL CABINET
7. INSTALL (1) PPC
8. INSTALL (1) GENERATOR
9. INSTALL (1) AUTOMATIC TRANSFER SWITCH (ATS)
10. INSTALL (1) 200A 1Ø 3W 120/240 METER W/DISCONNECT IN EXISTING SOCKET



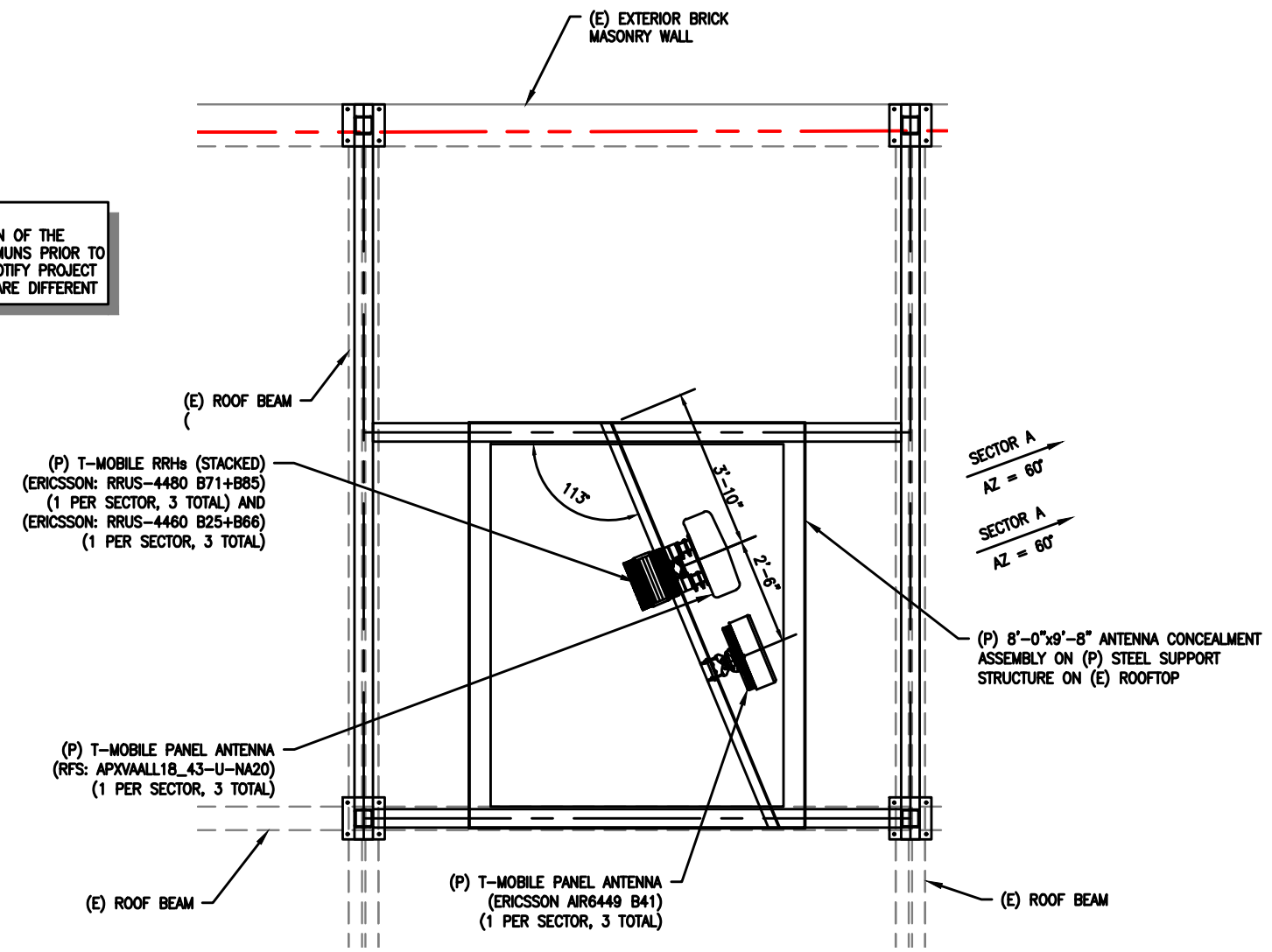
1 PARITAL WEST ELEVATION
 A-2 SCALE: 1/8" = 1'-0"
 0 4'-0" 8'-0" 16'-0"



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3	11/17/21	REVISED	CJG	MRC



NOTE:
CONTRACTOR TO VERIFY LOCATION OF THE EXISTING ROOF BEAMS AND COLMUNS PRIOR TO FABRICATION. CONTRACTOR TO NOTIFY PROJECT ENGINEER IF FIELD CONDITIONS ARE DIFFERENT

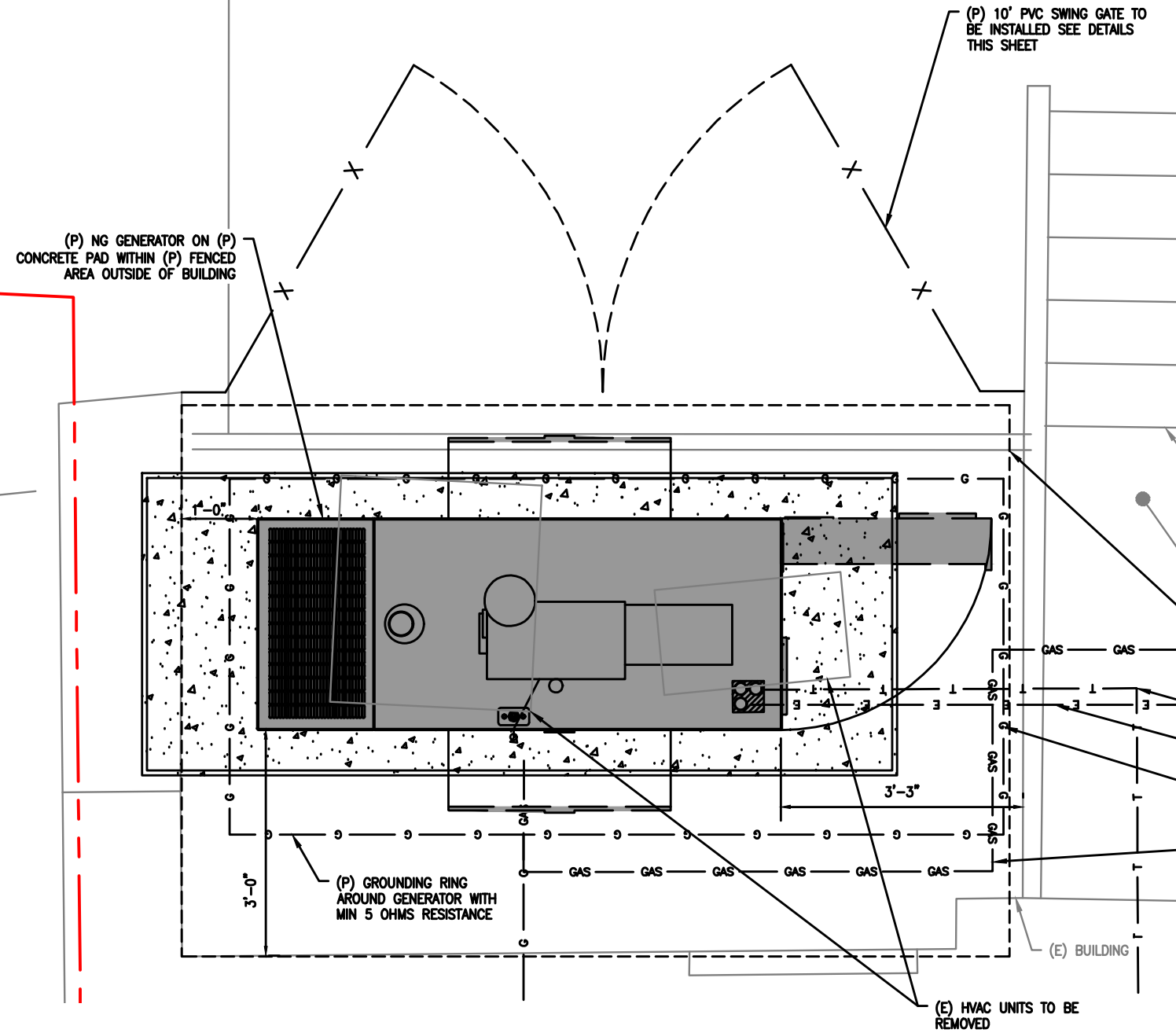


1 SECTOR GAMMA AND BETA ANTENNA PLAN
A-3 SCALE: 1/4"=1'-0"
0 2'-0" 4'-0" 8'-0"

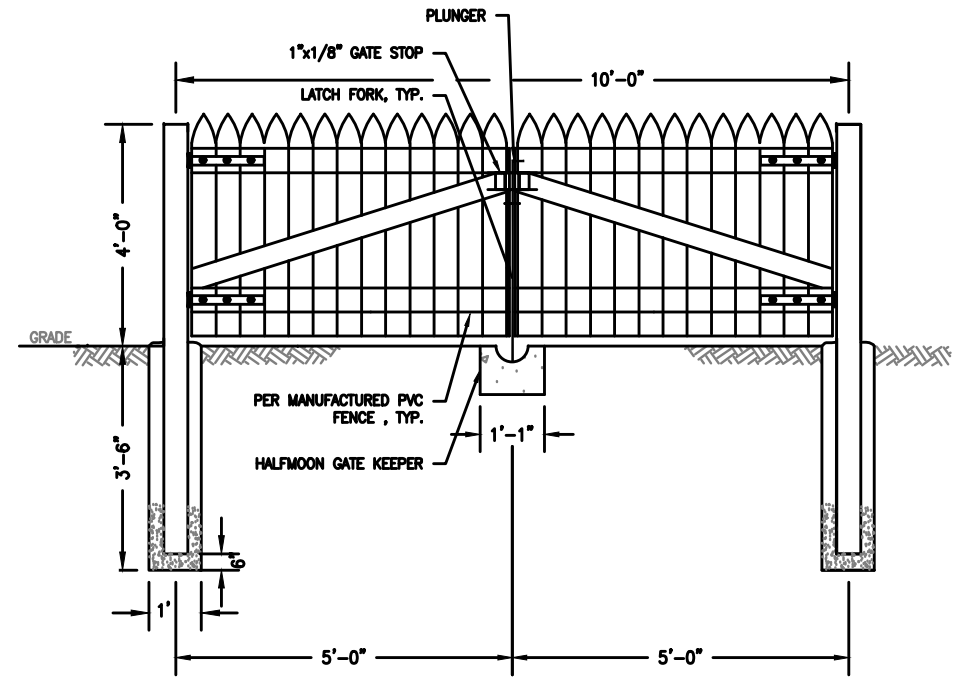
2 SECTOR ALPHA ANTENNA PLAN
A-3 SCALE: 1/4"=1'-0"
0 2'-0" 4'-0" 8'-0"



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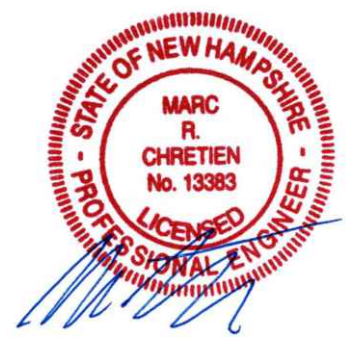


1 GENERATOR PLAN VIEW
A-5 SCALE: 1/2" = 1'-0"

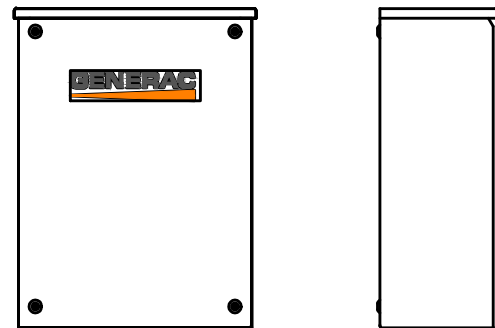


2 PVC FENCE DETAIL
A-5 SCALE: N.T.S.

- PVC FENCE NOTES:**
1. DOUBLE SWING GATE SHALL BE PROVIDED WITH TUBULAR PLUNGER BAR, 1 LOCK KEEPER, 1 LOCK KEEPER GUIDE, 2 LATCH FORK, 2 FORK CATCHES, 1 CATCH FOR PLUNGER BAR, AND 2 GATE STOPS LOCATED AS DIRECTED BY THE ENGINEER.
 2. HINGES, PLUNGER BAR, LOCK KEEPER, LATCH FORKS, AND OTHER NECESSARY FENCE FITTINGS SHALL BE OF GALVANIZED STEEL.
 3. POSTS SHALL BE SPACED EQUI-DISTANT BUT NOT MORE THAN 8" O.C.
 4. ALL METAL POSTS/HARDWARE MUST BE GROUNDED PER NEC CODE

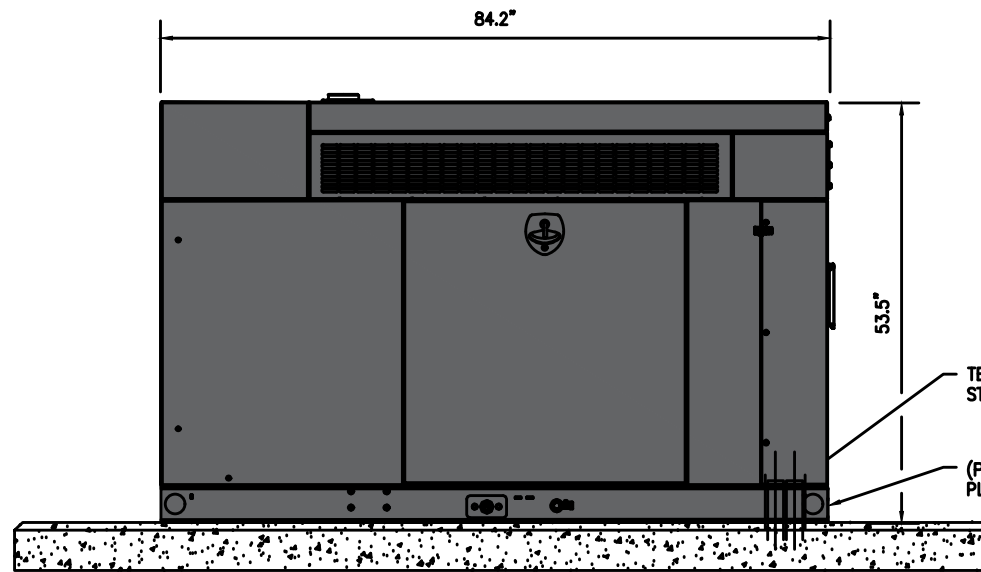


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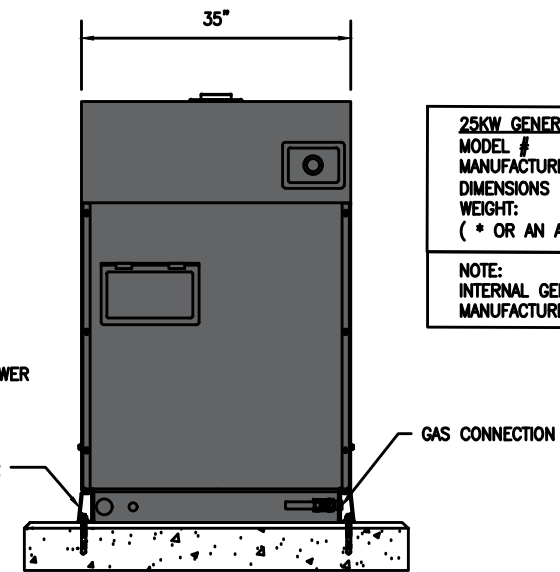


GENERAC AUTOMATIC SMART TRANSFER SWITCH
 MODEL # RXSC200A3
 MANUFACTURER: GENERAC POWER SYSTEMS, INC.*
 DIMENSIONS (HXWXD): 20"x14.6"x7.09"
 WEIGHT: 20 LBS.
 AMPS: 200
 VOLTAGE: 120/240, 1φ
 LOAD TRANSITION TYPE: OPEN TRANSITION (AUTOMATIC)
 ENCLOSURE TYPE: NEMA/UL 3R
 UL RATING: UL/CUL
 WITHSTAND RATING (AMPS): 10,000
 LUG RANGE: 250 MCM - #6
 (* OR AN APPROVED EQUAL)

1 AUTOMATIC TRANSFER SWITCH DETAIL
 SCALE: N.T.S.



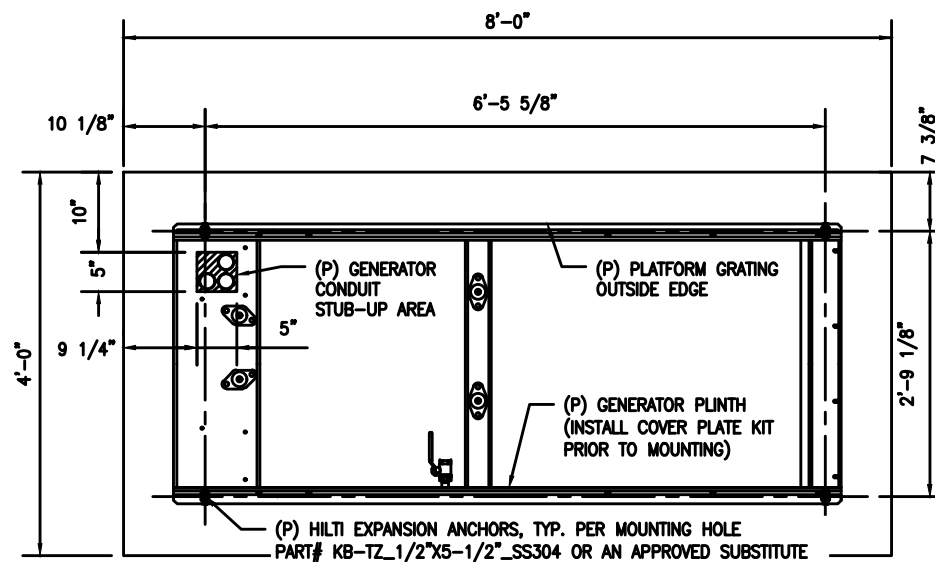
SIDE ELEVATION



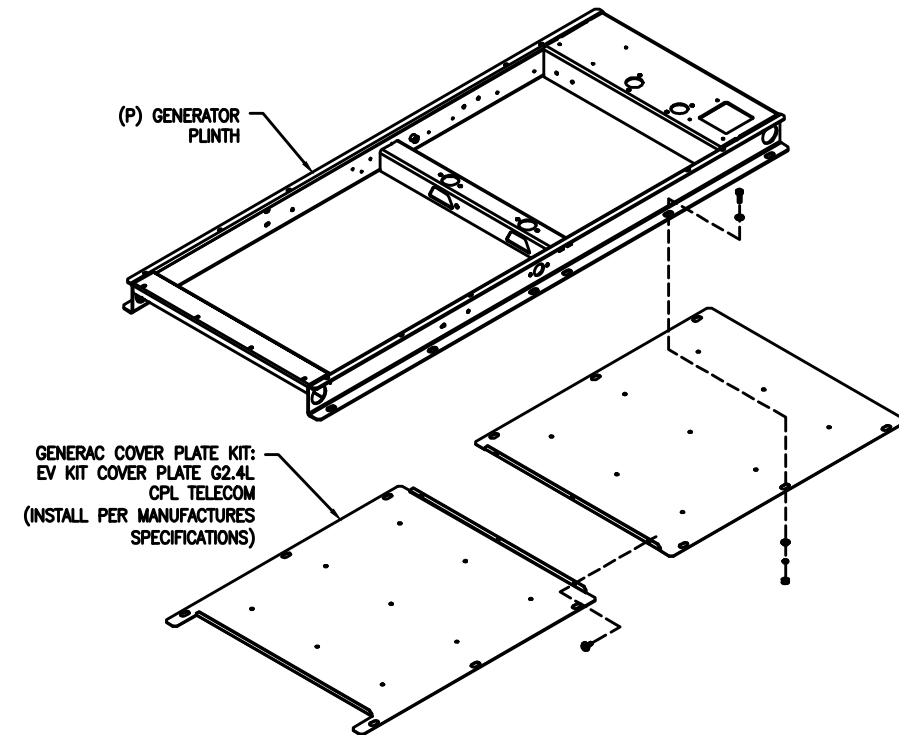
FRONT ELEVATION

25KW GENERAC AC NG GENERATOR
 MODEL # 7197-0
 MANUFACTURER: GENERAC POWER SYSTEMS*
 DIMENSIONS (HxLxW): 53.5"x84.2"x35"
 WEIGHT: 865 LBS.
 (* OR AN APPROVED EQUAL)

NOTE:
 INTERNAL GENERATOR DETAILS PROVIDED BY MANUFACTURER



PLINTH MOUNTING DETAIL



2 GENERATOR DETAILS
 SCALE: N.T.S.

WORK NOTES:
ELECTRICAL:
 1. ALL WORK NEEDS TO BE PERFORMED BY LICENSED ELECTRICIAN ADHERING TO THE NEC AND LOCAL CODE REQUIREMENTS.
 2. GROUNDING, BONDING AND LIGHTNING PROTECTION SHALL BE DONE IN ACCORDANCE WITH "T-MOBILE BTS SITE GROUNDING STANDARDS".
GAS:
 1. ALL WORK NEEDS TO BE PERFORMED BY LICENSED GAS FITTER ADHERING TO THE IPC-2015 AND LOCAL CODE REQUIREMENTS.



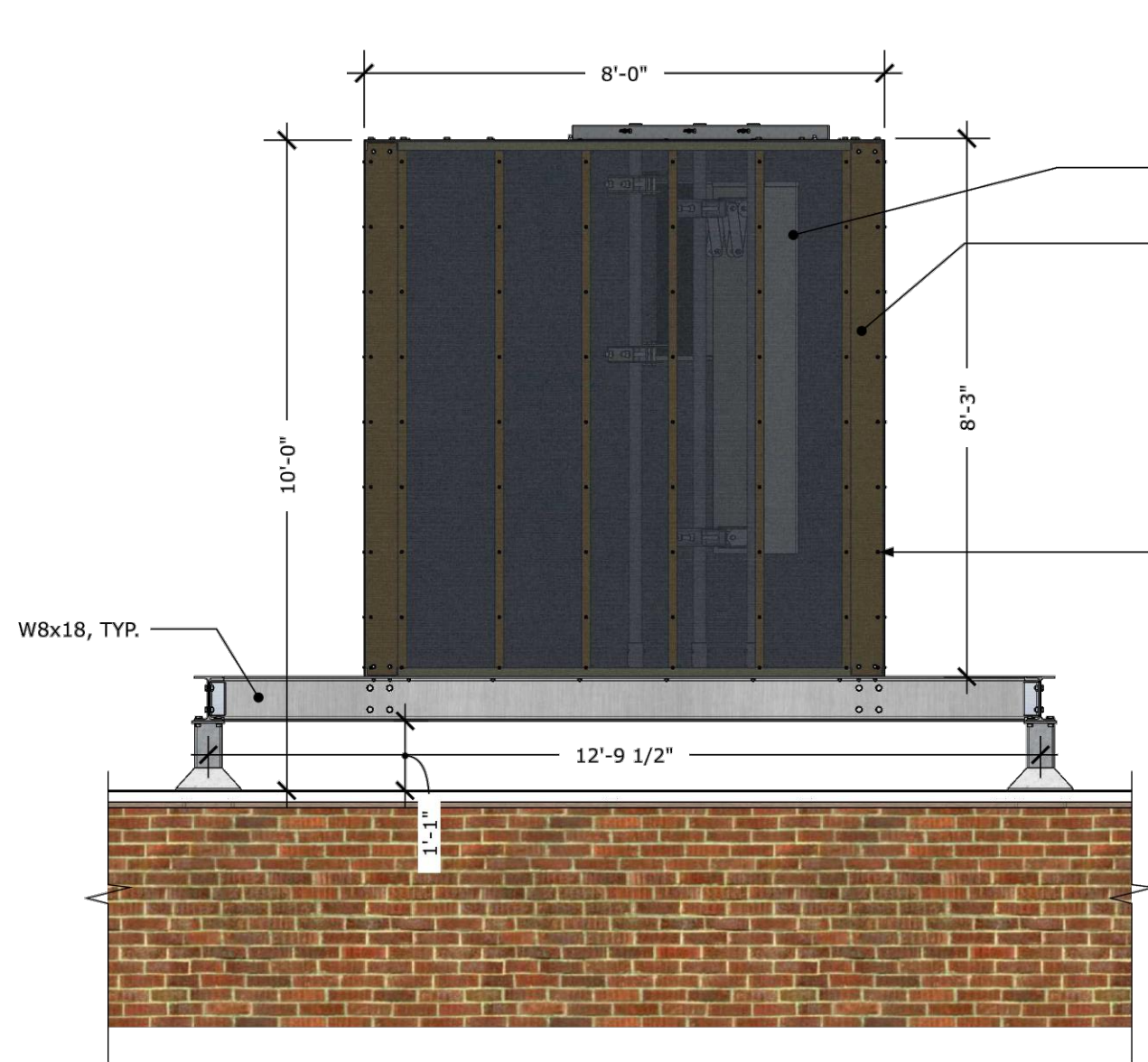
SITE NUMBER: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431
 CHESHIRE COUNTY

T-MOBILE NORTHEAST LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

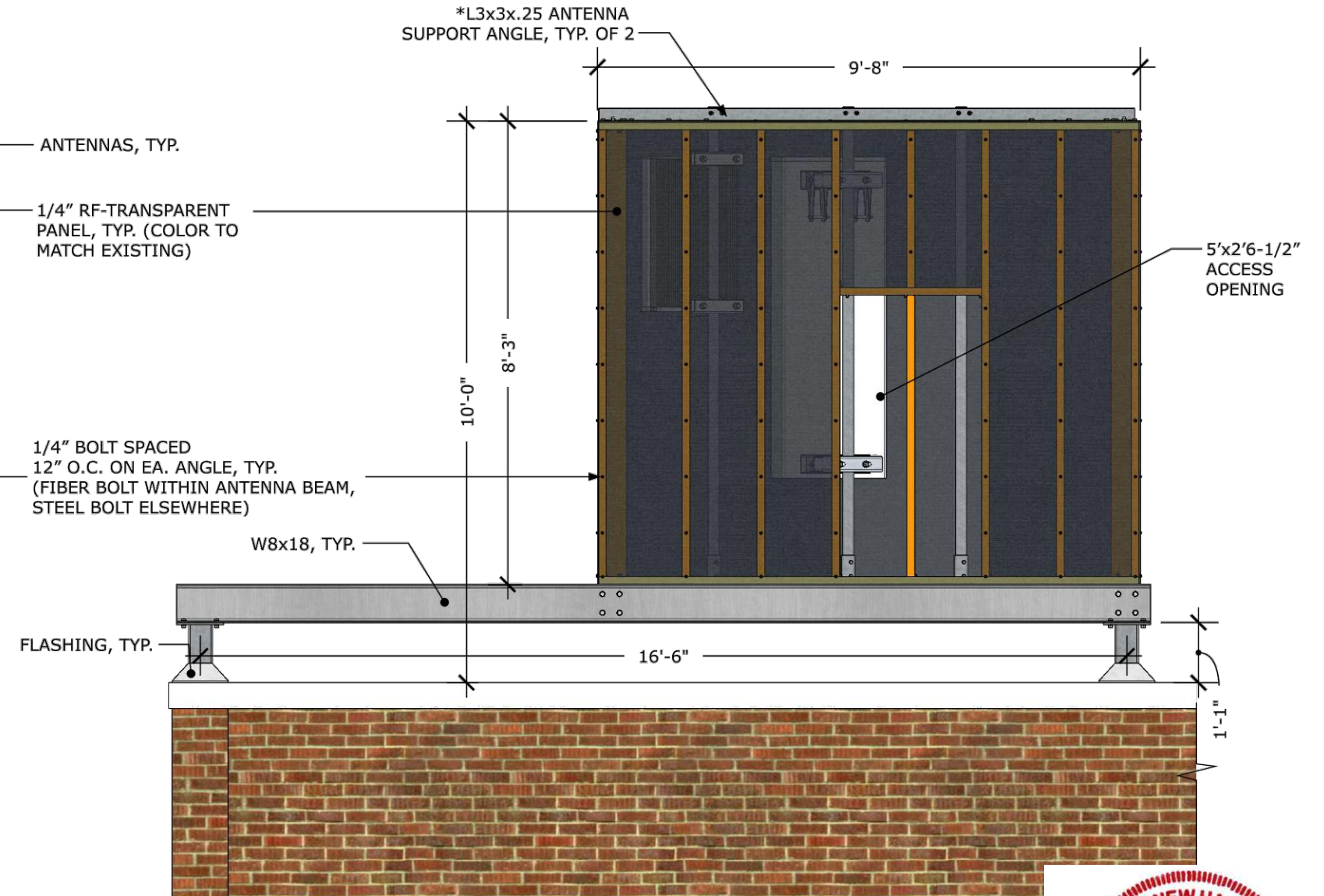
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3	11/17/21	REVISED	CJG	MRC

GENERATOR DETAILS

NOTE:
SECTOR A CONCEALMENT
ASSEMBLY AND BASE FRAME
SHOWN. ASSEMBLY AND BASE
FOR SECTORS B & C ARE
IDENTICAL BUT IS ROTATED 180
DEGREES. SEE SHEET A-1 FOR
ORIENTATION OF ASSEMBLIES.



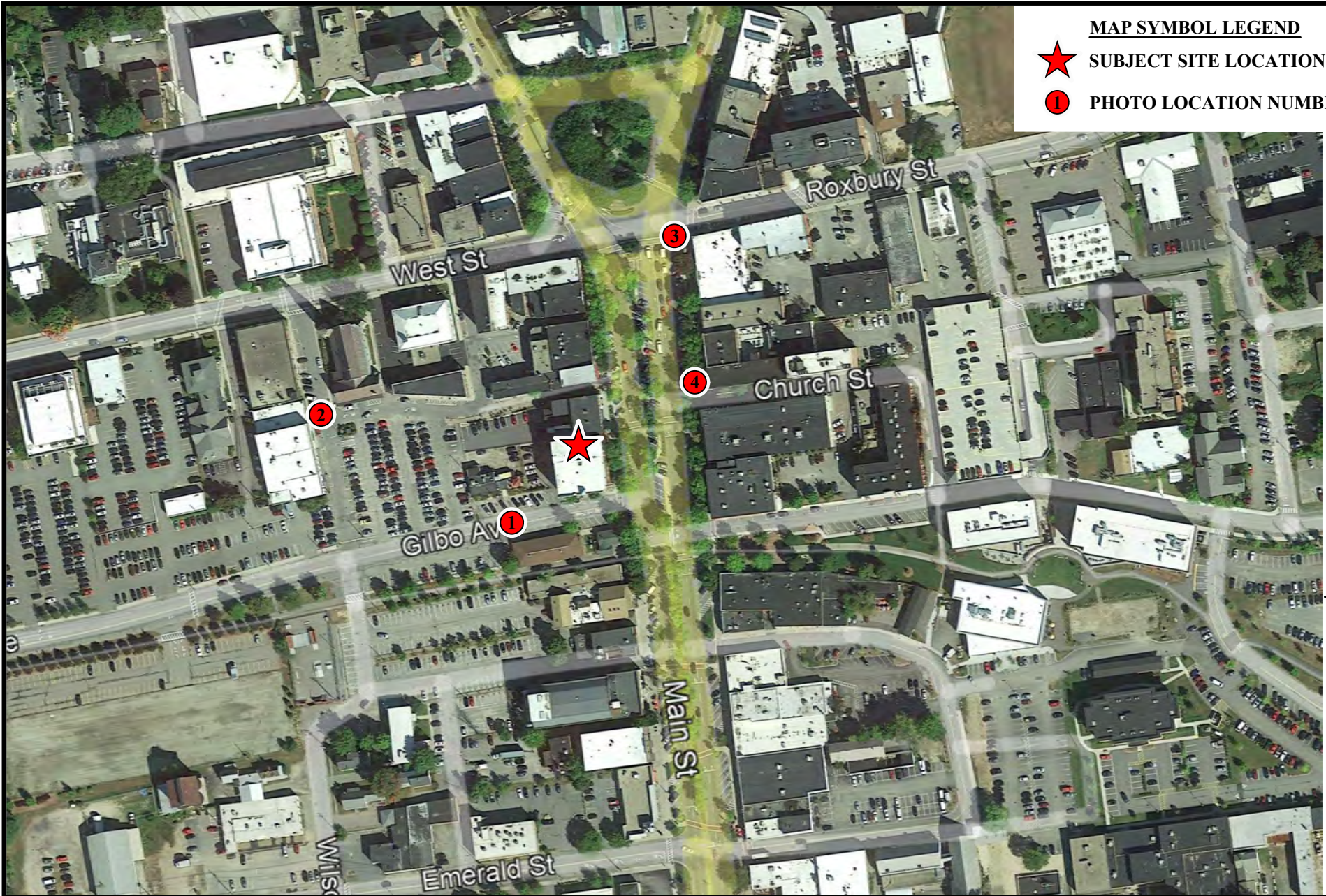
1 REAR ELEVATION
S-4 Scale: 3/8"=1'-0"





2 SIDE ELEVATION
S-4 Scale: 3/8"=1'-0"



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2	10/21/21	REVISED	JWH	MRC
3	11/17/21	REVISED	CJG	MRC



MAP SYMBOL LEGEND

-  SUBJECT SITE LOCATION
-  PHOTO LOCATION NUMBER



PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

PREPARED BY:

E-ADVANCED
 ENGINEERING GROUP, P.C.
 Civil Engineering - Site Development
 Surveying - Telecommunications
 500 NORTH BROWWAY
 EAST PROVIDENCE, 02914
 PH: (401) 354-2403
 FAX: (401) 633-6354

SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

KEY MAP OF PHOTOS

PAGE: MAP-1
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1



EXISTING
SUBJECT
BUILDING

PREPARED FOR:
T-MOBILE NORTHEAST, LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893

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SITE NO: 4KN0339A
SITE NAME: 55 MAIN ST KEENE RT
ADDRESS: 35-43 & 45-47 MAIN STREET
KEENE, NH 03431

VIEW #1
EXISTING VIEW FROM THE SOUTHWEST,
ON GILBO AVENUE

PAGE: V-1E
DATE: 10/18/2021
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REVISION: 1

PROPOSED RF-TRANSPARENT
 CONCEALMENT ASSEMBLY FOR
 PROPOSED T-MOBILE ANTENNAS



PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
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SITE NO: 4KN0339A
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 KEENE, NH 03431

VIEW #1
 PROPOSED VIEW FROM THE SOUTHWEST,
 ON GILBO AVENUE

PAGE: V-1P
 DATE: 10/18/2021
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 REVISION: 1



EXISTING SUBJECT BUILDING

PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

PREPARED BY:

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SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

VIEW #2
 EXISTING VIEW FROM THE WEST,
 ON SAINT JAMES STREET

PAGE: V-2E
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1



PROPOSED RF-TRANSPARENT
CONCEALMENT ASSEMBLY FOR
PROPOSED T-MOBILE ANTENNAS

PROPOSED T-MOBILE
CABLE TRAYS

PREPARED FOR:
T-MOBILE NORTHEAST, LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893

PREPARED BY:
**E-ADVANCED**
ENGINEERING GROUP, P.C.
Civil Engineering - Site Development
Surveying - Telecommunications
500 NORTH BROADWAY
EAST PROVIDENCE, 02914
PH: (401) 354-2403
FAX: (401) 633-6354

SITE NO: 4KN0339A
SITE NAME: 55 MAIN ST KEENE RT
ADDRESS: 35-43 & 45-47 MAIN STREET
KEENE, NH 03431

VIEW #2
PROPOSED VIEW FROM THE WEST,
ON SAINT JAMES STREET

PAGE: V-2P
DATE: 10/18/2021
DRAWN BY: MR
REVISION: 1



EXISTING
SUBJECT
BUILDING

PREPARED FOR:
T-MOBILE NORTHEAST, LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893

PREPARED BY:

EG ADVANCED
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 500 NORTH BROADWAY
 EAST PROVIDENCE, 02914
 PH: (401) 354-2403
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SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

VIEW #3
 EXISTING VIEW FROM THE NORTH,
 ON MAIN STREET

PAGE: V-3E
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1



PROPOSED RF-TRANSPARENT
 CONCEALMENT ASSEMBLY FOR
 PROPOSED T-MOBILE ANTENNAS

PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

PREPARED BY:

E-ADVANCED
 ENGINEERING GROUP, P.C.
 Civil Engineering - Site Development
 Surveying - Telecommunications
 500 NORTH BROADWAY
 EAST PROVIDENCE, 02914
 PH: (401) 354-2403
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SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

VIEW #3
 PROPOSED VIEW FROM THE NORTH,
 ON MAIN STREET

PAGE: V-3P
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1



PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

PREPARED BY:

E-ADVANCED
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 Civil Engineering - Site Development
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SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

VIEW #4
 EXISTING VIEW FROM THE EAST,
 ON MAIN STREET

PAGE: V-4E
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1



PROPOSED RF-TRANSPARENT
 CONCEALMENT ASSEMBLY FOR
 PROPOSED T-MOBILE ANTENNAS

PREPARED FOR:
 T-MOBILE NORTHEAST, LLC
 15 COMMERCE WAY, SUITE B
 NORTON, MA 02766
 OFFICE: (508) 286-2700
 FAX: (508) 286-2893

PREPARED BY:

EG ADVANCED
 ENGINEERING GROUP, P.C.
 Civil Engineering - Site Development
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 PH: (401) 354-2403
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SITE NO: 4KN0339A
 SITE NAME: 55 MAIN ST KEENE RT
 ADDRESS: 35-43 & 45-47 MAIN STREET
 KEENE, NH 03431

VIEW #4
 PROPOSED VIEW FROM THE EAST,
 ON MAIN STREET

PAGE: V-4P
 DATE: 10/18/2021
 DRAWN BY: MR
 REVISION: 1

STAFF REPORT

COA-2017-07, Modification #1 – DEMOLITON – Occhipinti Block, 147 Main Street

Request:

Applicant Timothy Sampson, on behalf of owner 147 Main Street LLC, proposes to demolish the building located at 147 Main St (TMP# 584-060-000-000-000). The property is ranked as a Contributing Resource and is located in the Downtown Core District.

Background:

The 147 Main Street property is located on the northwest corner of Main Street and Davis Street. The two-story brick building on this site was constructed in 1926 by Frank Occhipinti to house First National Groceries (listed in 1928) and other retail interests, including his shoemaking shop. Other early uses include the Dudley family restaurant, known as “Dudley’s,” and the Mayflower Restaurant. Carl R. Bloomer purchased the block in 1947, and throughout the 1950s the block housed a grocery store (The Red & White), a commercial credit shop, and a donut shop. The upper level was used for residential apartments. In the late 1980s, the block was occupied by Goldberg’s Deli & Café as well as the offices of the Minuteman Press. Most recently, the building was occupied by Cobblestone Ale House, Dominos, and Piazza Ice Cream on the first floor with apartments on the second floor.



Figure 1. Photo of the 147 Main Street building, taken on 9/10/2009.



Figure 2. Photo of the south and east facades of the 147 Main Street building, taken in the fall of 2002.

The property inventory form for this property states *“The Occhipinti Block occupies an important corner lot and effectively defines the southern limit of commercial development. It is an excellent representation of an early 20th century business block.”* Character-defining features noted on the form include: the orientation of the building toward Main Street; horizontal design elements, especially expressed in bands of vertically laid brick; cast stone trim; the size and spacing of window openings; the outer storefronts, which retain a high degree of historic fabric; and the southern storefront that wraps around the corner. Due to the location of the building on the lot, its scale and massing, pedestrian orientation, and high level of integrity, this property is ranked as a “Contributing Resource.”

On the evening of January 8, 2022 a five-alarm fire broke out, originating from a “Fryolator” in the kitchen of Cobblestone Ale House. The fire caused significant damage to the building, and the building was deemed to be an *unsafe building* per the 2015 International Existing Building Code, Section 115 – Unsafe Buildings and Equipment by Stephen C. Tarbox, PE.

STAFF REPORT



Figure 3. Photo of the 147 Main Street building, taken on 2/1/2022.

The Applicant proposes to demolish the entire structure due to the extent of fire damage to the property. Per Section 21.4 of the HDC Regulations, this request is classified as a “Major Project” for review by the Historic District Commission.

Completeness:

The Applicant requests exemptions from submitting a site plan, architectural elevations, scale and massing depictions, and material examples as no new development is proposed at this time. Staff recommend that the Commission grant the requested exemptions, and accept the application as “complete.”

Application Analysis:

The relevant standards of the HDC Regulations are listed in Section 21.7.1, *Demolition*, of the Land Development Code. In making a determination whether or not to grant a Certificate of Appropriateness for the demolition of a structure categorized as a Primary or a Contributing Resource, the HDC must find by a simple majority vote that one of the criteria #1-3 listed in this section have been met; or, the HDC must find by a two-thirds vote that there are extraordinary circumstances that warrant demolition.

“21.7.1 Primary and Contributing Resources

A. Demolition, or partial demolition, of a building and/or structure categorized as a Primary or a Contributing Resource, including secondary buildings and structures located on the same property as a Primary or a Contributing Resource, shall be prohibited unless:

- 1. The applicant can demonstrate that retaining the resource would constitute economic hardship due to unavoidable quantifiable and verifiable expenditures or a fiscal loss that would ensue should the building not be demolished; or**
- 2. The building or structure has been determined structurally unsound, based upon a written technical report prepared by an architect or professional engineer licensed in the State of New Hampshire that clearly demonstrates that the building or structure presents a risk to public health, safety and welfare; or**

STAFF REPORT

3. *Demolition is limited to a secondary building or a free-standing structure on the same property that has not been cited on the historic resource inventory form as a significant resource or character-defining feature; or*
4. *The Historic District Commission, by a two-thirds vote, determines that demolition is warranted due to extraordinary circumstances.”*

The Applicant has submitted a letter stamped by Stephen C. Tarbox, PE dated January 10, 2022, which concludes that the building sustained significant structural damage to approximately 75% of the combined first floor, second floor, and roof areas. Although the exterior brick masonry walls did not sustain any direct fire damage, their structural integrity has been compromised due to the loss of lateral support provided by the roof framing system. This letter and accompanying photos are included as attachments to this staff report.

Recommendation:

If the Board is inclined to approve this request, the following language is recommended for a motion. In addition, the Board should include the reason(s) for the decision.

Approve COA-2017-07, Modification #1 for the demolition of the Occhipinti Block building located at 147 Main Street.

HISTORIC DISTRICT COMMISSION



MAJOR PROJECT APPLICATION

A Project Name:	For Staff Use Only: Date Received :
	Community Development Department File #
Tax Map Parcel number(s) <u>584-000-000-000-000</u>	Project Address:
_____	Square Footage of Parcel:
_____	Zoning District:

Applicant	PRINTED Name/Co.: <u>Timothy Sampson</u>	Owner	PRINTED Name/Co.: <u>147 Main St LLC</u>
	Address: <u>103 Roxbury St Suite 206 Keene NH 03431</u>		Address: <u>11 River St Suite 300 Wells MA 02481</u>
	Telephone: <u>603 769 7736</u>		Telephone: <u>Wells MA 02481</u>
	E-mail: <u>Tim@SampsonArchitects.com</u>		E-mail:
	Signature: <u>[Signature]</u>		Signature: <u>see authorized agent memo</u>
Printed Name: <u>Timothy Sampson</u>	Printed Name:		

B Descriptive Narrative Including:	<input checked="" type="checkbox"/> Type of alteration <input checked="" type="checkbox"/> Reason for alteration <input checked="" type="checkbox"/> Location of alteration <input checked="" type="checkbox"/> Material selection <input checked="" type="checkbox"/> Site features <input checked="" type="checkbox"/> Landscape features	Exemptions Requested (for materials not submitted) Circle one: <u>YES</u> NO (If YES see section H)
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C A complete application must include the following:	<input checked="" type="checkbox"/> Two (2) copies of completed application forms <input type="checkbox"/> Two (2) copies of Descriptive Narrative <input type="checkbox"/> FEES covering the costs of processing, legal notice, advertising the public hearing, mailing notices out to abutters <input checked="" type="checkbox"/> Signed and Notarized Abutters List (direct Abutters only) <input checked="" type="checkbox"/> Two (2) sets of Mailing Labels for abutters	<input type="checkbox"/> Copies of any Zoning Board of Adjustment actions <input type="checkbox"/> Three (3) copies of site plan (see Section D) <u>exemption</u> <input type="checkbox"/> Three (3) color copies of architectural elevations (see Section E) <u>exemption</u> <input type="checkbox"/> Scale and Massing Depictions (see Section F) <u>exemption</u> <input type="checkbox"/> Material Examples (see Section G) <u>exemption</u>
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Sampson Architects

103 Roxbury Street
Suite 206
Keene, NH 03431

Memo: Authorized Agent

27 January 2022

To: **Mari Bruner**
Historic District Commission
City of Keene

Re: Authorized Agent
HDC Submission

I, George Levine, owner of 147 Main Street Keene, NH , authorize Timothy Sampson to apply for and represent me in filing any necessary applications required for permitting and approvals for all work at 147 Main Street, including but not limited to appearing before any government agency at general meetings or public hearing addressing such construction or improvements at my property located at 147 Main Street Keene NH.



George Levine (owner)

Descriptive Narrative

Type of Alteration:

This project proposes to remove the remaining structure and all building materials from 147 Main Street. Complete demolition has been deemed necessary due to the extent of the fire damage.

Reason for Alteration:

Due to a fire the building has been deemed unsafe and a complete structural loss.

Location of Alteration:

As the building has been deemed unsafe, this application proposes removal of the entire structure.

Material Selection:

Exemption requested

Site Features / Landscape Features:

Exemption requested

Misc. Information:

See attached memo authored by SCT Engineering along with accompanying photographs.

SCT Engineering

Structural Engineering
Construction Consultation

189 Jordan Road
Keene, NH 03431
603-352-1488
sct@sctengineering.com
www.sctengineering.com

January 10, 2022

Mr. John Rogers
City of Keene
3 Washington Street
Keene, NH 03431

Re: 149 Main Street
Keene, NH

Dear Mr. Rogers:

At your request, on January 9, 2022, I performed a structural assessment of the fire damage to the building located at the above referenced address. The damage was caused by a fire that erupted at around 10 PM the evening of January 8, 2022. Fire fighting efforts ended around 7:00 AM the following morning. An evaluation of the building's structural integrity was performed at around 9 AM that morning to determine if and how the building could be safely entered for a search operation.

Building Description

The building is a two story commercial property located at the NW corner of Main and Davis Streets (Photos 1, 2). The building footprint is approximately 65 feet by 65 feet. It is estimated to have been built around the 1930's. The first story was divided into three separate restaurant and food service establishments. The second story contained residential apartment units.

The exterior load bearing walls were constructed of multi-wythe, brick masonry. The first and second floors and the roof were constructed of conventional wood framing. Floor joists and roof rafters were supported via masonry pockets along the exterior walls. Interior regions of the floor and roof framing systems are supported by wood framed load bearing walls. The floors and roof were sheathed with wooden boards. The roof was flat and finished with a single ply rubber roofing membrane. There is a full height basement which was not entered because of the significant amount of water that had collected there as a result of the fire extinguishing effort. The foundation supporting the superstructure is assumed to consist of concrete foundation walls and interior piers or posts.

Damage Assessment

The fire erupted in the kitchen of the food service establishment at the south side of the building which runs along Davis Street. As viewed overhead from the Fire Department's ladder truck, the fire completely destroyed the roof framing system (Photos 3-5). Nearly all of

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the second story partitions were significantly damaged or destroyed as a result of the fire making passage almost impossible. Because of the loss of the roof framing system, the exterior masonry walls no longer have lateral support at the roof level.

The first story was entered to assess the structural integrity of the second floor framing system for the purpose of conducting a search of the second floor. The second floor framing joists making up the southern half of the floor framing system were significantly charred with at least 50% section loss (Photos 6-11). The second floor sheathing boards were also charred with at least 50% section loss. The second floor joists along the south wall were completely burned through at several locations. The central region of the first story was entered through an exterior door on the west wall. From this vantage point, several second floor joists were burned completely through along an interior bearing wall (Photos 12, 13). The interior partitions in the southern half of the first story were extensively damaged by fire. These partitions provide support to the second floor framing system. The fire damage to the southern half of the second floor framing system and the load bearing partitions render the southern half of the second floor significantly compromised. Walking on this region of the second floor must be avoided. Adequate shoring of the underside is recommended if this area must be accessed. The interior bearing partitions in the northern half of the first story and the overhead second floor framing system had fire and water damage to a lesser extent.

The structural integrity of the first floor framing system could not be assessed due to a significant amount of water that had collected in the basement. It is reasonable to assume, however, that the southern half of the first floor framing system may have significant damage caused by fire. Certainly, the entire floor framing system has significant water damage.

The foundation walls were not likely damaged by the fire or the extinguishing effort. The first floor framing system likely provides a measure of lateral support to the foundation in resisting lateral soil pressure. This should be taken into consideration when the first floor framing system is removed.

Conclusion

The entire roof framing system was destroyed by the fire. Consequently, the exterior masonry walls no longer have the lateral support that was provided by the roof framing system. All of the second story partitions were significantly damaged by the fire and/or water. Approximately 67% of the second floor framing system was significantly damaged or destroyed by the fire. Approximately 67% of the first story partitions which support the second floor framing system were significantly damaged by fire. At least 50% of the first floor framing system likely has significant fire and water damage.

The exterior masonry walls do not appear to have been directly damaged by the fire, however, the lateral support provided by the roof framing system has been lost resulting in compromised structural integrity of the exterior masonry walls.

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In summary, the fire caused significant structural damage to approximately 75% of the combined first floor, second floor, and roof areas. Consequently, the exterior masonry walls have compromised lateral resistance. These conditions have rendered this to be an *unsafe building* per the 2015 International Existing Building Code, Section 115 - Unsafe Buildings and Equipment.

Sincerely,



Stephen C. Tarbox, PE



Photos attached



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5

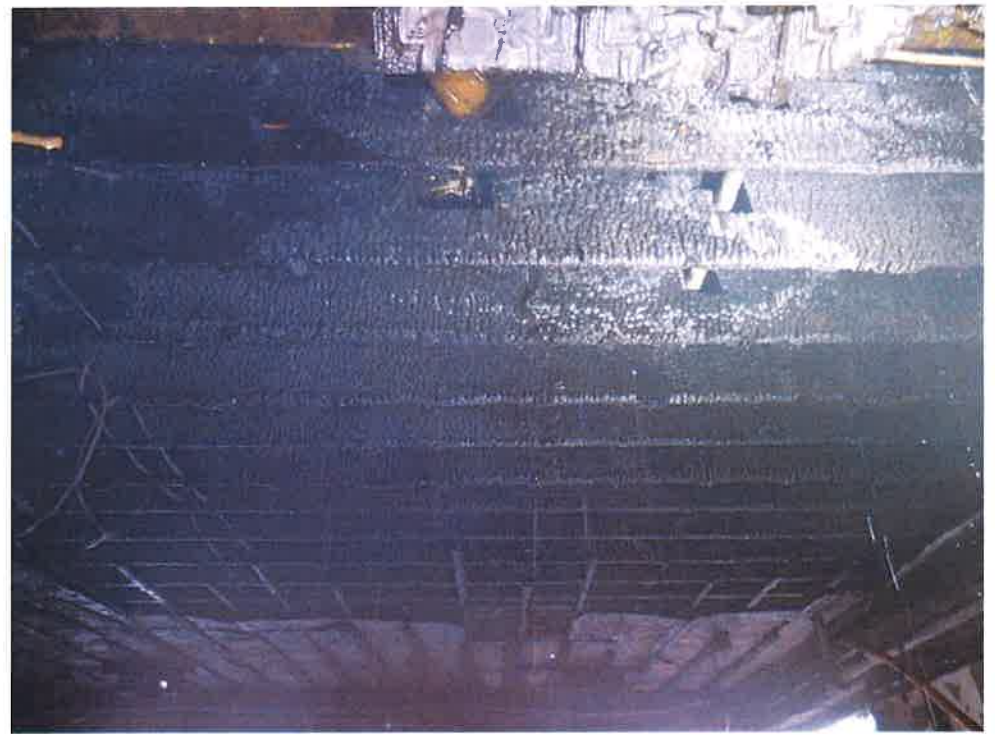


Photo 6



Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13

2021 Minor HDC Projects: January-December

The list below includes requests that were approved administratively by staff on behalf of the HDC from January 1, 2021 to December 31, 2021. Since July 1st, a total of seven requests have been approved administratively by staff (see #6-12 below). These requests either met the threshold for a minor project as outlined in Article 21.4.1 of the Land Development Code (LDC), or they were proposed for a Non-contributing or Incompatible resource and it was determined that they did not warrant review and approval by the Historic District Commission (per Article 21.4.2.C of the LDC). More information about each project is available on the 4th floor of City Hall.

1. **COA-2021-01 – 73 Court Street – Window Replacement:** Replace an existing vinyl window along the south façade of the building with a new double-hung vinyl window within the existing opening. The new window will match the existing windows in terms of color, material, size, muntin type, and grid pattern.
2. **COA-2013-06, Modification #2 – 59-79 Emerald Street – Window Replacements:** Replace four metal windows with white vinyl windows within the existing window openings in the former Uptown Salon tenant space. The new windows will match the existing windows located at the front of the tenant space in terms of color and material.
3. **COA-2011-13, Modification #8 – 34 Cypress Street – Monadnock Food Co-op Modifications:** The Applicant proposes minor modifications to the Monadnock Food Co-op building and site, including the submittal of revised elevations to show the second entrance along the south façade (located to the east of the existing main entrance), installation of a new Mitsubishi rooftop unit on the northwest corner of the roof, increase the size of the dumpster enclosure on the western portion of the site by 230-sf, and construction of an open steel frame canopy structure with a metal roof over the loading dock.
4. **COA-2021-03 – 43 & 49 Saint James Street – Rooftop Solar Array:** Install a 68.765 kW DC rooftop solar array consisting of 164 solar panels on the upper and lower portions of the roof at a 15-degree tilt with a maximum height of 20-in above the surface of the roof, a minimum setback of 4-ft from the edge of the roof, and screened from pedestrian view by an existing 1-ft parapet.
5. **COA-2021-04 – 40 Washington Street – Window Replacements:** Replace ten windows on the second story of the building along the east, north, and south facades with white vinyl windows that will match the dimensions, shape, grid arrangements, and other design details of the existing windows. Install a 3-in PVC pipe on the north elevation facing Vernon Street that will be painted to match the color of the underlying finish materials.
6. **COA-2021-06 – 27-29 Center Street – Vent Installation & Ramp Removal:** Remove the existing wooden handicap ramp and install two 4-in vent covers through the existing masonry approximately 11-ft and 19-ft above grade along the west building façade. The vent covers will be painted Krylon “Satin Brick” to blend with the color of the existing masonry.
7. **COA-2014-07, Modification #3 – 37 Mechanic Street – Community Kitchen Vents & Rooftop Equipment:** Install two 8-in by 8-in vent openings painted to match the existing exterior finish along the east building façade facing Pleasant Street, install a 12-in by 12-in vent along the eastern portion

of the north façade facing the existing parking area, and install a new exhaust fan and a make-up air unit along the northern portion of the roof.

8. **COA-2014-07, Modification #5 – 37 Mechanic Street – Community Kitchen Front Entrance Door Replacement:** Replace the existing metal single-glazed double-door entrance at the east end of the south-facing building façade with a new insulated glass single metal door and fixed sidelight within the existing opening.
9. **COA-2019-07, Modification #2 – 89 Main Street – Alteration to Colonial Theatre Addition:** Modify the variation of patterning of the exterior materials on the south, north, and west facades of the rear addition, which was initially approved as part COA-2019-07 in September 2019 and modified as part COA-2019-07, Mod. #1 in December 2020. There will be no change in the form of this addition or in the previously approved material type.
10. **COA-2019-07, Modification #3 – 89 Main Street – Colonial Theatre Brick Repair/Stair Replacement:** Repair large cracks in the existing brick walls on the north and south sides of the stage that were damaged during construction. Any damaged brick will be replaced with brick salvaged from the west façade of the building, and the mortar that will be used has been identified as SPEC MIX Portland Lime & Sand Mortar, Type N, “#210 – Cappuccino.” In addition, the existing steel stairs along the Main Street storefront will be replaced in-kind with new galvanized steel stairs that will match the existing in terms of dimensions, color, material, and design details. The existing railings will be salvaged and reinstalled.
11. **COA-2020-05, Modification #1 – 1-9 Main Street – Elliot Block Masonry Repairs:** Remove the existing faux brick panels in two former window openings measuring approximately 3’-7” by 5’-1” and a former door opening measuring 4’ by 3’-5” along the north building façade facing West Street. Repair, repoint, and replace approximately 300-sf of masonry where necessary in various areas over and around the windows on the eastern portion of the south building façade adjacent to the alleyway. Repoint all masonry using Portland Lime & Sand type N mortar mix in the color “MC58 – Blond” and use reclaimed bricks to mimic the appearance of existing masonry. Clean brick only in areas where it is necessary using a hose with running water. Staff approval of test patches in an unobtrusive location will need to take place prior to cleaning, repointing, and repairs.
12. **COA-2021-04, Modification #1 – 40 Washington Street – Vernon Street Façade Modifications:** Infill four vent openings and cover them with stucco to match the existing finish on the north building façade facing Vernon Street. In addition, the metal basement door along this façade will be replaced with a glass door to match the overall appearance, shape, and size of the adjacent door located immediately to the east.