



City of Keene Planning Board

AGENDA

Monday, September 26, 2022

6:30 PM

City Hall, 2nd Floor Council Chambers

- I. **Call to Order** – Roll Call
- II. **Minutes of Previous Meeting** – August 22, 2022
- III. **Final Vote on Conditional Approvals**
- IV. **Boundary Line Adjustment**

S-09-22 – Boundary Line Adjustment – 24 & 28 Salisbury Rd - Applicant Doucet Survey LLC, on behalf of owners Michael J. Miles & the Zecha 2021 Rev. Family Trust, proposes a boundary line adjustment between the properties located at 24 Salisbury Rd (TMP# 563-010-000) and 28 Salisbury Rd (TMP# 563-011-000). This adjustment would result in a transfer of 0.04-ac from the 0.47-ac parcel at 24 Salisbury Rd to the 0.29-ac parcel at 28 Salisbury Rd. Both properties are located in the Low Density District.

- V. **Continued Public Hearing**

S-04-22 – Conservation Residential Development Subdivision & SPR-04-22 – Site Plan – 0 Drummer Rd – Applicant and owner Christopher Farris proposes to subdivide the 13.1-ac parcel located at 0 Drummer Rd (TMP #515-015-000-000-000) into 6 lots and construct 5 multi-family buildings. Four of the lots are proposed to be developed into 5-unit multifamily residences, one lot is proposed to be developed as a 6-unit multifamily residence, and the remaining lot would be conserved as open space. The developable lots are proposed to have access from Timberlane Dr via a shared private driveway and vary in size from 0.3 to 1.2 acres. The open space lot is 9.5 acres. Waivers are requested from Section 25.10.8.B.2 of the Land Development Code regarding the requirement to prepare a survey that shows all metes and bounds of the revised parcels, Section 20.14.3.D regarding the requirement that all off-street parking be located to the side or rear of buildings, and Section 19.3.5.A.3.a regarding the requirement that all structures be accessed from interior streets. The site is in the Low Density District.

- VI. **Public Hearings**

SPR-16-14, Modification #8 – Site Plan – Mint Carwash, 435 Winchester St – Applicant and owner MOC76 Realty Co. LLC proposes to modify the Mint Carwash site located at 435 Winchester St (TMP #115-029-000-000-000) by reconfiguring the parking and reducing the width of the Wetmore St curb cut for the former Ocean Harvest Restaurant. A waiver is requested from Sec. 20.14.3.D of the Land Development Code to allow for parking with vacuum stations in front of the building. This parcel is 1.33 ac in size and is located in the Industrial, Commerce, and High Density Districts.

CLSS-CUP-01-21, Modification #1 – Congregate Living & Social Service Conditional Use Permit – Monadnock Area Peer Support Agency, 32-34 Washington St #Rear - Applicant and owner Monadnock Area Peer Support Agency proposes to modify Conditional Use Permit CLSS-CUP-01-21 to include an outdoor activity area. The 0.28-ac property is located at 32-34 Washington St #Rear (TMP #568-058-000-000-000) and is located in the Downtown Core District.

SPR-870, Modification #2 – Site Plan – Building Addition, 310 Marlboro St – Applicant and owner 310 Marlboro St. LLC proposes to construct a 48,460 sf, three-story addition containing 57 apartments on the existing 86,689 sf, two-story building. In addition, the applicant proposes site modifications including changes to parking, landscaping, and street access for the property located at 310 Marlboro St (TMP# 595-001-000-000-000). The site is 4.25 ac in size and is located in the Business Growth and Reuse District.

VII. **Staff Updates**

- a. 2022 Land Use Law Virtual Conference – Saturday, October 15th from 9:00 am – 3:00 pm

VIII. **New Business**

IX. **Upcoming Dates of Interest – August 2022**

- Joint Committee of the Planning Board and PLD – **October 17**, 6:30 PM
- Planning Board Steering Committee – October 11, 11:00 AM
- Planning Board Site Visit – October 19, 8:00 AM – To Be Confirmed
- Planning Board Meeting – October 24, 6:30 PM

1 **City of Keene**
2 **New Hampshire**

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5 **PLANNING BOARD**
6 **MEETING MINUTES**
7

8 **Monday, August 22, 2022**

6:30 PM

**Council Chambers,
City Hall**

Members Present:

Pamela Russell Slack, Chair
David Orgaz, Vice Chair
Councilor Michael Remy
Emily Lavigne-Bernier
Roberta Mastrogiovanni
Armando Rangel
Harold Farrington
Randyn Markelon, Alternate
Kenneth Kost, Alternate

Staff Present:

Mari Brunner, Senior Planner
Evan Clements, Planner
Jesse Rounds, Community Development
Director

Members Not Present:

Mayor George S. Hansel
Gail Somers, Alternate
Tammy Adams, Alternate

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11 **I) Call to Order – Roll Call**
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13 Chair Russell Slack called the meeting to order at 6:30 PM.
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15 **II) Minutes of Previous Meeting – July 25, 2022**
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17 A motion was made by Councilor Michael Remy that the Planning Board approve the July 25,
18 2022 meeting minutes. The motion was seconded by David Orgaz and was unanimously
19 approved.
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21 **III) Final Vote on Conditional Approvals**
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23 Senior Planner Mari Brunner stated there were no conditionally approved projects for the
24 Board to vote on tonight.
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IV) Public Hearings

S-07-22 – 2-lot Subdivision – 91 Sullivan St - Applicant Huntley Survey & Design PLLC, on behalf of owner Venture Residential LLC, proposes to subdivide the 0.74-ac parcel at 91 Sullivan St (TMP# 516- 013-000) into a 0.23-ac lot and a 0.5-ac lot. The property is located in the Low Density District.

A. Board Determination of Completeness

Ms. Brunner stated the Applicant requests exemptions from providing separate existing and proposed conditions plans and technical reports. Staff have determined that the requested exemptions would have no bearing on the merits of the application, and recommend that the Board accept the application as complete.

A motion was made by Councilor Michael Remy to recommend the Board accept Application S-07-22 as complete. The motion was seconded by David Orgaz to find the Application as complete. The motion was unanimously approved.

B. Public Hearing

Mr. Jim Phippard of Brickstone Land Use Consultants addressed the Board – he was filling in for Russ Huntley. Mr. Phippard stated Venture Residential are the owners of the property located at the corner of Sullivan Street and Rule Street. He referred to this property on the plan outlined in pink, 0.74 acres in size located in the low density district and is serviced for City water and sewer. The proposal is for a two lot subdivision (lot 1, 0.233 acres and lot 2, 0.502 acres). Both lots are conforming lots in the Low Density district, have adequate frontage and meet the setback requirements. There is a small non-conforming building located on the north side, which is a garage. One lot has the house, out buildings, sheds, barns and garage. The other is a vacant lot.

Mr. Phippard stated the vacant lot has a drainage easement held by the City which discharges into a wetland located at the southeast corner. However, felt there was adequate room for this to be a building lot.

Staff comments were next. Ms. Brunner stated this is a simple two lot subdivision. The lot currently has a single family home on the north end. The subdivision is so that the southern portion could become a buildable lot. After the subdivision, Lot 1 would be 10,166 sf in size and Lot 2 would be 21,858 sf in size. She referred to the drainage easement for the City to maintain drainage which is shown on the plan. The wetland referred to by Mr. Phippard is also shown on the plan. This concluded staff comments.

The Chair asked for public comment, with no comments from the public the Chair closed the public hearing.

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C. Board Discussion and Action

Councilor Remy stated this was a straight forward application as presented and hence made a motion that the Planning Board approve S-07-22 for a 2-lot subdivision of the parcel located at 91 Sullivan St (TMP# 516-013-000), as shown on the plan identified as “Two Lot Subdivision, Land of Venture Residential, LLC” prepared by Huntley Survey & Design, PLLC at a scale of 1 inch = 20 feet, dated July 5, 2022 and revised on August 2, 2022 with the following conditions precedent, prior to signature by Planning Board Chair:

1. Submittal of four (4) full size copies of the final plans and two (2) Mylar sheets.
2. Submittal of a check in the amount of \$51.00 made out to the Cheshire County Registry of Deeds.

The motion was seconded by David Orgaz based on the fact that it was straight forward application with no questions and all of the items addressed. The motion was unanimously approved.

V) Continued Public Hearing

EXP-01-22 & CUHP-01-22 – Earth Excavation Permit & Hillside Protection

Conditional Use Permit – 0 Rt 9 – Applicant TFMoran Inc., on behalf of owner G2 Holdings LLC, proposes to operate a gravel pit on the undeveloped property located at 0 Rt 9 (TMP# 215-007-000-000-000). A Hillside Protection Conditional Use Permit is requested for impacts to steep slopes. Waivers are requested from the following sections of Article 24 of the Land Development Code: 24.3.1.A (200’ public ROW setback), 24.3.1.C (150’ access driveway setback), 24.3.1.D (surface water resource setbacks), 24.3.4 & 24.3.5 (Groundwater Quantity & Quality Baseline Measurements), 24.3.13 (Maximum Excavation Area), and 24.3.15.D (Annual Noise Monitoring). The site is 84.71 acres in size and is located in the Rural District.

A. Public Hearing

Mr. Jeff Kevan of TF Moran addressed the Board next and stated this property is located on Route 9 on the Keene/Sullivan town line. The property is 84.7 acres, but the applicant owns 334 acres in all. The property is located in the Rural District and is within the Hillside Protection area. From Route 9 to where the gravel pit is located is a 50 foot grade change.

Mr. Moran noted on the plan to soil types. Chair Russell Slack asked what important habitat is located in this area. Mr. Moran stated there is a ravine considered jurisdictional wetlands, a ditch line next to Route 9 also considered jurisdictional wetlands, there are also two types of turtles which are common for these types of soils. He added all residential houses are ½ a mile away and there is a solid buffer around this property. The closest well is at the Otter Brook Park which is about 1,800 feet away.

Mr. Kevan explained the grade and terrain where this work is taking place: you enter the property, create a platform in this five acre area. There are hillsides on three sides as well as forested area to provide screening.

120 Mr. Kevan referred to two sheets which illustrate the erosion control measures and restoration of
121 those areas. He said that an Alteration of Terrain Permit has been submitted and the applicant has
122 been requested to adjust the application to an “after the fact” application.
123

124 Mr. Kevan next referred to the gravel pit as proposed which has not changed since the original
125 submission. The Geo Technical Engineer installed monitoring wells to determine seasonal high
126 water tables. The reason for this is that the City of Keene requires all grading to be six feet above
127 seasonal high water table. He added there is no blasting being proposed. The proposal is to
128 follow the existing grade of the driveway on the downhill side towards the highway, place a
129 slight widening, and install a rip rap ditch which would retain the tree cover along Route 9.
130 He referred to the ravine that runs on both sides along the northeast corner of the site; there is a
131 ridge which causes a natural barrier. One of the waivers is to reduce that wetland setback from
132 250 feet to 75 feet. On the opposite side there is another wetland, the request is to reduce this
133 setback from 250 feet to 127 feet. There is also a berm and swale being proposed for this
134 location. The berm will be approximately three feet tall.
135

136 Most storms will be infiltrated, when it over tops it will run down to the swale and a small basin
137 is being proposed in the southeast corner of the site. The driveway application has been filed
138 with NHDOT. NHDOT requested an apron next to Route 9.
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140 Mr. Kevan stated the proposal is for 30 to 40 trucks, operation hours will be 7 am to 5 pm, this
141 work is set to last approximately two to four years. The trucks would usually stop operation
142 around 3:30 pm and the only staff left at that time would be about three employees who would
143 leave at the end of the day. Mr. Kevan stated because this site is over five acres it also triggers an
144 Alteration of Terrain Permit inspection.
145

146 Mr. Farrington asked for added clarification on the timeframe of two to four years. Mr. Kevan
147 stated this is an estimate. There is approximately 115,000 cubic yards of material and the
148 estimate is that it will take two to four years. Mr. Farrington asked what happens after that area is
149 exhausted. Mr. Kevan stated the site will be stabilized (loam and seed) and it will be used for
150 some other purpose.
151

152 Councilor Remy asked whether the Alteration of Terrain Permit will ensure the work will remain
153 within the approved footprint. Mr. Kevan answered in the affirmative but added he wasn't sure
154 how often someone from the State would inspect the site. The Councilor referred to the channel
155 along the back to divert water off the site – he asked whether this would divert additional water
156 into the wetland. Mr. Kevan stated it will not.
157

158 Mr. Kevan addressed the Waivers next.

159 **Article 24.3.1.A: 200 foot Setback to the Public Right of Way** - so that they can work with the
160 existing topography.
161

162 **Article 24.3.1.C: 150 foot Access Driveway Setback** - would help work with the terrain.
163

164 **Article 24.3.1.D: Surface Waters** – setback from the two existing wetlands.
165

166 **Article 24.3.4: Ground Water Quantity Baseline Measurement** – This is for public and
167 private wells within ½ mile. Pertains to when you are excavating below the seasonal high water
168 table. Mr. Kevan felt they did not need this waiver but would like confirmation from the Board.
169

170 **Article 24.3.5: Ground Water Quality Baseline** – This is for public and private wells within ½
171 mile. Pertains to when you are excavating into the ledge. The closest public well is at Otter
172 Brook which is at least 1/3 of a mile or more, the rest are more than ½ mile away. The applicant
173 is not excavating into the ledge and hence this would not pertain to them.
174

175 **Article 24.3.1.13: Maximum Excavation Area of Five Acres** – Mr. Kevan noted the gravel pit
176 is five acres and the work being done along the road is about an acre and this Waiver is for the
177 purpose of going over the five acre minimum.
178

179 **Article 24.3.15.D: Annual Noise Monitoring** – Mr. Kevan felt because of the forested area on
180 three sides there is not much potential for noise. If there was noise it would be along the
181 driveway toward Route 9. The applicant’s request is that they will perform the initial noise study
182 when they first start the operation and if there are no issues at that time, a study will not be
183 necessary every year.
184

185 Mr. Kevan addressed landscaping next. He stated the proposal is to leave the natural vegetation
186 as-is. The flat areas will be loamed and seeded.
187

188 Screening – As indicated above
189

190 Lighting – N/A
191

192 Sewer and Water – N/A
193

194 Traffic Management – A report has been submitted – 74 daily trips are being estimated. AM
195 peak will be four vehicles in and four vehicles out. PM will be three vehicles leaving during the
196 peak hour.
197

198 Hazardous Material – Fuel will be stored in a secure shed
199

200 Noise – Has been discussed.
201

202 Visual Appearance – This is a well screened area.
203

204 This concluded Mr. Kevan’s presentation.
205

206 Councilor Remy referred to **Article 24.3.1.13: Maximum Excavation Area of Five Acres** – He
207 indicated he could not see where this was a unique condition of the property and Article
208 **24.3.15.D: Annual Noise Monitoring** – he stated he can appreciate where the noise might not
209 change that much but was trying to see what the hardship is to conduct a study annually. Mr.
210 Kevan stated they do not see the noise to be significant. They will submit the report to the Board
211 and staff and if they feel one is required annually they will be willing to do one. He felt with the

212 screening and the background noise that already exists the operation noise would not be an issue.
213 The Councilor stated his concern would be down the hill towards Otter Brook. Mr. Kevan stated
214 this is the area they will be testing. With respect to Five Acres the significant material is located
215 in the area that was originally cleared. He stated he has not seen operation such as this less than
216 five acres, the additional area is for driveway improvement and to locate the drainage (which is
217 the extra acre and a half). Councilor Remy asked whether the driveway is calculated into the five
218 acres. Mr. Kevan stated he wasn't sure how the City calculates it but Alteration of Terrain
219 calculates it into the five acres.

220
221 Mr. Rangel referred to the grading and drainage plan, the sub-surface data tables – test pits 1 and
222 2. For test pit 1 there is a ledge notation that reads “none to 867 feet” he asked whether the test
223 pit was tested down to 867 feet. Mr. Kevan answered in the affirmative and stated the testing was
224 completed by a Geo Technician.

225
226 Mr. Rangel asked who the operation would report to for storm water events and Alteration of
227 Terrain Reports. Mr. Kevan stated an engineer would have to sign the report for an operation
228 such as this and they could utilize the applicant's office or any other site.

229
230 Chair Russell Slack asked for explanation of the blasting procedure; what equipment will be
231 used. Mr. Kevan stated the contractor would use a machine that has a sharp edge to it and will
232 chisel away at the boulder. He added this work would not be continuous.

233
234 Staff comments were next. Ms. Brunner stated this application was reviewed by the Board's third
235 party consultant, Fieldstone Land Consultants, and their memo has been provided to the Board
236 for its review. The Board's proposed motion has the items raised by the consultant. One of the
237 conditions also came out of the Conservation Commission's review of this application. The
238 Conservation Commission visited the site last week. The Commission did note there is a logging
239 road that goes away from the excavation area up the slope (northwest corner) of the site. They
240 noticed the north slope of the road is showing some erosion and they recommended slope
241 stabilization for this area.

242
243 Ms. Brunner stated the Board may also want to consider adding a note to the plan that says no
244 blasting shall occur on site since this application does not contemplate doing any blasting of
245 ledge. This would make it clear to anyone who is on site, as it will be included in the design
246 plans. In addition, the Board could also consider requiring a noise study if the City receives any
247 complaints. In addition, if the Board is inclined to grant the Waiver for the maximum excavation
248 area of five acres, a condition could be added to indicate that the maximum excavation area does
249 not exceed seven acres.

250
251 Ms. Brunner went on to say the City was also notified there was work occurring on site without a
252 permit. Since then the City issued a letter to the applicant as to certain actions they were required
253 to take to rectify the situation. The area impacted was outside the proposed work area and the
254 City is requiring this area be restored. Chair Russell Slack asked how this area is being restored.
255 Ms. Brunner stated the area within 75 foot wetland buffer which was impacted is to be regraded
256 so it is back to the grade it was. The area will be re-seeded, 34 trees will be planted (white pine
257 and grey birch).

258 The Chair with reference to the noise waiver, asked whether it should be rephrased (in the
259 instance there was a noise complaint). Ms. Brunner stated the Board has options – it could deny
260 the waiver and the applicant in that instance would have to do the annual noise monitoring. The
261 second option would be to grant the waiver but add a condition that says the applicant would be
262 required to perform noise monitoring if there was a complaint. The Chair asked for feedback
263 from the Board in reference to this item.

264
265 Councilor Remy stated he did not see the necessity for this waiver as he did not feel it was
266 encumbering. He stated he would be ok waiving the requirement but if there was a complaint
267 then it would become an annual requirement but felt that could also be a trigger for someone to
268 complain. He did not see a reason to waive this requirement.

269
270 Chair Russell Slack stated she also did not see anything mentioned regarding dust control. Mr.
271 Kevan stated this is part of erosion control and there notes on the plan. There is a requirement to
272 use a water truck to keep the soil moist to prevent dust.

273
274 Councilor Remy asked whether no blasting would be a “condition subsequent” or “condition
275 precedent”. Ms. Brunner stated staff recommends it be “condition subsequent” and that it be
276 noted on the plan.

277
278 Ms. Lavigne Bernier asked whether noise monitoring is something that is done randomly. Mr.
279 Kevan explained this is a 20 day study, there are control points set where the study is going to be
280 taken from, figure out the background noise, start the operation and perform the same readings
281 again, and then produce a report. This will be done every year for as long the operation is in
282 place. Ms. Brunner stated the City has a noise ordinance which is enforced by the Police
283 Department. If there is a noise complaint it could be enforced by the Police Department and also
284 if they are in violation of their permit by exceeding the noise level it could also be enforced
285 through the excavation permit.

286
287 The Chair asked for public comment next.

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289 Mr. Cody Gordon, owner of G2 Holdings, asked whether the no blasting would be for the entire
290 84 acres. He added if a solar site was added in the future, blasting would be a necessity. Ms.
291 Brunner responded by saying no blasting would be specifically in connection with the earth
292 excavation permit. If the applicant came back to the Board for a site plan application for a solar
293 site and blasting was part of that application, it would need to be addressed at that time. She
294 added as the work progresses and a few years in the future the applicant wants to blast ledge, the
295 applicant would have to come back before the Board for approval.

296
297 Councilor Remy asked for the Board’s consensus on the noise issue. Chair Russell Slack felt the
298 Waiver could be granted on the noise with the condition if there is a complaint a study would be
299 triggered. Ms. Markelon asked what the cost would be for a study so an informed decision could
300 be made. Mr. Kevan thought it would be close to \$3,000 but stated he wasn’t sure. Ms. Markelon
301 agreed the Waiver could be granted with the condition if there is a complaint a study would be
302 triggered. Councilor Remy clarified with staff that cost cannot be an extenuating circumstance to
303 grant a Waiver. Mr. Kevan suggested the Board deny the Waiver, the applicant will come back

304 after the second year if there are no concerns they will request a modification. Mr. Gordon added
305 they used Amshaw which is an equivalent to OSHA to look at the property, conduct noise
306 monitoring and they were 50% less than what the number was required to be.

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308 With no further comment, the Chair closed the public hearing.

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311 B. Board Discussion and Action

312 A motion was made by Councilor Michael Remy that the Planning Board grant a waiver from
313 section 24.3.1.A of the Land Development Code (200' public ROW setback), a waiver from
314 Section 24.3.1C of the Land Development Code (150' Access Driveway Setback), a waiver from
315 section 24.3.1.D of the Land Development Code (Surface Water Resource Setback), a waiver
316 from section 24.3.4 of the Land Development Code (Groundwater Quantity Baseline
317 Measurement), a waiver from section 24.3.5 of the Land Development Code (Groundwater
318 Quality Baseline Measurement), and a waiver from section 23.3.13 of the Land Development
319 Code (Maximum Excavation Area).

320 The Councilor stated his motion is based on the fact that the Waivers are largely due to the
321 unique nature of the property and the excavation was well explained to include the road and
322 other items included in it.

323

324 The motion was seconded by Vice-Chair Orgaz based on what was indicated regarding the
325 granting of the Waivers. The motion was unanimously approved.

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327 A motion was made by Councilor Michael Remy that the Planning Board grant the waiver
328 request from section 24.3.15.D, "Annual Noise Monitoring". The motion was seconded by Vice-
329 Chair Orgaz. The motion failed on a 0-9 vote.

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331 A motion was made by Councilor Michael Remy that the Planning Board deny the waiver
332 request from section 24.3.15.D, "Annual Noise Monitoring" based partly based on the applicant
333 not pushing back on the denial and also the Board wanting to see what this monitoring would
334 look like over a couple of years.

335

336 The motion was seconded by Vice-Chair Orgaz based on not enough reason for granting the
337 waiver. The motion was unanimously approved.

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339 A motion was made by Councilor Michael Remy that the Planning Board approve EXP-01-22 &
340 CUHP-01-22 for an earth excavation operation on the parcel located at 0 Route 9 (TMP# 215-
341 007-000), as shown on the plan identified as "Excavation Site RTE. 9, Keene/Sullivan/ Roxbury,
342 NH Owned and Prepared For G2 Holdings LLC" prepared by TF Moran at a scale of 1 inch = 50
343 feet, dated March 18, 2022 and last revised on August 1, 2022 with the following conditions:

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345 A. Prior to final approval and signature by the Planning Board chair, the following
346 conditions precedent shall be met:

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1. Owner's Signature shall appear on the final plan set.

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2. Submittal of five (5) full size copies of the final site plan set.

- 349 3. Submittal of security for landscaping, sedimentation and erosion control,
350 As-Built plans, and restoration in a form and amount acceptable to the
351 Community Development Director and the City Engineer.
- 352 4. All required State permits shall be added to the coversheet and copies of all
353 permits shall be provided to the Community Development Department.
- 354 5. The applicant/owner shall pay all outstanding third party consultant fees.
- 355 6. The plan set shall be stamped and signed by all professionals (Wetland and
356 Soils Scientist, Surveyor, and Engineer)
- 357 7. The requested waivers and conditional use permits with results shall be
358 added to the coversheet.
- 359 8. Restoration of unpermitted impacts to wetlands and wetland buffers shall be
360 completed and inspected to the satisfaction of the City Engineer.
- 361 9. Hours of operation and all date and time restrictions shall be added to the
362 plan.
- 363 10. A note be added to the plan that states that, “The site shall operate in a
364 manner that prevents fugitive dust emissions pursuant to New Hampshire Code of
365 Admin. Rules Env-A 1002, Fugitive Dust.”
- 366 11. A note be added to the plan that states that there shall be no blasting of ledge
367 on the site.
- 368 B. Subsequent to final approval, the following conditions shall be met:
- 369 1. The area of un-reclaimed, inactive, and active excavation area shall not
370 exceed 7.0 acres.
- 371 2. The northern slope of the logging road located to the northwest of the
372 excavation area shall be stabilized.

373 Councilor Remy stated his motion is based on the applicant addressing all the concerns the
374 Board raised. The motion was seconded by Vice-Chair Orgaz based on the 11 conditions stated
375 and followed by the two subsequent conditions. The motion was unanimously approved.

376

377 **S-08-22 – 2-lot Subdivision – 284-288 Hurricane Rd** – Applicant Cardinal Surveying & Land
378 Planning, on behalf of owners Cory & Pamela Graves, proposes to subdivide the 13.04-ac parcel
379 at 284-288 Hurricane Rd (TMP# 106-010-000-000-000) into a 7.94-ac lot and a 5.10-acre lot.
380 The property is located in the Rural District.

381

382 A. Board Determination of Completeness

383

384 Planner Evan Clements stated the Applicant has requested exemptions from providing separate
385 existing and proposed conditions plans, grading plan, a lighting plan, a landscaping plan,
386 technical reports, and a narrative explaining how the proposal meets the 13 development
387 standards of the Land Development Code. Staff have determined that the requested exemptions
388 would have no bearing on the merits of the application, and recommend that the Board accept the
389 application as complete

390

391 A motion was made by Councilor Michael Remy to recommend the Board accept Application S-
392 08-22 as complete. The motion was seconded by David Orgaz and was unanimously approved.

393

394 B. Public Hearing

395 Ms. Wendy Pelletier of Cardinal Surveying addressed the Board. Ms. Pelletier referred to
396 Hurricane Road on a plan and referred to two buildings located on the plan. The site is 13 acres
397 in size. The proposal is to subdivide the property into a five acre parcel and a 7.9 acre parcel. The
398 lots have separate driveways, septic and wells. They meet all zoning requirements.
399

400 Staff comments were next. Mr. Clements stated there is no development being proposed with this
401 application. The Zoning Administrator does not have any issues with this application. The
402 existing 1850 home is a legal non-confirming structure as it is very close to the roadway, but
403 there is no proposal to make either one of these two lots any more non-confirming. There are
404 precautionary and prohibitive slopes on the property, located north and west of where the houses
405 are located. No development is being proposed at this time but if development is proposed in the
406 future, the applicant will have to come back before the Board for review.
407

408 Mr. Clements went on to say that both lots will be serviced by on-site well and septic. Existing
409 access points are shown on the plan with no changes proposed. There is a note added to the plan
410 to indicate that any future changes to site access for either of the lots shall be addressed via a
411 Street Access Permit through Public Works. There are no surface waters or wetlands shown on
412 the plan.
413

414 Councilor Remy asked whether this subdivision would cause the site to be more confirming. Mr.
415 Clements agreed that it would.
416

417 The Chair asked for public comment.
418

419 Mr. Peter Hansel of 51 Bradford Road addressed the Board and stated he represents the abutters
420 to the south closer to Hurricane Road. He stated there is currently a right of way from Hurricane
421 Road through one of the subdivision lots and wanted to make sure there would be no impact to
422 this right of way. He asked if the right of way could be included on the plan. Ms. Pelletier stated
423 she would coordinate with the abutters to properly locate the right of way and it could then be
424 shown on the plan.
425

426 Mr. Cory Graves of 284 Hurricane Road stated he too wanted to make sure all the rights of way
427 that are currently in existence remain as is.
428

429 Councilor Remy suggested a condition be added to indicate that the right of way be added to the
430 plan which is agreed to by the right of way holders and the applicant. Mr. Clements stated that is
431 acceptable to staff, but recommended that when a revised plan is submitted an Affidavit also be
432 submitted which indicates that all parties agree that the shown location on the plan is the actual
433 location of these rights of way.
434

435 C. Board Discussion and Action

436 A motion was made by Councilor Michael Remy that the Planning Board approve S-08-22 for a
437 2-lot subdivision of the parcel located at 284-288 Hurricane Road (TMP# 106- 010-000), as
438 shown on the plan identified as “2-Lot Subdivision Plan, Lot 106-010-000 284 Hurricane Road
439 Keene, NH 03431” prepared by Cardinal Surveying & Land Planning at a scale of 1 inch = 50

440 feet, dated July 15, 2022 and revised on August 8, 2022 with the following conditions precedent,
441 prior to signature by the Planning Board Chair:

- 442 1. Owners' signatures appears on the plan.
- 443 2. Submittal of four (4) full sized copies of the final plans and two (2) Mylar sheets.
- 444 3. Submittal of a check in the amount of \$51.00 made out to the Cheshire County Registry of
445 Deeds.
- 446 4. Submittal of a revised plan showing the location of all right-of-ways and an affidavit signed
447 by the right-of-way holders and property owner to be recorded with the final subdivision plan at
448 the Cheshire County Registry of Deeds.

449
450 The Councilor stated the proposed motion addresses the questions raised by the public and is a
451 simple application which also makes the lots more conforming.

452
453 The motion was seconded by Vice-Chair Orgaz by agreeing to the four conditions stated. The
454 motion was unanimously approved.

455
456 **VI. Updates to the Planning Board Rules of Procedure (page 114)**

457
458 Ms. Brunner addressed the Board. Ms. Brunner stated based on comments received at last
459 month's meeting a red-lined copy has been provided to the Board with the changes.

460
461 The first change was in reference to Terms of Officers; Regular Members versus Ex-Officio
462 Members.

463 2.2.1. Regular Members the language clarifies and states *Regular members may not serve for*
464 *more than two consecutive terms, either full or partial, except that partial terms shall only count*
465 *toward this term limit if they are more than 18 months in duration.*

466
467 The second section that has been added states 2.2.2 *The terms of ex-officio shall correspond with*
468 *and terminate with the term of the mayor that appointed them. Ex-officio members shall not be*
469 *held to the limitation of two consecutive terms.*

470 This language is consistent with language in City Code Chapter 2.

471
472 The next change was for 4.3. Agenda – Ms. Brunner stated the following language is what was
473 suggested by the Mayor to be removed: *although the Board shall retain the right to adjust that*
474 *agenda during the course of its meeting.* However, she noted the Board will still have the ability
475 to do but it won't be explicitly stated in the Rules of Procedure.

476
477 4.4. Quorum – The suggestion is to remove the following language - *Unless the appointed*
478 *alternate member becomes unable to continue to participate, the alternate member so appointed*
479 *should continue to serve in the place of the absent regular member if a matter under*
480 *consideration by the Board extends over multiple meetings, and/or until that matter has been*
481 *completed.* Ms. Brunner stated this is still a best practice the Board should try to follow, but there
482 was concern about unrealistic expectation.

483
484 4.6. Order of Business – There was one change proposed by a Board member and one change
485 staff is proposing based on the recent Supreme Court Dover Case:

486 The language states as follows: *The business of all regular meetings of the Keene Planning*
487 *Board shall be transacted in the following order: (1) call to order; (2) roll call of attendance; (3)*
488 *acceptance of minutes of the preceding meeting; (4) non-binding consultations, (staff added)*
489 *final votes on conditionally approved applications, application reviews, public hearings,*
490 *discussions, and decisions; (5) reports and other business, including requests for advice and*
491 *consideration; (6) new business; and (7) adjournment.*

492
493 4.7. Presiding Officer – change the word *presiding officer* to *Chair or Vice Chair*.

494
495 Ms. Brunner stated she also followed up on the question regarding recordings and how long it
496 should be kept. Previously, the Rules of Procedure stated the recordings of the meeting shall be
497 kept for three years. The current Rules of Procedure don't specify a timeframe; she indicated she
498 did follow up with the City Attorney who did not get back to her until after the packet was
499 already sent. He stated the Board could request the recordings be retained for 60 days. She
500 indicated that it is up to the Board how they wanted to handle this item. The Chair did not feel it
501 was necessary. Councilor Remy asked if there was a time limit indicated at the present time. Ms.
502 Brunner stated there is no time limit outlined, it just specifies the recordings are for convenience
503 and the official minutes are those that are written and approved by the Board. Councilor Remy
504 stated he was in agreement to this as well.

505
506 A motion was made by Councilor Michael Remy that the Planning Board adopt the Rules of
507 Procedure for the Keene Planning Board last revised on August 8, 2022. The motion was
508 seconded by Vice-Chair Orgaz to adopt the Rules of Procedure which motion was unanimously
509 approved.

510
511 It was indicated staff will bring this document back for the next meeting with signature lines for
512 the Board to sign.

513
514 **VII. Staff Updates**

515
516 None

517
518 **VIII. New Business**

519
520 None

521
522 **IX. Upcoming Dates of Interest – August 2022**

- 523 • Joint Committee of the Planning Board and PLD – September 12, 6:30 PM
524 • Planning Board Steering Committee – September 13, 11:00 AM
525 • Planning Board Site Visit – September 21, 8:00 AM – To Be Confirmed
526 • Planning Board Meeting – September 26, 6:30 PM

527
528 There being no further business, Chair Russell Slack adjourned the meeting at 8:09 PM.

529
530 Respectfully submitted by,

531 Krishni Pahl, Minute Taker
532
533 Reviewed and edited by,
534 Mari Brunner, Senior Planner

STAFF REPORT

S-09-22 – BOUNDARY LINE ADJUSTMENT – 24 & 28 Salisbury Road

Request:

Applicant Doucet Survey LLC, on behalf of owners Michael J. Miles & the Zecha 2021 Rev. Family Trust, proposes a boundary line adjustment between the properties located at 24 Salisbury Rd (TMP# 563-010-000) and 28 Salisbury Rd (TMP# 563-011-000). This adjustment would result in a transfer of 0.04-ac from the 0.47-ac parcel at 24 Salisbury Rd to the 0.29-ac parcel at 28 Salisbury Rd. Both properties are located in the Low Density District.

Background:

The subject parcels are single family residential lots in the Low Density District with frontage on Salisbury Road. The property at 24 Salisbury Road is .47 acres in size with an existing single family residence on the lot. The property at 28 Salisbury Road is .29 acres in size with an existing single family residence on the lot.

The request is to transfer .04 acres of land from 24 Salisbury Road to 28 Salisbury Road. The shared lot line is currently within 10 feet of the single family residence at 28 Salisbury Road, making the lot non-conforming in regards to the side yard setback, which is 10 feet in the Low Density District. The proposal includes shifting this common lot line so that the residence will no longer be within the side yard setback and eliminate the non-conforming condition on 28 Salisbury Road. The road frontage for 24 Salisbury Road is a unique shape (see figure 2 below) due to an existing right-of-way that was platted to make room for a cul-de-sac on Salisbury Road that was never utilized by the City. At this time there is no record of the City discontinuing this portion of the right-of-way. All zoning requirements for both properties will be met. No development is proposed as part of this application.



Figure 1. Aerial view of the subject properties in yellow.

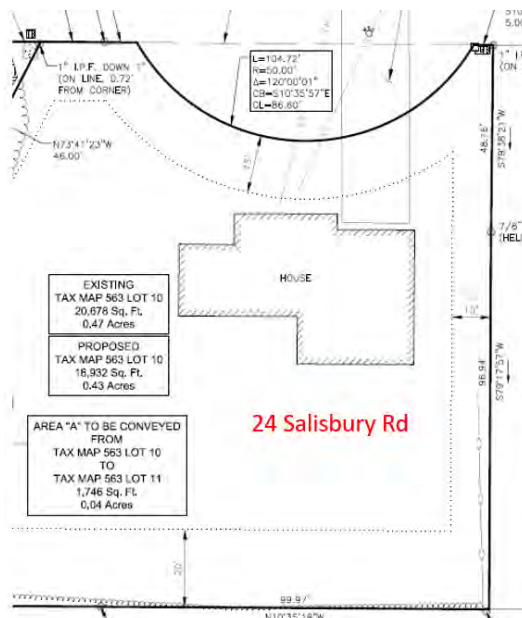


Figure 2. The 24 Salisbury Road property's curved front lot line.

STAFF REPORT

	24 Salisbury Road (TMP# 563-010-000-000-000)	28 Salisbury Road (TMP# 563-011-000-000-000)
Prior to Adjustment	0.47 ac (20,678 sf)	0.29 ac (12,788 sf)
After Adjustment	0.43 ac (18,932 sf)	0.33 ac (14,534 sf)
Amount of Land Transferred	-0.04 ac (1,746 sf)	+0.04 ac (1,746 sf)

Completeness:

The Applicant requests exemptions from submitting separate Existing and Proposed Conditions Plans, a Grading Plan, a Landscaping Plan, a Lighting Plan, and Technical Reports. After reviewing this application, Staff have determined that exempting the Applicant from submitting this information would have no bearing on the merits of the application and recommend that the Board accept the application as “complete”.

Departmental Comments:

None

Application Analysis: As no new development is proposed, the analysis provided below is focused on the Planning Board’s standards most relevant to this application.

- 20.9 Traffic & Access Management: There are no changes proposed to the existing access to either property as part of this proposal. This standard does not apply.
- 20.11 Surface Waters & Wetlands: There are no known wetlands or surface waters present on either of the subject parcels, and there is no new development proposed as part of this application. This standard does not apply.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

Approve S-09-22, as shown on the plan identified as “Lot Line Adjustment Plan for Zecha 2021 Revocable Family Trust and Michael J. & Christine A. Miles of Tax Map 563 Lots 10 & 11 28 & 24 Salisbury Road Keene, New Hampshire” prepared by Doucet Survey, LLC at a scale of 1”=20’, dated August 18, 2022 and last revised September 2, 2022 with the following conditions:

1. Prior to final approval and signature by the Planning Board Chair, the following conditions precedent shall be met:
 - a. Submittal of four (4) full size copies of the final plans and two (2) Mylar sheets.
 - b. Submittal of a digital copy of the final plans.
 - c. Submittal of a check in the amount of \$51.00 made out to the Cheshire County Registry of Deeds.



City of Keene, NH

Planning Board Boundary Line Adjustment (BLA) Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keeneh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: 28 Salisbury Rd	NUMBER OF PARCELS AFFECTED: 2 parcels 563-010-000-000-000 563-011-000-000-000
PROJECT ADDRESS(ES): 28 & 24 Salisbury Rd, Keene, NH 03431	

SECTION 2: CONTACT INFORMATION

OWNER #1	OWNER #2
NAME/COMPANY: Rick & Darcey Zecha	NAME/COMPANY: Michael & Christine Miles
MAILING ADDRESS: 28 Salisbury Rd	MAILING ADDRESS: 24 Salisbury Rd
PHONE: 603-499-5700	PHONE: 603-209-4994
EMAIL: dzecha@ne.rr.com	EMAIL:
SIGNATURE:	SIGNATURE:
PRINTED NAME:	PRINTED NAME:

APPLICANT / AUTHORIZED AGENT	FOR OFFICE USE ONLY:	
NAME/COMPANY: Alec Kurowski Dovcet Survey, LLC	TAX MAP PARCEL #(s): 563-010-000-000-000-0.47 acres 563-011-000-000-000-0.29 acres	
MAILING ADDRESS: 372 West St, Suite 101 Keene, NH 03431		
PHONE: 603-216-5801		
EMAIL: alec@dovcetsurvey.com	PARCEL SIZE: see above	DATE STAMP:
SIGNATURE: <i>Alec D. Kurowski</i>	ZONING: Low Density	
PRINTED NAME: Alec D. Kurowski	PROJECT #: 809-22	

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE ITEMS BELOW. BOTH DIGITAL & PHYSICAL COPIES OF APPLICATION MATERIALS MUST BE SUBMITTED USING THE METHODS BELOW.

- Email:** communitydevelopment@keenenh.gov, with "Planning Board Application" in the subject line. (**NOTE:** Large files should be submitted using a flash drive or a file-sharing platform, such as Drop Box.)
- Mail / Hand Deliver:** Community Development (4th Floor), Keene City Hall, 3 Washington St, Keene, NH 03431

The submittal requirements for subdivision and BLA applications are outlined further in **Article 19** and **Article 25.10** of the [Land Development Code \(LDC\)](#). You may request an exemption from submitting any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information may be requested by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS

CERTIFIED NOTICE LIST (See **Attachment A** for more information.)

2 SETS OF MAILING LABELS (See **Attachment A** for more information.)

PROJECT NARRATIVE (See **Section 1 of Attachment B** for more information.)

FEES: Fill in the information below to calculate the total fee.

\$100 base fee
 \$20 fee per lot x 2 lots
 \$457 current USPS certified mailing rate x 26 number of abutters
 = \$ 258.82 (TOTAL FEE)

NOTE: Please call the Community Development Department for the current certified mailing rate. Checks should be made payable to the *City of Keene*. Credit card payments are accepted in-person or by calling 603-352-5440.

WAIVERS (See **Section 2 of Attachment B** for additional information.)

- WAIVER(S) REQUESTED**
 NO WAIVER(S) REQUESTED

PLAN SETS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
LOCATION MAP	✓	
EXISTING CONDITIONS PLAN	✓	
PROPOSED CONDITIONS PLAN		✓
TECHNICAL REPORTS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
DRAINAGE REPORT		✓
TRAFFIC ANALYSIS		✓
SOIL ANALYSIS		✓
OTHER REPORTS / ANALYSES		✓



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Matthew W. Fagginger-Auer, PS, Principal
Jeffrey A. Goldknopf, PS, Principal
John F. Kaiser, PS, Principal
Steven V. Michaud, PS, Principal
William J. Doucet, PS, Chief Operating Officer
Michael J. Carter, PS
Patrick J. Sharkey, PS
Bevan Timm, PS

August 17, 2022

City of Keene
Planning Board

Reference: BLA 28 Salisbury Rd – Owner Permission for Authorized Agent

To Whom it May Concern:

This letter is to serve as written permission to allow Alec Kurowski of Doucet Survey, LLC to act as the Authorized Agent for the boundary line adjustment we wish to have done on our properties.

Frederick P. Zecha, Jr.
Trustee of the Zecha 2021 Revocable Family Trust

Date

Darcey Zecha
Trustee of the Zecha 2021 Revocable Family Trust

Date

Michael J. Miles

Date

Christine A. Miles

Date



102 Kent Place
Newmarket, NH 03857
(603) 659-6560

372 West Street, Suite 101
Keene, NH 03431
(603) 216-5801

2 Commerce Drive, Suite 202
Bedford, NH 03110
(603) 614-4060

10 Storer Street, Riverview Suite
Kennebunk, ME 04043
(207) 502-7005



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Michael J. Carter, PS
Patrick J. Sharkey, PS
Bevan Timm, PS

August 18, 2022

City of Keene
Planning Board

Reference: BLA 28 Salisbury Rd - Descriptive Narrative

To Whom it May Concern:

This letter is to provide a descriptive narrative to the intent of the following application and survey.

Frederick P. Zecha, Jr. & Darcey Zecha (Tax Map 593, Lot 11) wish to purchase a 1,746 square foot (0.04 Acre) parcel from their southern abutter, Michael J. & Christine A. Miles (Tax Map 593, Lot 10).

<u>Tax Map 563, Lot 10</u> Existing Area: 0.47 Ac. or 20,678 Sq. Ft. Proposed Area: 0.43 Ac. or 18,932 Sq. Ft.	<u>Tax Map 563, Lot 11</u> Existing Area: 0.29 Ac. or 12,788 Sq. Ft. Proposed Area: 0.32 Ac. or 14,141 Sq. Ft.
--	--

The lots are located within the Low Density Zoning District and both have a paved driveway accessing Salisbury Road. Their current uses are consistent with the surrounding residential neighborhood.

Currently, the shared boundary line between Lot 10 and Lot 11 is within 10 feet of the Zecha’s house which falls within the Low Density side setback limits. The Zechas approached the Miles’ proposing to purchase an estimated 0.04 acres in order to move the common line away from their house and to comply with current zoning setback requirements. The proposed line would follow just inside the current patch of unmaintained trees that exists between the two lots.

The area to be conveyed from the Miles’ to the Zechas is shown as “Area ‘A’ To Be Conveyed” on a plan entitled “Lot Line Adjustment Plan for Zecha 2021 Revocable Family Trust and Michael J. & Christine A. Miles of Tax Map 563 Lots 10 & 11, 28 & 24 Salisbury Road Keene, NH” to be submitted with this application. Final monumentation of the adjusted boundary line will be set after Planning Board approval, and prior to recording the plan with the Cheshire County Registry of Deeds.

Regarding Note 9 on the hereinabove referenced plan. The Miles’ have been advised to contact the City of Keene to initiate the process for a formal discontinuance.

The proposed boundary line adjustment complies with the current Land Development Code and Site Development Standards based on the following assumptions:

- The proposed lots meet all requirements of the current Low Density Zoning Regulation.
- Proposed uses will be consistent with the existing residential lot use.
- The lots will remain on their existing city sewer and water services.
- Vegetation and Debris Management remain consistent with the existing residential lots.

8/18/2022

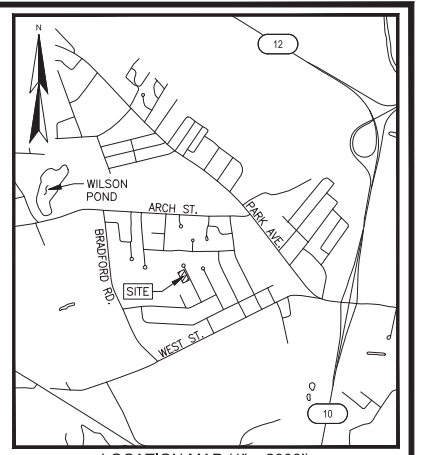
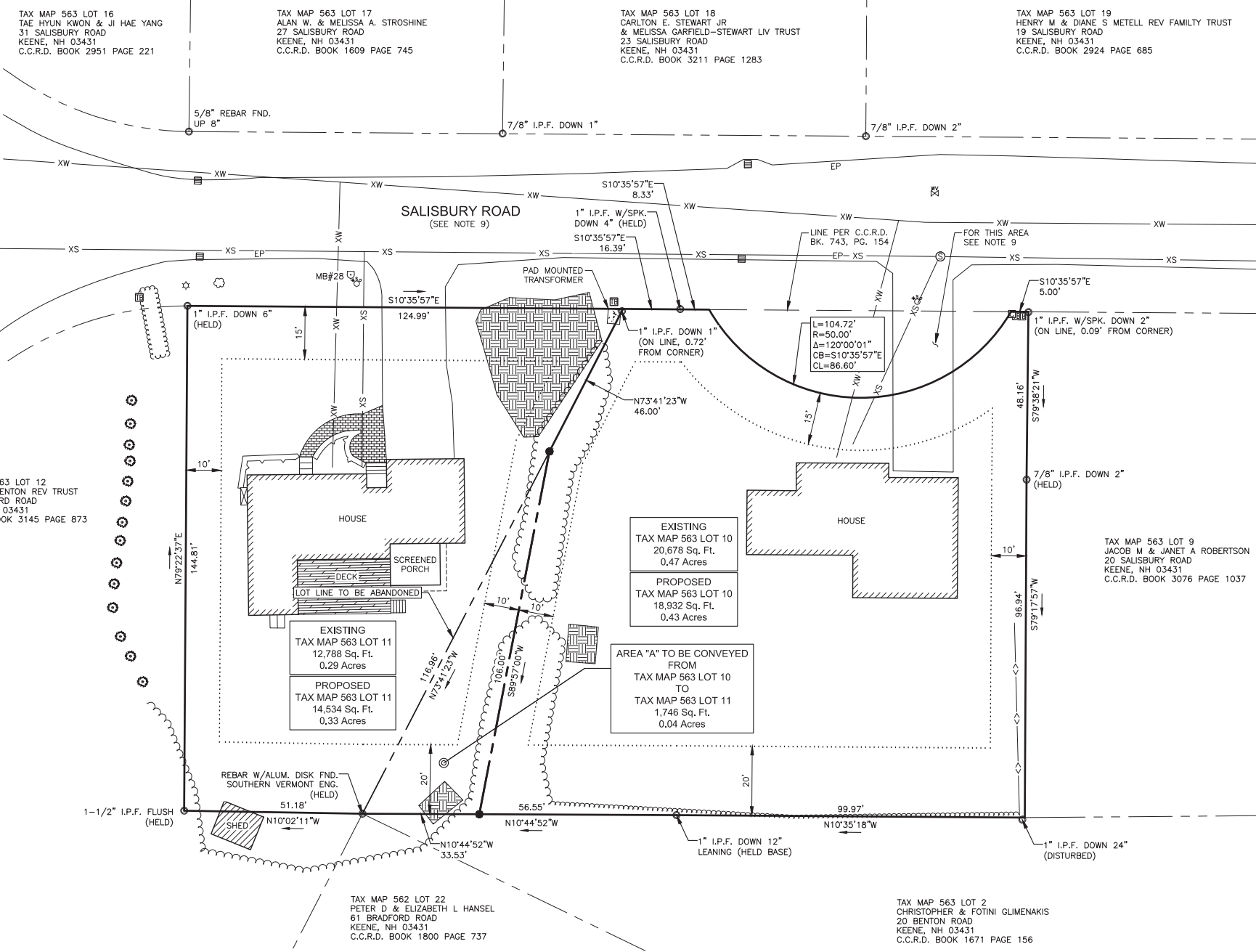
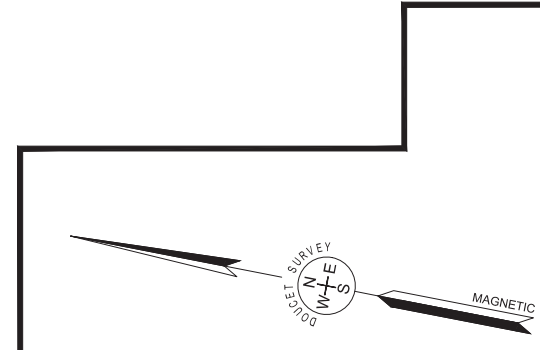
This descriptive narrative includes the formal request to be exempt from BLA Submittal Requirement *25.10.5.B.2.b.i Contours of at most 5-ft intervals*. This is due to the relatively flat topography of the site and that no new development is proposed.

Please find attached the owner permission letter, completed BLA application, and survey plans.

Sincerely,
DOUCET SURVEY, LLC

A handwritten signature in black ink, appearing to read "Alec Kurowski".

Alec Kurowski
Project Manager



LEGEND

- EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - LOT LINE TO BE ABANDONED
- - - APPROXIMATE ABUTTERS LOT LINE
- BUILDING SETBACK LINE (SEE NOTE 3)
- RETAINING WALL
- POST & RAIL FENCE
- - - GIS SEWER LINE (SEE NOTE 8)
- - - GIS WATER LINE (SEE NOTE 8)
- TREE LINE
- SHRUB LINE
- CONCRETE
- LANDSCAPED AREA
- BRICK
- PIPE/ROD FOUND
- 5/8" REBAR W/ID CAP OR OTHER SUITABLE MONUMENT TO BE SET
- ☆ LIGHT POST
- CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ WATER SHUTOFF VALVE
- ⊞ TELEPHONE BOX
- ⊞ CABLE BOX
- ⊞ MAIL BOX
- ⊞ CONIFEROUS SHRUB
- ⊞ DECIDUOUS BUSH
- ALUM. ALUMINUM
- C.C.R.D. CHESHIRE COUNTY REGISTRY OF DEEDS
- EP. EDGE OF PAVEMENT
- I.P.F. IRON PIPE FOUND
- SPK. SPIKE

SCALE: 1 INCH = 20 FT.

LOT LINE ADJUSTMENT PLAN
 FOR
ZECHA 2021 REVOCABLE FAMILY TRUST
 AND
MICHAEL J. & CHRISTINE A. MILES
 OF
TAX MAP 563 LOTS 10 & 11
 28 & 24 SALISBURY ROAD
 KEENE, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
1	09/02/22	UPDATE NOTES	ADK

DRAWN BY:	A.D.K.	DATE:	AUGUST 18, 2022
CHECKED BY:	B.T.	DRAWING NO.	7472A
JOB NO.	7472	SHEET	1 OF 1

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 http://www.doucetsurvey.com

- NOTES:**
- REFERENCE:** TAX MAP 563, LOT 11 & 10 SALISBURY ROAD KEENE, NEW HAMPSHIRE
- TOTAL PARCEL AREA:
 EXISTING LOT 11 0.29 Ac. OR 12,788 Sq. Ft.
 LOT 10 0.47 Ac. OR 20,678 Sq. Ft.
 PROPOSED LOT 11 0.33 Ac. OR 14,534 Sq. Ft.
 LOT 10 0.43 Ac. OR 18,932 Sq. Ft.
 - OWNER OF RECORD:
 TAX MAP 563, LOT 11 ZECHA 2021 REVOCABLE FAMILY TRUST 28 SALISBURY ROAD KEENE, NEW HAMPSHIRE 03431 C.C.R.D. BOOK 3189, PAGE 23
 TAX MAP 563, LOT 10 MICHAEL J. & CHRISTINE A. MILES 24 SALISBURY ROAD KEENE, NH 03431 C.C.R.D. BOOK 1304 PAGE 219
 - ZONE: LOW DENSITY DIMENSIONAL REQUIREMENTS:
 MIN. LOT AREA 10,000 sq.ft. OR 0.23 AC.
 MIN. ROAD FRONTAGE 60 ft.
 MIN. FRONT SETBACK 15 ft.
 MIN. REAR SETBACK 20 ft.
 MIN. SIDE SETBACK 10 ft.
 MAX. BUILDING HEIGHT 35 ft.
 MAX. BUILDING COVERAGE 35 %
 MAX. IMPERVIOUS COVERAGE 45 %
 - ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF KEENE ZONING ORDINANCE DATED SEPTEMBER 1, 2021 AND LAST AMENDED DECEMBER 2021 AS AVAILABLE ON THE CITY WEBSITE ON JULY 28, 2022. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
 - FIELD SURVEY PERFORMED BY A.D.K. & G.B.B. (DOUCET SURVEY) DURING JULY 2022 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - HORIZONTAL DATUM BASED ON MAGNETIC OBSERVATION IN JULY 2022.
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE. THE INTENT IS ALSO TO ADJUST THE COMMON BOUNDARY LINE BETWEEN TAX MAP 563, LOT 11 AND TAX MAP 563, LOT 10.
 - FLOOD HAZARD ZONE: "X", PER FIRM MAP #33005C0266E, DATED MAY 23, 2006.
 - UTILITY INFORMATION PROVIDED BY THE CITY OF KEENE GIS DEPARTMENT.
 - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF SALISBURY ROAD AS DEPICTED HEREON IS BASED ON RESEARCH CONDUCTED AT THE CITY OF KEENE DEPARTMENT OF PUBLIC WORKS AND THE CITY OF KEENE CLERKS OFFICE. THE CITY OF KEENE CLERKS OFFICE REPORTS THAT A FORMAL DISCONTINUANCE OF ANY PORTION(S) OF THE RIGHT OF WAY AS DESCRIBED IN THE RETURN OF LAYOUT OF SALISBURY ROAD DATED JUNE 16, 1966 HAS NOT TAKEN PLACE. SEE ALSO C.C.R.D. BK. 752, PAGE 308 AND RETURN OF LAYOUT OF SALISBURY ROAD EXTENSION DATED JULY 11, 1979.
 - TAX MAP 563, LOT 11 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 A) PUBLIC SERVICE CO. OF NEW HAMPSHIRE EASEMENT C.C.R.D. BK. 971, PG. 325
 - TAX MAP 563, LOT 10 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 A) PUBLIC SERVICE CO. OF NEW HAMPSHIRE EASEMENT C.C.R.D. BK. 743, PG. 56

- REFERENCE PLANS:**
- "LOT LINE ADJUSTMENT BETWEEN PROPERTIES OF CARLTON E. STEWART, JR. & MELISSA GARFIELD-STEWART TWP #95-02-044 AND HENRY M. & DIANE S. METELL TWP #93-04-099" DATED OCTOBER 19, 2005 BY THOMAS W. FLAVIN, JR. C.C.R.D. PLAN C13-D01-0192.
 - "LOT LINE ADJUSTMENT & SUBDIVISION PLAN PREPARED FOR CHRISTOPHER GLIMENAKIS" DATED MAY 30, 2001 AND REVISED JULY 11, 2001 BY DOUGHTY SURVEYING C.C.R.D. PLAN C12-D06-0158.
 - "BOUNDARY SURVEY PREPARED FOR ALAN C. JOHNSON OF LAND ON SALISBURY ROAD, ARCH STREET, STANTON COURT & ROBBINS ROAD" DATED AUGUST 15, 1998 BY SVE ASSOCIATES C.C.R.D. PLAN C12-D03-0104.
 - "PROPOSED SUBDIVISION OF LAND OWNED BY RUTH A. JOHNSON AND LAND OWNED BY RUSSEL O. AND AUDREY T. STARKEY KEENE, NEW HAMPSHIRE" PRELIMINARY PLAT DATED MAY 1979 BY ROY K. PIPER. C.C.R.D. PLAN C02-D00-0050.
 - "PROPERTY OF MARC R. & CHERYL A.C. HERBERT" DATED JANUARY 17, 1985 BY THOMAS W. FLAVIN, JR. C.C.R.D. PLAN P0052-0068.
 - "G.W. STONE & SON, INC. BRAD-WEST TERRACES KEENE, NEW HAMPSHIRE" ORIGINAL DEVELOPMENT BY HOLBROOK REALTY CO. & KEENE DEVELOPMENT CO. BASED ON 1952 PLAN BY D.R. CHAPLIN REVISED PLAN BY G.G. PHILBROOK 1956. 1963 TO 1966 SURVEYS BY R. K. PIPER. REVISIONS JUNE 13, 1966. C.C.R.D. PLAN P0014-0025.
 - "BRAD-WEST TERRACES, SHEET 2, DEVELOPED BY HOLBROOK REALTY CORP. & KEENE DEVELOPMENT CO." ORIGINAL SURVEY & PLAN BY D.R. CHAPLIN C.E. JULY 1952. REVISED PLAN BY G.G. PHILBROOK DATED OCTOBER 1956. C.C.R.D. PLAN P0012-0058

OWNERS SIGNATURES	DATE
FREDERICK P. ZECHA, JR. TRUSTEE OF THE ZECHA 2021 REVOCABLE FAMILY TRUST	
DARCEY ZECHA TRUSTEE OF THE ZECHA 2021 REVOCABLE FAMILY TRUST	
MICHAEL J. MILES	
CHRISTINE A. MILES	

APPROVED - CITY OF KEENE, NH
 PLANNING BOARD

 DATE: _____

STATE OF NEW HAMPSHIRE
 I, _____
 1058 BEVAN TIMM
 SIGNATURE

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

 L.L.S. #1058
 SEPTEMBER 6, 2022 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



Community Development Department

MEMORANDUM

To: Planning Board
From: Mari Brunner, Senior Planner
Date: September 16, 2022
Subject: S-04-22 & SPR-04-22, Timberlane Woods CRD Application – 0 Drummer Road

Recommendation

To continue the public hearing for S-04-22 and SPR-04-22 to the November 28, 2022 Planning Board meeting.

Background

The public hearing for the above-referenced application was opened on June 27, 2022. At this meeting, the Planning Board voted to continue the public hearing to the July 25, 2022 meeting and requested additional information from the applicant regarding architecture and visual appearance, stormwater runoff/drainage, and traffic. In response to the concerns raised at this meeting, the applicant submitted revised renderings and two letters addressing concerns regarding traffic and stormwater management to the Board. However, prior to the July 25, 2022 meeting, staff discovered an error in the Land Development Code that will need to be fixed before the Planning Board can act on this application. The applicant agreed to waive the 65-day timeframe and requested that the public hearing be continued to the September Planning Board meeting in order to give City staff and City Council time to fix the error in the code. However, the ordinance that would fix this error is still in the review process, and therefore the Planning Board cannot act on this application at this time. The applicant has requested another extension to the November Planning Board meeting, which is scheduled for Monday, November 28 at 6:30 pm.

Attachments:

1. Email from C. Eric Farris requesting that the application for 0 Drummer Road be continued to the regularly scheduled Planning Board meeting in November.

From: [eric farris](#)
To: [Mari Brunner](#)
Subject: 0 Drummer Rd
Date: Friday, September 16, 2022 1:32:03 PM

Mari,

Please accept this message as a waiver of the 65-day requirement for action on my subdivision application by the planning board and also as a request to be continued to the regularly scheduled planning board meeting in November.

Thank you,

C. Eric Farris

Sent from [Mail](#) for Windows

STAFF REPORT

SPR-16-14, MODIFICATION #8 — SITE PLAN REVIEW – MINT CARWASH – 435 WINCHESTER STREET

Request:

Applicant and owner MOC76 Realty Co. LLC proposes to modify the Mint Carwash site located at 435 Winchester St (TMP #115-029-000-000-000) by reconfiguring the parking and reducing the width of the Wetmore St curb cut for the former Ocean Harvest Restaurant. A waiver is requested from Sec. 20.14.3.D of the Land Development Code to allow for parking with vacuum stations in front of the building. This parcel is 1.33 ac in size and is located in the Industrial, Commerce, and High Density Districts.

Background:

The 435 Winchester Street property is the site of Mint Carwash, a two-bay drive-in carwash facility with street access from both Winchester Street and Wetmore Street. This property, which used to be three separate parcels, is located in three zoning districts, including the Industrial District (0.99 acres, area where carwash bays are located), the Commerce District (0.22 acres, where former Ocean Harvest Restaurant was located), and the High Density District (0.12 acres, area located directly adjacent to residential properties on Wetmore Street). This property is located in the 100-year floodplain.

This property received a variance from the Zoning Board of Adjustment to allow for a carwash facility in the Industrial District in August 2014, and site plan approval from the Planning Board in October 2014. As part of the 2014 site plan approval, the Planning Board granted a waiver to allow for four parking spaces with vacuum stations in front of the building. There have been several modifications to the site plan since this initial approval, including modifications to the landscaping (Modifications #1, #2, & #3), lighting (Modification #4), a request to expand the carwash that was withdrawn (Modification #5), and demolition of the former Ocean Harvest Restaurant building and site modifications (Modification #6).

On November 22, 2021, the Planning Board voted to conditionally approve SPR-16-14 Modification #7 for changes to the parking configuration and the curb cut for the former Ocean Harvest Restaurant on Wetmore Street. However, the applicant did not meet the conditions of approval within 180 days, and per Section 25.12.11 of the LDC the site plan expired. The conditional approval letter for SPR-16-14 Modification #7, which lists the conditions of approval and the expiry date of the plan, is included as an attachment to this staff report. However, the proposed site modifications have already been completed. The current request is to obtain Planning Board approval for the site changes that have been completed, including the following:

- Narrow the Wetmore Street access point for the former Ocean Harvest Restaurant from approximately 100 ft to 40 ft,
- Install speed bumps on both curb cuts on Wetmore Street,
- Move the existing vacuum stations and associated parking spaces from their previous location directly in front of the carwash building to the new parking area on the corner of Winchester and Wetmore Street, and
- Add landscaping along Winchester Street and Wetmore Street.

A waiver is requested from Section 20.14.3, subsection D to allow for parking in front of the building.

STAFF REPORT

Completeness:

The Applicant requests exemptions from providing a traffic report, drainage report, soils report, and architectural elevations. Staff recommend that the Board grant the requested exemptions and accept the application as “complete.”

Departmental Comments:

There were no departmental comments on this application.

Application Analysis: The following is a review of the Planning Board development standards relevant to this application.

- 20.2 **Drainage and Stormwater Management:** The Applicant has requested an exemption from providing a Drainage Report, noting that the total impervious cover on the site is being reduced from 28,609 sf to 26,599 sf. The Applicant proposes to remove the western section of the parking lot for the former Ocean Harvest Restaurant and create a compensatory storage area in this location to offset the filling of the former restaurant basement within the 100-year floodplain. In addition, the Applicant proposes to install an infiltration basin along Winchester Street on the east side of the site. No other changes to the existing drainage pattern are proposed. This standard appears to be met.
- 20.3 **Sediment & Erosion Control:** The proposed changes have already been completed. This standard does not apply.
- 20.4 **Snow Storage & Removal:** Proposed snow storage areas are shown on the site plan in several locations, including to the west and south of the carwash tunnel queuing area, and the northwest side of the Wetmore Street driveway. In the project narrative, the Applicant states that any excess snow will be hauled off site if necessary. This standard appears to be met.
- 20.5 **Landscaping:** Along Wetmore Street, the applicant proposes to install seven Baker’s Colorado Blue Spruce trees with a mature height of 30 feet, a Celebration Maple with a mature height of 40 feet, and a Snowdrift Crabapple tree with a mature height of 15 feet. In order to screen the vacuum spaces from Winchester Street, the applicant proposes to install a mulched planting bed that will be planted with mix of shrubs and grasses, including 22 Hetz Midget Thuja shrubs with a mature height of two feet, two Porcupine Grass with a mature height of 4-5 feet, one Prairie Fire switch grass with a mature height of 4-5 feet, and one Panicked hydrangea with a mature height of 3-4 feet.
- 20.6 **Screening:** The proposed screening for the new section of the parking lot is described above under Landscaping. In addition, the Applicant proposes to relocate the dumpster to the northwest corner of the parking lot. This dumpster will be screened from view with a six foot tall vinyl fence, as shown in the detail provided on the Proposed Site Plan (Sheet C-2).
- 20.7 **Lighting:** The Applicant proposes to install two 15 ft pole-mounted lights to provide lighting for the parking lot. The proposed light fixtures are full cut-off LED lights, and the photometric plan shows that the light levels are consistent with the Planning Board’s standards for lighting. No other changes to site lighting are proposed. This standard appears to be met.

STAFF REPORT

- 20.8 Sewer & Water: No changes to sewer or water are proposed as part of this project. This standard does not apply.
- 20.9 Traffic & Access Management: The proposed site changes are not expected to result in an increase in traffic generation. This site has three curb cuts, including one on Winchester Street and two on Wetmore Street. Speed bumps are proposed for both of the curb cuts on Wetmore Street in order to slow any traffic exiting onto the street. The Applicant proposes to narrow the eastern curb cut on Wetmore Street (closest to Winchester Street) from approximately 100 ft to 40 ft, which would bring this street access closer to compliance with the City's standard for commercial driveway widths. In addition, the Applicant proposes to move the vacuum stations and associated parking spaces from in front of the carwash building to the new parking lot, which would reduce conflicts between vehicles exiting the carwash and vehicles backing out of the vacuum station parking spaces. There are no sidewalks or bicycle lanes on this section of Winchester Street or Wetmore Street. This standard appears to be met.
- 20.10 Filling & Excavation: This property is located within the 100-year floodplain. A Floodplain Development Permit was obtained for the proposed work, and the Applicant proposes a compensatory flood storage area in order to offset the filling of the former restaurant basement. This standard appears to be met.
- 20.11 Surface Waters & Wetlands: There are no surface waters or wetlands present on this site; this standard does not apply.
- 20.12 Hazardous or Toxic Materials: There are no known hazardous or toxic materials on the site. This standard does not apply.
- 20.13 Noise: The Applicant proposes to relocate the vacuum stations and associated parking spaces at the east end of the new parking area. No other changes to site are proposed that would impact noise levels. This standard appears to be met.
- 20.14 Architecture & Visual Appearance: The Applicant requests a waiver from subsection 3.D of this standard to allow parking spaces to be located in front of the building. The waiver request is included as an attachment to this staff report.

In making a determination whether to grant the requested waiver, the Board should find that the waiver criteria listed in Section 25.12.14 of the LDC are met:

- “1. Strict conformity would pose an unnecessary hardship to the applicant and the waiver would not be contrary to the spirit and intent of the regulations; or,*
- 2. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.*
- 3. In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur.”*

STAFF REPORT

Recommended Motion:

If the Board is inclined to approve this request, the following language is recommended for a motion:

Grant a waiver from Section 20.14.3.D of the Land Development Code to allow for five parking spaces with vacuum stations in front of the building; and

Approve SPR-16-14 Modification #8 for modifications to the Wetmore Street curb cut and site, as presented in the plan set identified as "Proposed Two Bay Car Wash, 435 Winchester St. Keene, NH" prepared by Brickstone Land Use Consultants at a scale of 1 inch = 20 feet on September 19, 2014 and last revised on September 6, 2022 with the following conditions precedent to final approval and signature by the Planning Board Chair:

1. Owner's signature appears on the plan.
2. Submittal of five (5) full size paper copies and a digital copy of the final plan set.





City of Keene, NH Planning Board Major / Minor Project Application

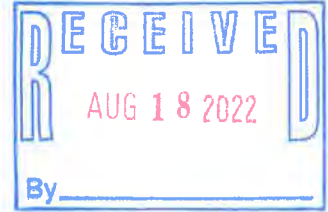
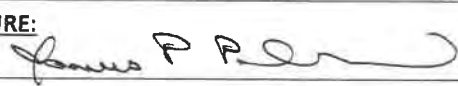
If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keeneh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Mint Car Wash	TYPE OF APPLICATION BEING SUBMITTED: <input checked="" type="checkbox"/> MAJOR PROJECT APPLICATION <input type="checkbox"/> MINOR PROJECT APPLICATION
PROJECT ADDRESS(ES): 435 Winchester Street	

SECTION 2: CONTACT INFORMATION

OWNER	APPLICANT
NAME/COMPANY: MOC76 Realty CO LLC	NAME/COMPANY: Mint Car Wash
MAILING ADDRESS: 435 Winchester St Keene NH 03431	MAILING ADDRESS: 435 Winchester St Keene NH 03431
PHONE:	PHONE: 603-289-7553
EMAIL:	EMAIL: jc@mintpremiumcarwash.com
SIGNATURE: 	SIGNATURE: 
PRINTED NAME: Jay Clarke	PRINTED NAME: Jay Clarke

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY: James Phippard / Brickstone Land Use C	TAX MAP PARCEL #(s): 115-029,000-000-000	
MAILING ADDRESS: 185 Winchester Street Keene NH 03431	-----	
PHONE: 603-357-0116	PARCEL SIZE: 1.33 acres	DATE STAMP: 
EMAIL: jhippard@ne.rr.com	ZONING DISTRICT: Industrial	
SIGNATURE: 	PROJECT #: SPR-16-14, Mod. 8	
PRINTED NAME: James Phippard		

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE FOLLOWING ITEMS AND MUST BE SUBMITTED BY ONE OF THE OPTIONS BELOW:

- **Email:** communitydevelopment@keeneh.gov, with "Planning Board Application" in the subject line
- **Mail / Hand Deliver:** Community Development (4th Floor), Keene City Hall, 3 Washington St, Keene, NH 03431

The submittal requirements for Planning Board applications are outlined further in **Article 20** and **Article 25.12** of the Land Development Code (LDC). You may request an exemption from providing any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information may be requested by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS

CERTIFIED NOTICE LIST (See Attachment A for more information.)

2 SETS OF MAILING LABELS (See Attachment A for more information.)

PROJECT NARRATIVE (See Section 1 of Attachment B for more information.)

FEES: Fill in the information below to calculate the total fee.

- \$250 base fee
 - \$0.05 per-sf of new construction x _____ sf of new construction
 - \$62 legal ad fee
 - 4.57 current USPS certified mailing rate x 21 abutters
- = 157.97 (TOTAL FEE) 7/19/2022 "4741"

NOTE: Please call the Community Development Department for the current certified mailing rate. Checks should be made payable to the *City of Keene*. Credit card payments are accepted in-person or by calling 603-352-5440.

WAIVERS (See Section 2 of Attachment B for additional information.)

- WAIVER(S) REQUESTED**
- NO WAIVER(S) REQUESTED**

PLAN SETS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
LOCATION MAP OF PROPOSED IMPROVEMENTS	X	
EXISTING CONDITIONS PLAN	X	
PROPOSED CONDITIONS PLAN	X	
GRADING PLAN	X	
LANDSCAPING PLAN	X	
LIGHTING PLAN	X	
ELEVATIONS		
TECHNICAL REPORTS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
DRAINAGE REPORT		X
TRAFFIC ANALYSIS	X	
SOIL ANALYSIS		X
HISTORIC EVALUATION		X
SCREENING ANALYSIS		X
ARCHITECTURAL & VISUAL APPEARANCE ANALYSIS		X
OTHER REPORTS / ANALYSES		X

**City of Keene
SITE PLAN REVIEW**

**Mint Carwash
433-435 Winchester Street
Keene, NH**

Property Owner:
MOC76 Realty Co. LLC
435 Winchester Street
Keene, NH 03431

August 18, 2022

Narrative

MOC76 Realty Co. LLC is the owner of Mint Carwash at 435 Winchester Street. They purchased the former Ocean Harvest Restaurant property at 433 Winchester Street last year and merged the properties in March of 2022. We submitted a modification to the previous site plan for the carwash which received a conditional approval from the Planning Board in November 2021. I submitted plan sets for signature in March of 2022 and a building permit to complete the modifications was issued in May 2022. Apparently, the plans for signature were misplaced and Planning has no record of the site plans being signed by the Planning Board Chair. Without the plans being signed, the approval expired in May 2022. This application is asking the Planning Board to re-approve the modifications previously approved in November 2021, along with several changes to the landscaping for the site. Because a building permit was issued in May, all of the work has been completed.

The former restaurant building has been removed. The former restaurant parking area was reconfigured to provide 4 additional parking spaces, a new dumpster pad, and 5 vacuum parking spaces as shown on the proposed plan. The western portion of the former parking area was removed to provide flood storage to offset the filling of the restaurant basement area. The proposed plan meets the setback requirements in all three zoning districts, including the increased setback for a corner lot in the High density district. The proposed plan also complies with the permitted lot coverages for each district.

The entire property lies within the 100 year floodplain and a Flood Permit for construction was issued. No net loss of flood storage was proposed.

On-site parking for 10 spaces is provided on the merged property. Access to the site will remain via two existing driveways, one on Winchester Street and one on Wetmore Street. Both driveways will remain. The existing driveway to the former restaurant from Wetmore Street was reduced in width from approximately 100 feet to 40 feet.

An exemption is requested from providing a drainage report since there is no increase in lot coverage or stormwater runoff. With the addition of an infiltration basin at the east side of the site, there will be less stormwater runoff leaving the site.

A waiver is requested from section 20.14.3.D of the Land Use Code to allow the proposed vacuum parking spaces to be located along the Winchester Street frontage. The waiver criteria are as follows:

1. *Strict conformity would pose an unnecessary hardship to the applicant and a waiver would not be contrary to the spirit and intent of the regulations;* The purpose for moving the existing vacuums from their existing location is to improve onsite traffic circulation. It will allow cars leaving the tunnels safer access to the exit at Winchester Street. It removes the possibility of a conflict with cars backing out of the vacuum spaces at the same time that cars are exiting the tunnels. The spirit and intent of the regulations is to protect public safety by providing safe onsite traffic circulation. Denial of the waiver will result in the possibility of conflicts with cars trying to exit the site. This is an unnecessary hardship for the owner.
2. *Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations;* The existing vacuum locations create a potential conflict for cars leaving the tunnels and cars backing out of the vacuum spaces. By relocating the vacuum parking spaces to the former restaurant site, that potential conflict is eliminated. Granting the waiver to allow the vacuum spaces to be along the Winchester Street frontage will place the vacuums as far from the single family residences on Wetmore Street as possible. The vacuum spaces will be screened from Winchester Street with Junipers and pavement rose shrubs to provide a year round screen.
3. *In granting a waiver, the Planning Board may require any mitigation that is reasonable and necessary to ensure that the spirit and intent of the standard being waived will be preserved, and to ensure that no increase in adverse impacts associated with granting the waiver will occur.* The use of screen plantings and the placement of the vacuum spaces away from the residential area ensures that no adverse impacts will result from granting the waiver.

DEVELOPMENT STANDARDS:

1. Drainage and Stormwater Management.

Total lot coverage is being reduced from 49.4% to 45.9%. This results in less stormwater runoff at the site. The existing onsite drainage pattern will be maintained with additional drainage measures provided at the east side of the site. Stormwater runoff will continue to sheet drain to a drainage swale and culvert at the northwest corner of the property and into an existing catch basin at Wetmore Street. Runoff will also be directed to an infiltration basin to be installed on the east side of the property next to Winchester Street. There will be no increase in runoff leaving the site. An exemption is requested from providing a formal drainage study.

2. Sediment and Erosion Control.

Sediment and erosion control measures as shown on the attached plans are designed to meet the State of New Hampshire RSA 485-A:17 for control of runoff and sedimentation. Silt fence will be installed along the limits of the areas to be disturbed and to provide inlet protection at the existing culvert on Wetmore Street. Please see attached plans for more details. All work has been completed and the site has been stabilized with mulch, grass and plantings.

3. Hillside Protection.

Not applicable.

4. Snow Storage and Removal.

Snow will be stored on site as shown on the site plan. Excess snow will be removed from the site.

5. Landscaping.

New landscaping on the site is proposed. Along the Wetmore Street frontage, one flowering crab tree will be added along with a maple tree and 7 coniferous trees from the residential area north and west of the site. Areas outside the pavement will be loamed and seeded. The landscaping along Winchester Street will be a mulched planting bed with 26 shrubs including juniper and hydrangea. This will provide a visual screen between the public right of way and the new vacuum and parking spaces.

6. Screening.

The new dumpster and dumpster access pad will be screened with a 6 foot high solid wall enclosure. An existing 6' high solid fence along the north side of the driveway to Wetmore Street will be maintained. New coniferous trees will also be planted between the dumpster and the residential area to the west of the site.

7. Lighting.

On site lighting has been installed using high efficiency, full cutoff LED fixtures by Lumark. Two pole mounted lights on 15' poles will provide an average 1.07 footcandles throughout the paved area. Uniformity levels will be 2.68. Parking lot light fixtures will be placed on timers and photocells with lights shut off after 9:00 PM. Please see attached plans and specifications for more detail. Fixture cut sheets have also been provided.

8. Sewer and Water.

No new sewer and water services are required.

9. Traffic and Access Management.

The previous use on the site was a 2000 sf (50 seat) seafood restaurant which has been removed. The site has been merged to the existing carwash site and is being used for parking and for the vacuum parking spaces. Relocating the existing vacuums to his site will improve onsite circulation and eliminate the existing conflicts that occur with cars leaving the tunnels at the same time as cars are

backing out of the vacuum stations. No significant change to the traffic generated at the site is anticipated.

The existing curb cut to Wetmore Street from the former restaurant site was approximately 100 feet wide. It has been reduced in width 40 feet. This will accommodate a rubbish truck into and out of the site. It will also create a safer traffic flow through the site. A speed bump will be installed to slow cars leaving the site and entering Wetmore Street. A second existing curb cut to Wetmore Street will also have a speed bump installed.

10. Filling and Excavation.

The proposed grading plan calls for the excavation of approximately 534 CY of soil and the placement of approximately 417 CY of fill. Trucks will use Rt. 10 and Winchester Street as the haul route. No net loss of flood storage will result from this site plan.

11. Surface Waters and Wetlands.

There are no surface waters or wetlands on the site. No impacts to surface waters or wetlands are proposed.

12. Hazardous or Toxic Materials.

The owner has no knowledge of hazardous or toxic materials at the site.

13. Noise.

No excess noise is expected as a result of this proposal.

14. Architecture and Visual Appearance.

No new buildings are proposed. The proposed vacuum parking spaces will be screened from public view at Winchester Street with plantings as shown on the site plan. The new dumpster location is screened with 6 foot high solid fencing and additional shrub plantings.



City of Keene

New Hampshire

November 23, 2021

Mr. Jim Phippard
Brickstone Land Use Consultants, LLC
185 Winchester Street
Keene, NH 03431
jhippard@ne.rr.com

RE: SPR-16-14, Modification 7 – Site Plan Review – Mint Carwash Site Modifications, 433 & 435 Winchester St – Applicant and owner MOC76 Realty Co. LLC proposes to modify the Mint Carwash site located at 435 Winchester St (TMP #115-029-00), 433 Winchester St (TMP #115-030-000), and 0 Wetmore St (TMP #115-031-000) by reconfiguring the parking and reducing the width of the Wetmore St curb cut for the former Ocean Harvest Restaurant. A waiver is requested from Sec. 20.14.3.D of the Land Development Code to allow for parking with vacuum stations in front of the building. These combined parcels are 1.33 acres in size and are located in the Industrial, Commerce, and High Density Districts.

Dear Mr. Phippard,

At its meeting on November 22, 2021, the Planning Board voted to grant a waiver from Section 20.14.3.D of the Land Development Code to allow for five parking spaces with vacuum stations in front of the building; and approve SPR-16-14 Modification #7 for modifications to the Wetmore Street curb cut and site, as presented in the plan set identified as “Proposed Two Bay Car Wash, 435 Winchester St. Keene, NH” prepared by Brickstone Land Use Consultants at a scale of 1 inch = 20 feet on September 19, 2014 and last revised on October 29, 2021 with the following conditions prior to signature by Planning Board Chair:

1. Submittal of revised plans to show the following:
 - A. Removal of snow storage from compensatory flood storage areas.
 - B. Addition of a note on the site plan which states that the owner is responsible for removing any excess snow from the site.
 - C. The addition of speed bumps on the curb cuts on Wetmore Street.
 - D. The addition of three, 3” caliper deciduous trees along Wetmore Street.
2. Owner’s signature appears on the plan.

When the above conditions have been addressed, please submit five plan sets reflecting compliance with the Planning Board’s conditions of approval. The final submitted plans will be subject to a review period. Once the plans are deemed complete, the Planning Board Chair will be so notified to sign the plans.

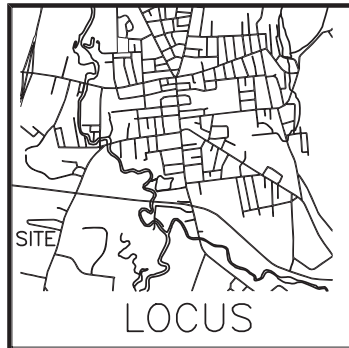
In accordance with the Land Development Code, the applicant is allowed 180 days beginning the day following conditional approval to meet the conditions established by the Planning Board or the plan shall automatically expire. The expiration date of this conditionally approved plan is May 22, 2022.

Sincerely,



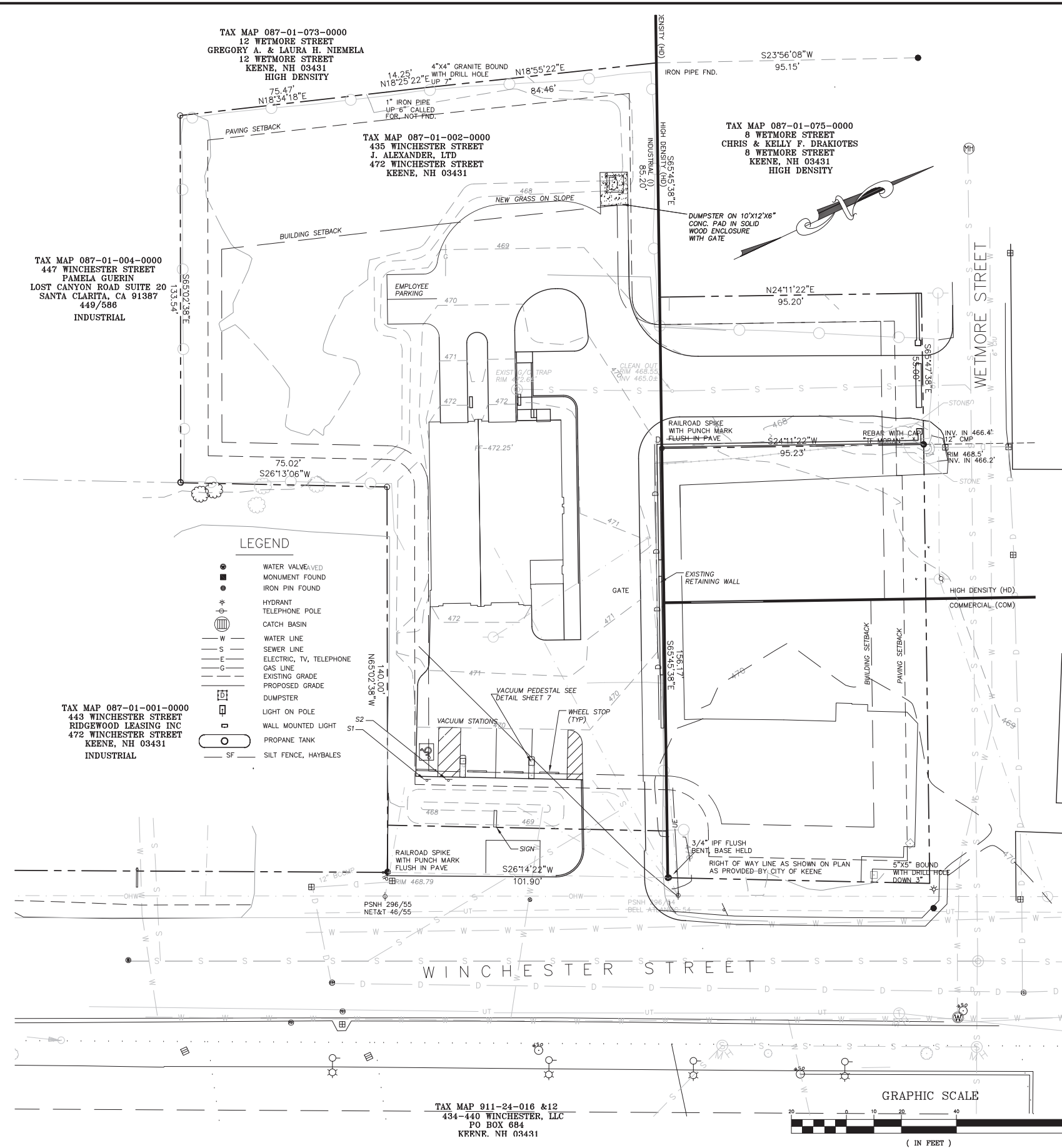
Rhett Lamb,
Assistant City Manager/
Community Development Director

cc: MOC76 Realty Co. LLC
Mike Hagan, Plans Examiner
Tim Ballantine, City Appraiser
Donald Lussier, City Engineer
Project File



GENERAL NOTES

1. REFERENCE PLAN: "TOPOGRAPHIC SURVEY PLAN PREPARED FOR JAY CLARK WINCHESTER STREET, KEENE" BY DAVID A. MANN, LLS
2. LOCATION OF UTILITIES IS FROM THE CITY OF KEENE ENGINEERING DEPARTMENT RECORDS. LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.
3. CONTRACTOR TO NOTIFY "DIG SAFE" AT 1-888-344-7233 A MIN. OF 72 HOURS PRIOR TO THE START OF EXCAVATION.
4. THE ENTIRE PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN FOR THE CITY OF KEENE AND IS SUBJECT TO FLOODING TO ELEVATION 471.0' PER FEMA FIRM 33005C0266E DATED MAY 23, 2006.
5. DUE TO FLOODPLAIN COMPENSATION PERMIT REQUIREMENTS, GRADING AT EXTERIOR OF BUILDING WALLS IS LOWERED BELOW FINISH FLOOR IN SEVERAL AREAS. ARCHITECT IS RESPONSIBLE FOR COORDINATING FOUNDATION DESIGN WITH THE SITE GRADING TO ENSURE PERMIT REQUIREMENTS FOR FLOODPLAIN COMPENSATION AND FOOTING FROST PROTECTION ARE MET.
6. ALL FILL MATERIALS REQUIRED SHALL BE FREE OF HAZARDOUS OR TOXIC MATERIALS.
7. ALL UNDERGROUND TANKS SHALL BE DESIGNED AND ANCHORED TO PREVENT FLOTATION.



LEGEND

- WATER VALVE/VED
- MONUMENT FOUND
- IRON PIN FOUND
- * HYDRANT
- TELEPHONE POLE
- ⊕ CATCH BASIN
- W WATER LINE
- S SEWER LINE
- E ELECTRIC, TV, TELEPHONE
- G GAS LINE
- EXISTING GRADE
- - - PROPOSED GRADE
- ☒ DUMPSTER
- ☒ LIGHT ON POLE
- ☒ WALL MOUNTED LIGHT
- PROPANE TANK
- - - SF SILT FENCE, HAYBALES

TAX MAP 087-01-001-0000
 443 WINCHESTER STREET
 RIDGEWOOD LEASING INC
 472 WINCHESTER STREET
 KEENE, NH 03431
 INDUSTRIAL

REVISIONS: DATE:

JAN. 8, 2016
 REVISE RECLAIM SYSTEM
 REVISE SEWER
 REVISE WATER
 ADD UTILITY SHEET
 REVISE SHEET NUMBERS

SEPTEMBER 30, 2021
 REISSUE TO ADD SECOND LOT

OWNER:
**MOC 76 REALTY
 COMPANY, LLC**
 435 WINCHESTER STREET
 KEENE, NH 03431
 TAX MAP 087-01-002-0000

Brickstone
 Land Use Consultants, LLC
Site Planning, Permitting and Development Consulting
 185 Winchester Street, Keene, NH 03431
 Phone: (603) 357-0116

PROPOSED
TWO BAY CAR WASH
 435 WINCHESTER ST.
 KEENE, NH

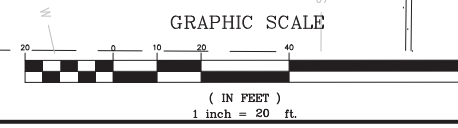
**EXISTING
 PLAN**

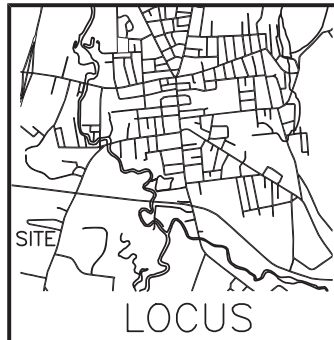
SCALE: 1"=20'

DATE: 9/19/14

SHEET C 1

TAX MAP 911-24-016 & 12
 434-440 WINCHESTER, LLC
 PO BOX 884
 KRRNR, NH 03431





LOT DATA TABLE

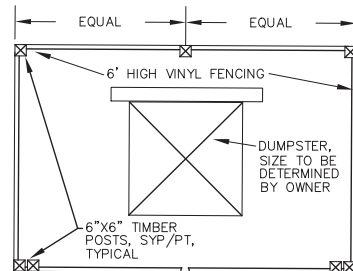
TAX MAP #: MERGED LOTS 115-029-000, 115-030-000 & 115-031-000
 ZONES: INDUSTRIAL, COMMERCIAL & HIGH DENSITY DISTRICTS
 MERGED LOT SIZE: 57,945 SF OR 1.33 AC+/-
 LOT FRONTAGE:
 WINCHESTER STREET 196.91'
 WETMORE STREET 214.64'

	EXISTING	PROPOSED
BUILDINGS:	5,434 SF 9.4%	3,140 SF 5.4%
PAVEMENT:	23,175 SF 40.0%	23,459 SF 40.5%
TOTAL IMPERMEABLE:	28,609 SF 49.4%	26,599 SF 45.9%

PARKING: 10 SPACES PROVIDED

GENERAL NOTES

- REFERENCE PLAN: "TOPOGRAPHIC SURVEY PLAN PREPARED FOR JAY CLARK WINCHESTER STREET, KEENE" BY DAVID A. MANN, LLS
- LOCATION OF UTILITIES IS FROM THE CITY OF KEENE ENGINEERING DEPARTMENT RECORDS. LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION.
- CONTRACTOR TO NOTIFY "DIG SAFE" AT 1-888-344-7233 A MIN. OF 72 HOURS PRIOR TO THE START OF EXCAVATION.
- THE ENTIRE PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN FOR THE CITY OF KEENE AND IS SUBJECT TO FLOODING TO ELEVATION 471.0' PER FEMA FIRM 33005C0266E DATED MAY 23, 2006.
- DUE TO FLOODPLAIN COMPENSATION PERMIT REQUIREMENTS, GRADING AT EXTERIOR OF BUILDING WALLS IS LOWERED BELOW FINISH FLOOR IN SEVERAL AREAS. ARCHITECT IS RESPONSIBLE FOR COORDINATING FOUNDATION DESIGN WITH THE SITE GRADING TO ENSURE PERMIT REQUIREMENTS FOR FLOODPLAIN COMPENSATION AND FOOTING FROST PROTECTION ARE MET.
- ALL FILL MATERIALS REQUIRED SHALL BE FREE OF HAZARDOUS OR TOXIC MATERIALS.
- ALL UNDERGROUND TANKS SHALL BE DESIGNED AND ANCHORED TO PREVENT FLOTATION.



NOTES:

- ALL WOOD POSTS TO BE PRESSURE TREATED, FREE FROM EXCESSIVE CRACKS, CHIPS, WARPS OR KNOTS.
- ALL FASTENERS TO BE HOT DIPPED GALVANIZED.
- VINYL SCREEN MEMBERS AND GATES TO CONFORM TO DETAIL ELEVATION AS NOTED.
- DIMENSIONS OF ENCLOSURE TO BE DETERMINED BY OWNER PRIOR TO FABRICATION OR CONSTRUCTION.
- PROVIDE 4' WIDE ACCESS OPENING ON SIDE, W/ A.D.A. ROUTE.

VINYL DUMPSTER ENCLOSURE
 NO SCALE

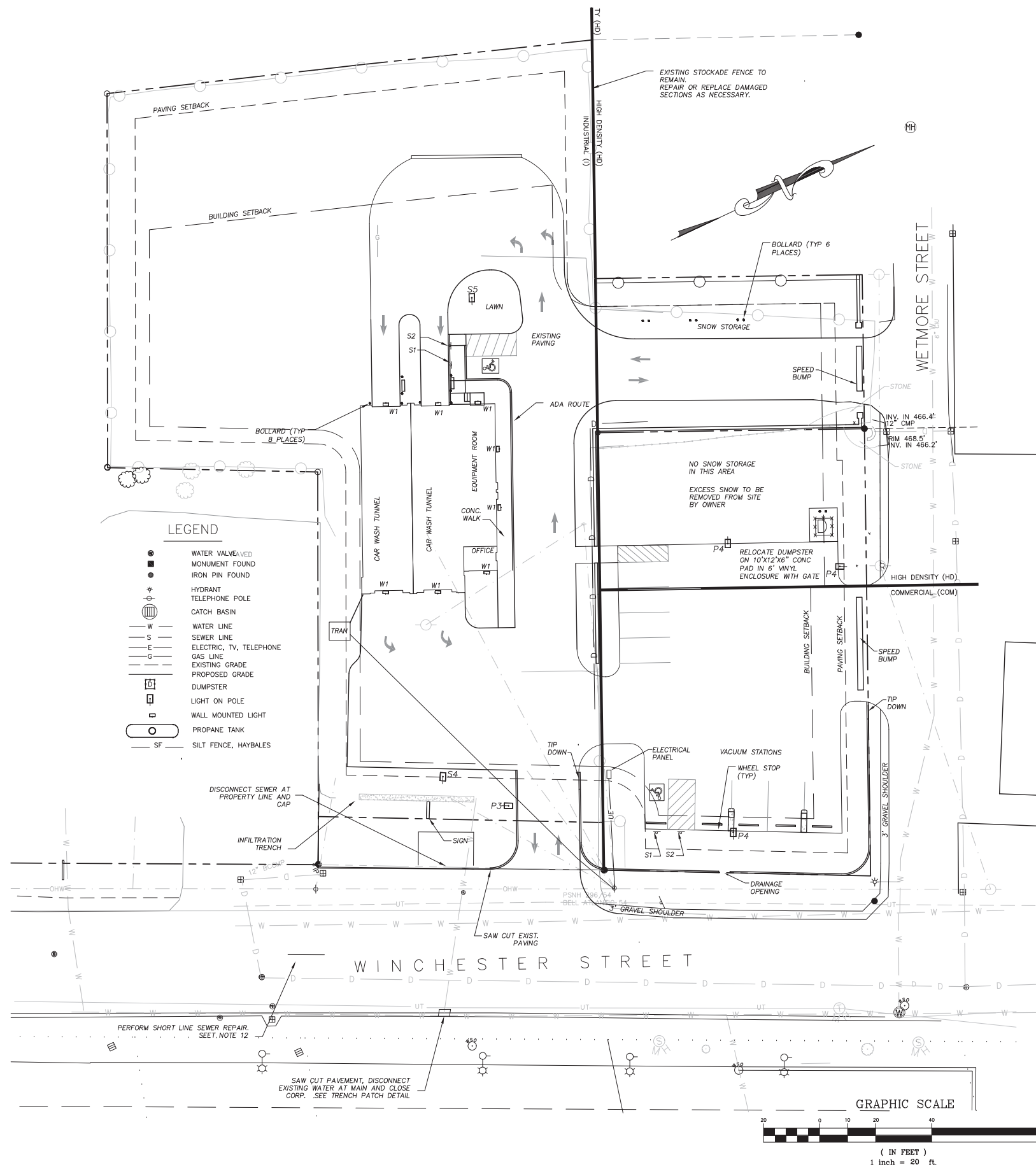
APPROVED BY THE OWNER OR APPLICANT

DATE APRIL 22, 2022

APPROVED BY THE KEENE PLANNING BOARD

ON _____

CERTIFIED BY CHAIRMAN _____



LEGEND

- WATER VALVE
- MONUMENT FOUND
- IRON PIN FOUND
- ⊕ HYDRANT
- ⊕ TELEPHONE POLE
- ⊕ CATCH BASIN
- W WATER LINE
- S SEWER LINE
- E ELECTRIC, TV, TELEPHONE
- G GAS LINE
- EXISTING GRADE
- - - PROPOSED GRADE
- ☒ DUMPSTER
- LIGHT ON POLE
- WALL MOUNTED LIGHT
- PROPANE TANK
- SF SILT FENCE, HAYBALES

REVISIONS:

- △ MERGED LOTS, REMOVE RESTAURANT BUILDING, ADD PARKING, MOVE VACUUMS OCTOBER 8, 2021
- △ RELOCATED DUMPSTER, ADD GREEN SPACE OCTOBER 14, 2021
- △ ADD LIGHTING PLAN OCTOBER 29, 2021
- △ ADD SPEED BUMPS AND TREES PER PLANNING BOARD APPROVAL NOVEMBER 23, 2021
- △ REMOVE SNOW STORAGE NOTE SEPTEMBER 6, 2022

OWNER:
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SITE MODIFICATIONS
TWO BAY CAR WASH
 435 WINCHESTER ST.
 KEENE, NH

PROPOSED PLAN

SCALE: 1"=20'

DATE: SEPT. 30, 2021

SHEET C 2

EROSION CONTROL SEQUENCE

THIS IS A SUGGESTED SEQUENCE FOR THE IMPLEMENTATION OF EROSION CONTROLS. IT SHALL NOT LIMIT THE CONTRACTOR IN MEANS, METHODS AND TECHNIQUES FOR THE CONTROLLING OF EROSION AND SEDIMENTATION NECESSARY TO FULFILL THE REQUIREMENTS OF NEW HAMPSHIRE STORM WATER MANAGEMENT AND EROSION CONTROL 485-A:17.

1. INSTALL SILT FENCE WHERE SHOWN AND WHERE REQUIRED TO CONTROL EROSION AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. REMOVE EXISTING STRUCTURES AND PAVING WHERE REQUIRED OR WHERE SHOWN ON THE PLANS.
3. CLEAR AND GRUB CONSTRUCTION AREAS AND COMPENSATORY FLOOD STORAGE AREAS.
4. CONSTRUCT RETENTION PONDS AND DRAINAGE CONTROL STRUCTURES.
5. CONSTRUCT FOUNDATION AND BRING TO SUBGRADE AND STABILIZE.
6. INSTALL UNDERGROUND UTILITIES AND STABILIZE.
7. CONSTRUCT FLOODPLAIN COMPENSATION AREA, FINE GRADE AND STABILIZE ALL AREAS WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
8. ALL CUT/FILL SLOPES TO BE LOAMED AND MULCHED OR PLANTED WITH GROUND COVER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
9. THE SMALLEST AREA PRACTICABLE SHALL BE DISTURBED DURING CONSTRUCTION. STABILIZATION SHALL BE DEFINED AS EITHER BASE COURSE PAVING, CONCRETE, RIP RAP, 3 INCHES OF BARK MULCH, OR A MIN. OF 85% OF VEGETATED GROWTH HAS BEEN ESTABLISHED.
10. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS.
11. WHEN ALL WORK IS COMPLETED, SLOPES AND DITCHES ARE STABILIZED, REMOVE TEMPORARY EROSION CONTROL MEASURES AND ANY SEDIMENT THAT HAS COLLECTED IN DITCHES, CULVERTS OR DETENTION PONDS.
12. SHOULD THE CONTRACTOR WISH TO ALTER THIS SEQUENCE, HE SHALL SUBMIT THE PROPOSED CHANGES IN WRITING TO THE ENGINEER. THE ENGINEER WILL REVIEW THE PROPOSED CHANGES AND ADVISE THE CONTRACTOR.
13. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ANY AND ALL PROCEDURES TO CONTROL EROSION ON AND OFF THE CONSTRUCTION SITE.
14. CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG FOR VIEWING BY THE CITY ENGINEER.

EROSION CONTROL INSPECTION:

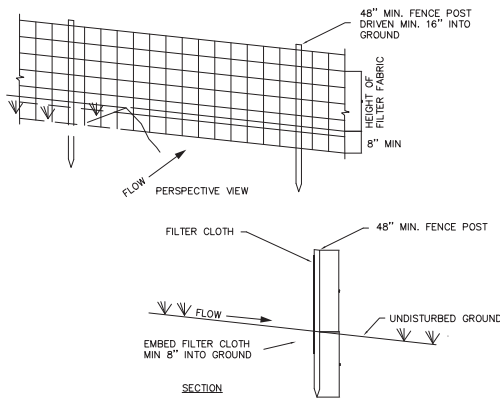
INSPECTIONS OF THE CONSTRUCTION SITE SHALL BE MADE BY PERSONNEL FAMILIAR WITH THE CONSTRUCTION ACTIVITY. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.

INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY EACH WEEK AND WITHIN 48 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCH OR GREATER. THESE INSPECTIONS SHALL COVER DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. WHERE AREAS HAVE BEEN FINALLY OR TEMPORARILY STABILIZED OR RUNOFF IN UNLIKELY DUE TO WINTER CONDITIONS (E.G., SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS) SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

THE CONTRACTOR SHALL KEEP WRITTEN REPORTS SUMMARIZING EACH INSPECTION ONSITE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

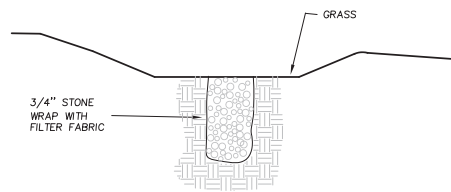


CONSTRUCTION SPECIFICATIONS

1. FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED AT A POST BY 6 INCHES, FOLDED AND STAPLED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

NTS



STONE TRENCH TO BE A MINIMUM OF 12" WIDE X 24" DEEP WRAP SIDES AND BOTTOM OF STONE IN FILTER FABRIC

INFILTRATION TRENCH IN RETENTION BASIN
NOT TO SCALE

GENERAL NOTES

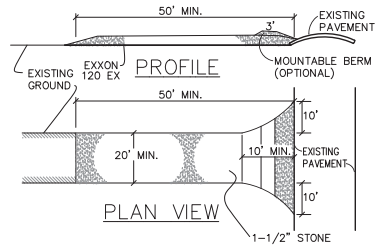
1. WATER SERVICE TO BE SIZE AND TYPE AS SHOWN ON THE SITE PLANS.
2. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KEENE STREET AND UTILITY STANDARDS AND INSPECTED BY DPW ENGINEERING OR WATER/SEWER DEPARTMENT PRIOR TO BURIAL OR BEING PLACED IN SERVICE.
3. MAINTAIN MIN. 10' HORIZONTAL SEPARATION OF WATER AND SEWER LINES.
4. PAVING SHALL CONSIST OF 2" BASE COURSE AND 1" TOP PAVING BASE SHALL BE OF 12" BANK RUN GRAVEL AND 6" COURSE CRUSHED GRAVEL. ALL FILL MATERIAL AND DISTURBED AREAS UNDER PAVING TO BE COMPACTED TO A MIN 95% DENSITY.
5. CONSTRUCTION WITHIN THE CITY ROW REQUIRES AN EXCAVATION PERMIT FORM THE PUBLIC WORKS DEPT. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION PERMITS REQUIRED.
6. EXCAVATION WITHIN THE CITY STREET SHALL BE DONE TO DPW STANDARDS AND INSPECTED BY DPW.
7. SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED WITH 1 1/2" EPS.
8. WATER SERVICE SHALL REQUIRE A KEENE DPW APPROVED TESTABLE BACKFLOW DEVICE TO BE INSTALLED IN BUILDING.
9. INSTALL CORPORATIONS OR GATE VALVES AT ALL WATER LINE CONNECTIONS TO THE CITY MAIN LINE.
10. ABANDONED WATER SERVICE TO BE DISCONNECTED AT THE MAIN LINE IN WINCHESTER STREET AND CORP TO BE CLOSED. BUILDING TRENCH FLOOR DRAINS SHALL HAVE A RAISED OUTLET TO ALLOW SAND SETTLEMENT IN THE FLOOR DRAIN TRENCH.
11. EXISTING SEWER SERVICE TO BE CLOSED USING THE "SHORT LINE" SEWER REPAIR METHOD PER CITY OF KEENE DIRECTION. SEWER SERVICE TO BE DISCONNECTED AT THE PROPERTY LINE AND CAPPED.

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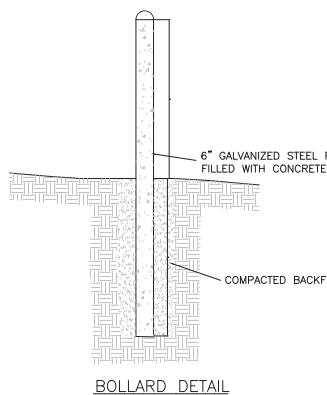
LEGEND

- WATER VALVE
- MONUMENT FOUND
- IRON PIN FOUND
- HYDRANT
- TELEPHONE POLE
- CATCH BASIN
- W — WATER LINE
- S — SEWER LINE
- E — ELECTRIC, TV, TELEPHONE
- G — GAS LINE
- — EXISTING GRADE
- — PROPOSED GRADE
- DUMPSTER
- LIGHT ON POLE
- WALL MOUNTED LIGHT
- PROPANE TANK
- SF — SILT FENCE, HAYBALES



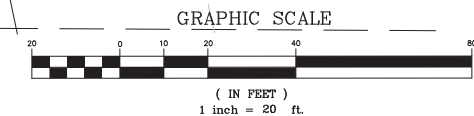
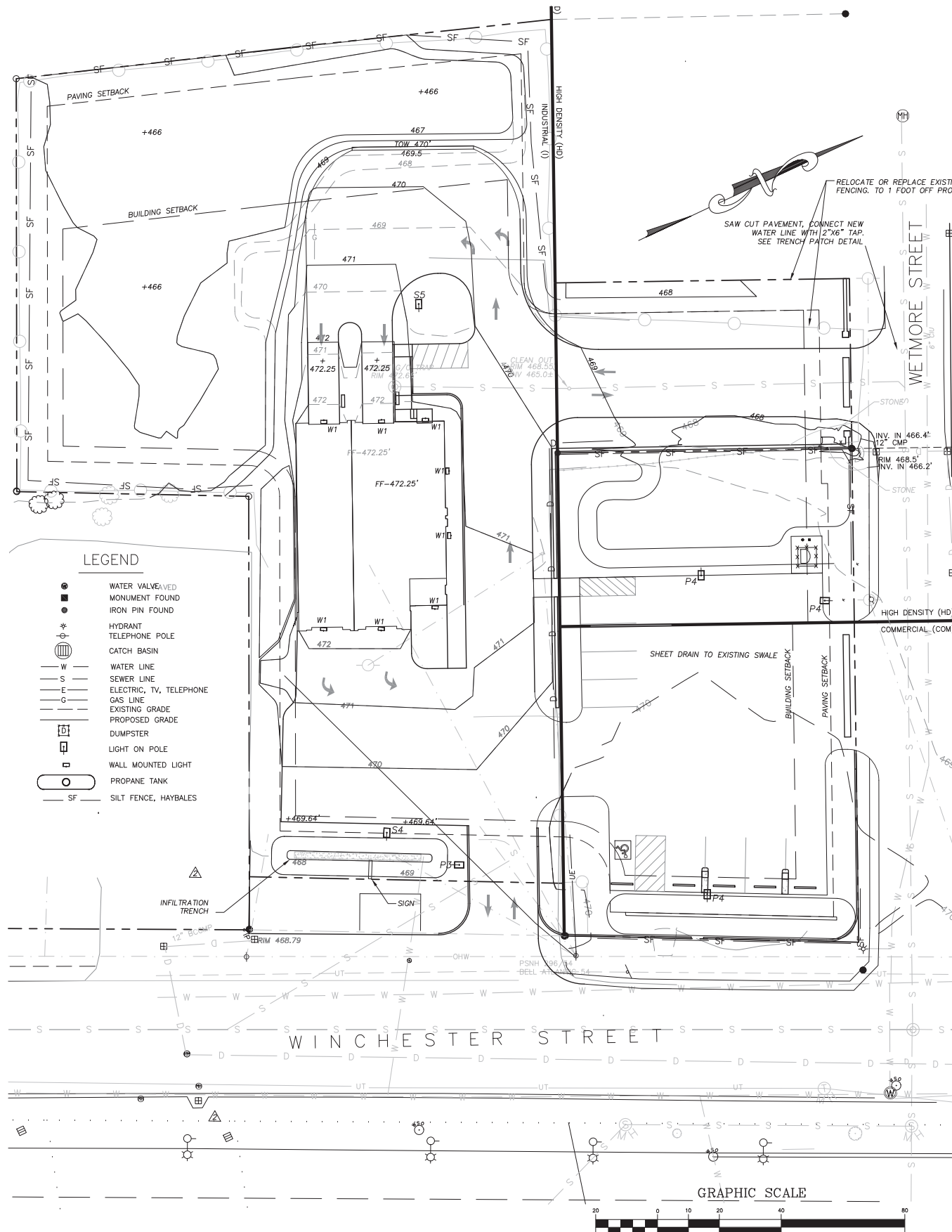
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



BOLLARD DETAIL

OTHER SUITABLE MATERIAL ACCEPTED SUCH AS 3" STEEL BEAMS, RAILROAD RAILS, ETC. PENDING APPROVAL BY OWNER.



REVISIONS: DATE:

△ MERGED LOTS, REMOVE RESTAURANT BUILDING, ADD PARKING, MOVE VACUUMS OCTOBER 8, 2021

△ RELOCATED DUMPSTER, ADD GREEN SPACE OCTOBER 14, 2021

△ ADD LIGHTING PLAN OCTOBER 29, 2021

OWNER:
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435 WINCHESTER STREET
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TAX MAP 087-01-002-0000

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Phone: (603) 357-0116

PROPOSED
TWO BAY CAR WASH

435 WINCHESTER ST.
KEENE, NH

GRADING & EROSION CONTROL PLAN

SCALE: 1"=20'

DATE: SEPT. 30 2021

SHEET C 3

Project	Mint	Catalog #	prv-c15-d-unv-t4-bz-hss	Type	
Prepared by		Notes		Date	



Lumark
PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications
Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Product Certifications



Product Features



Quick Facts

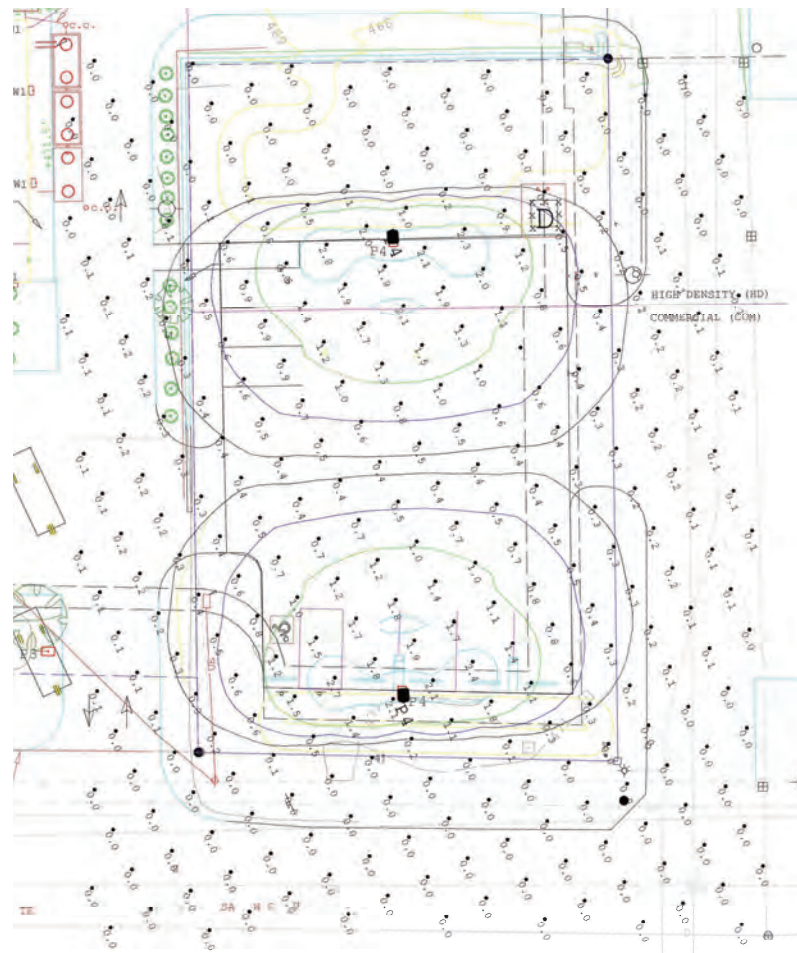
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevail



Prevail XL



StatArea_1
PARKING LOT
Illuminance (Fc)
Average = 1.07
Maximum = 2.8
Minimum = 0.4
Avg/Min Ratio = 2.68
Max/Min Ratio = 7.00

calculations provided by
Ken Sweeney
Charron Inc

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
☐	2	P4	Single	PRV-C15-D-UNV-T4-BZ-HSS/ SSS4A15SFN1 (MTD ON 2.5' BAS BY OTHERS) 17.5' AFG

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SITE MODIFICATIONS
TWO BAY CAR WASH

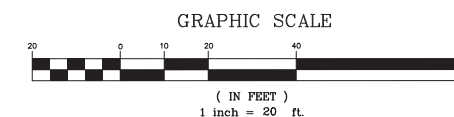
435 WINCHESTER ST.
KEENE, NH

LIGHTING PLAN

SCALE: 1"=20'

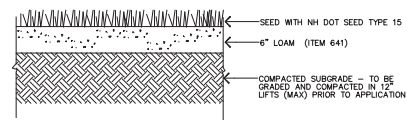
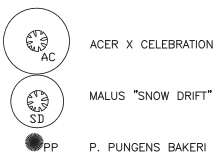
DATE: SEPT. 30, 2021

SHEET C4



LANDSCAPE LEGEND

TYPE	QUANTITY	PLANTING SIZE	MATURE HEIGHT
HP	HYDRANGER PORICULATA	2	3 GAL. 3-4'
AN	THUJA NORTH POLE	7	4-5" 12'
HM	HETZ MIDGET	22	3 GAL. 2'
PP	PANICUM PRAIRIE FIRE	3	2 GAL. 4-5'
MS	MISCANTHUS STRICTUS	3	2 GAL. 4-5'
MT	MISCANTHUS TOTEM POLE	2	2 GAL. 4-5'
CA	CHAMAECYPARIS AUREA	5	3 GAL. 3-4'
WE	WEIGELA	4	3 GAL. 3-4'
JG	JUNIPERUS GOLD STAR	4	3 GAL. 3-4'
JS	JUNIPERUS SARGENTII	4	3 GAL. 3-4'
EC	ECHINACEA	4	1 GAL. 2-3'
HI	HIBISCUS	5	1 GAL. 2-3'
PE	PENSTEMON HUSKER'S RED	8	1 GAL. 2-3'
PA	PEROVSKIA ATRIPLIC FOLIA	2	1 GAL. 2-3'
NE	NEPETA	5	1 GAL. 2-3'
LE	LEUCANTHEMUM	2	1 GAL. 2-3'

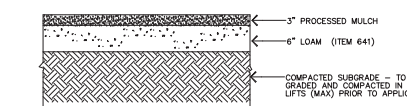


1. SPREAD LOAM TO SPECIFIED DEPTH AND RAKE TO REMOVE ALL UNSUITABLE MATERIALS. ROLL LOAM TO COMPACT.
2. SPREAD LIMESTONE AT A RATE OF 80 LBS/1000 SF OF SURFACE AREA
3. FERTILIZE WITH 10-10-10 FERTILIZER AT A RATE OF 20 LBS/1000 SF
4. SEED AT 2.75 LBS/1000 SF

LOAM AND SEED DETAIL

NOT TO SCALE

NH DOT SEED TYPE 15			
KIND OF SEED	MINIMUM PURITY %	GERMINATION %	LBS/ACRE
CREeping RED FESCUE	96	85	40
PERENNIAL RYEGRASS	98	90	50
KENTUCKY BLUEGRASS	97	85	25
REDTOP	95	80	5
TOTAL			120

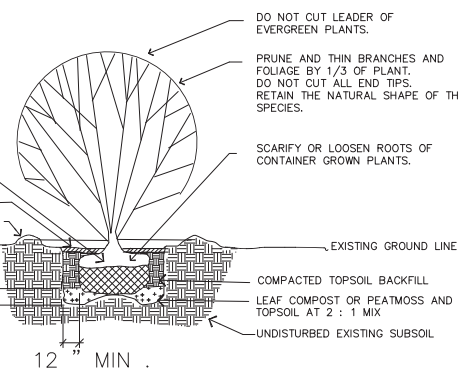


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2. SPREAD LIMESTONE AT A RATE OF 80 LBS/1000 SF OF SURFACE AREA
3. FERTILIZE WITH 10-10-10 FERTILIZER AT A RATE OF 20 LBS/1000 SF
4. SPREAD MULCH IN AREAS SHOWN ON PLAN.

LOAM AND MULCH DETAIL

NOT TO SCALE

REMOVE ALL WIRES, NYLON ROPE, STRINGS, TREATED BURLAP, AND PLASTIC BURLAP ENTIRELY.



PLANT SHRUBS 2-4 INCHES HIGHER THAN THE EXISTING GROUND LINE.

CUT AND REMOVE BURLAP FROM TOP THIRD OF BALL

3\"/>

6\"/>

12\"/>

DETAIL OF SHRUB PLANTING

NOT TO SCALE

1. PRUNE 1/5 OF EXISTING LEAF AREA WHILE RETAINING THE NATURAL FORM. NEVER CUT LEADER.

2. REMOVE ALL WIRES, NYLON ROPE, OR STRING FROM TOP QUARTER OF TREE BALL. REMOVE TREATED BURLAP AND PLASTIC BURLAP ENTIRELY.

3. DO NOT USE TREE WRAP

4. GROUND LINE TO BE SAME AS GROWN AT NURSERY. KEEP NATURAL FLARE OF THE TRUNK ABOVE THE GROUND LINE.

CUT AND REMOVE BURLAP FROM TOP THIRD OF BALL

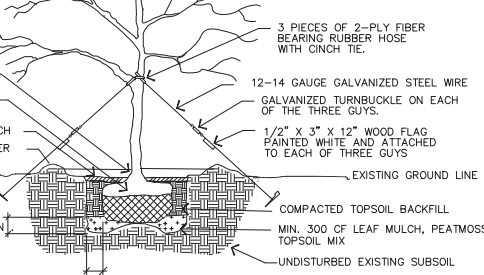
3\"/>

6\"/>

12\"/>

DETAIL OF TREE PLANTING AND GUYING

NOT TO SCALE



5. TREE GUYS: PLACE GUYS 120 DEGREES APART. WHEN THIS IS NOT POSSIBLE, THEN POSITION SHALL BE ADJUSTED TO MAXIMIZE STABILIZATION. WIRE MUST NOT TOUCH TRUNK OF TREE

3 PIECES OF 2-PLY FIBER BEARING RUBBER HOSE WITH CINCH TIE.

12-14 GAUGE GALVANIZED STEEL WIRE GALVANIZED TURNBUCKLE ON EACH OF THE THREE GUYS.

1/2\"/>

EXISTING GROUND LINE

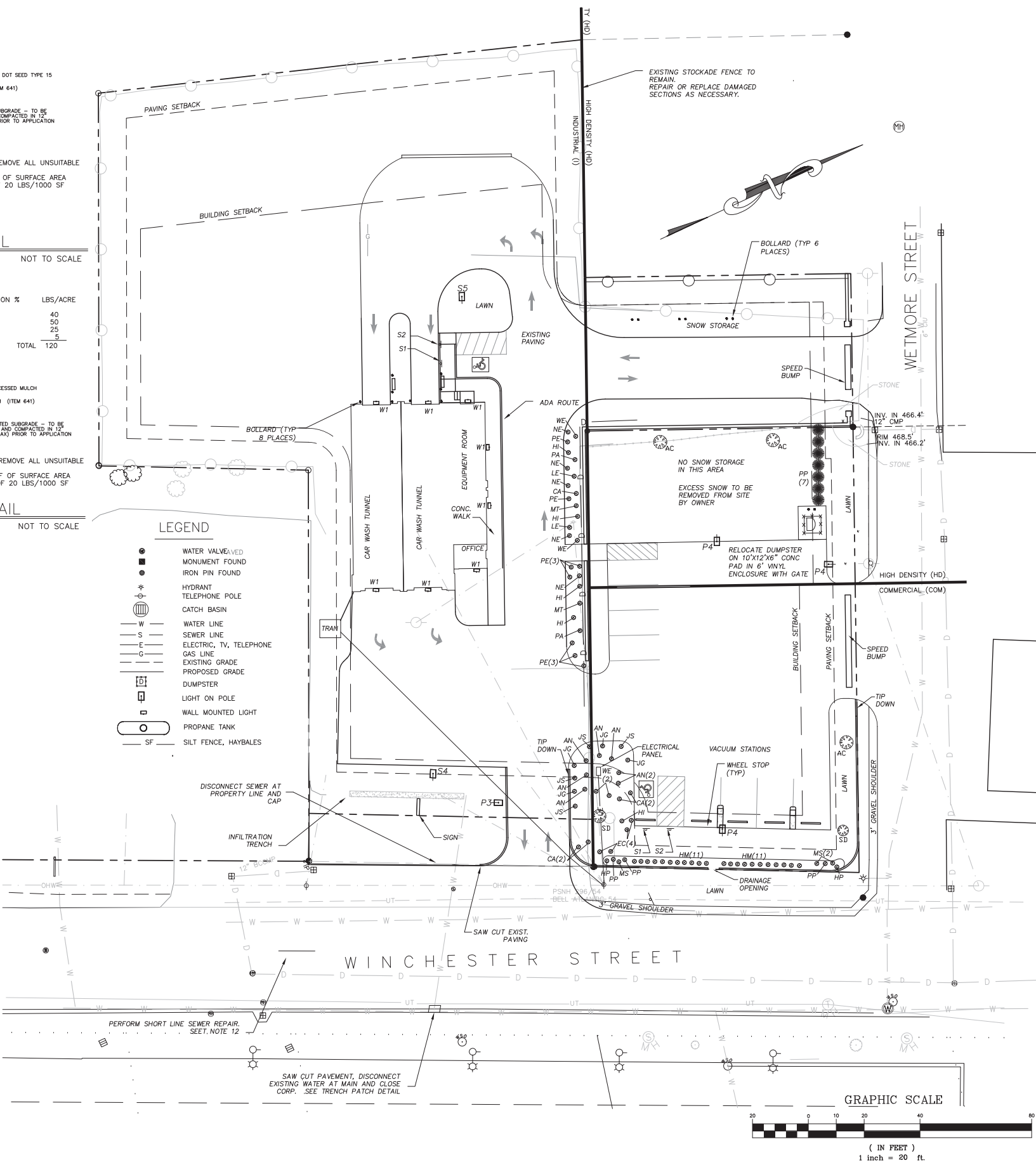
COMPACTED TOPSOIL BACKFILL

MIN. 300 OF LEAF MULCH, PEATMOSS AND TOPSOIL MIX

UNDISTURBED EXISTING SUBSOIL

LEGEND

- WATER VALVE
- MONUMENT FOUND
- IRON PIN FOUND
- HYDRANT
- TELEPHONE POLE
- CATCH BASIN
- WATER LINE
- SEWER LINE
- ELECTRIC, TV, TELEPHONE
- GAS LINE
- EXISTING GRADE
- PROPOSED GRADE
- DUMPSTER
- LIGHT ON POLE
- WALL MOUNTED LIGHT
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- △ ADD LIGHTING PLAN OCTOBER 29, 2021
- △ ADD SPEED BUMPS AND TREES PER PLANNING BOARD APPROVAL NOVEMBER 23, 2021
- △ ADD GRANITE CURBING REVISE AND ADD PLANTS ADD LANDSCAPE PLAN ROW TREATMENTS APRIL 21, 2022
- △ REVISE LANDSCAPING AUGUST 18, 2022
- △ REMOVE SNOW STORAGE NOTE SEPTEMBER 6, 2022

OWNER:
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SITE MODIFICATIONS
TWO BAY CAR WASH

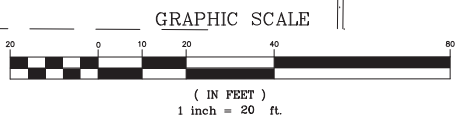
435 WINCHESTER ST.
KEENE, NH

LANDSCAPE PLAN

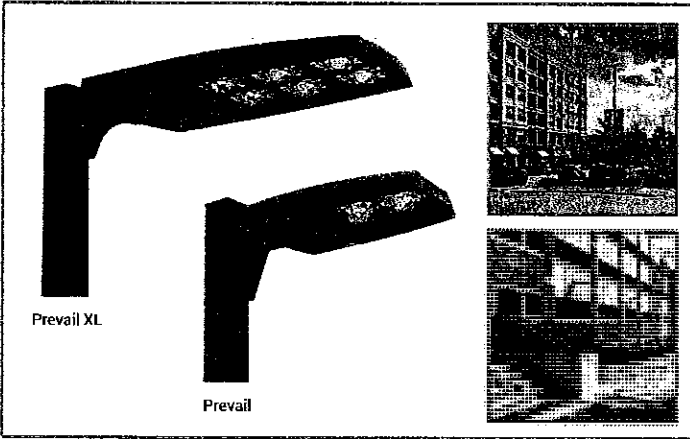
SCALE: 1"=20'

DATE: SEPT. 30, 2021

SHEET C 5



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

PRV / PRV-XL Prevail LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

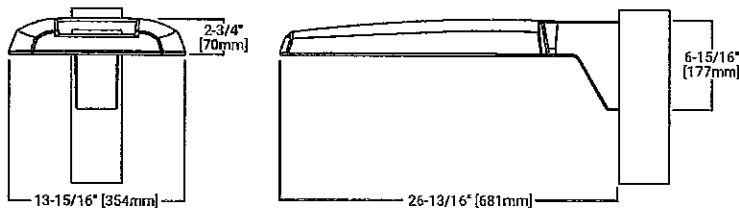
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Connected Systems

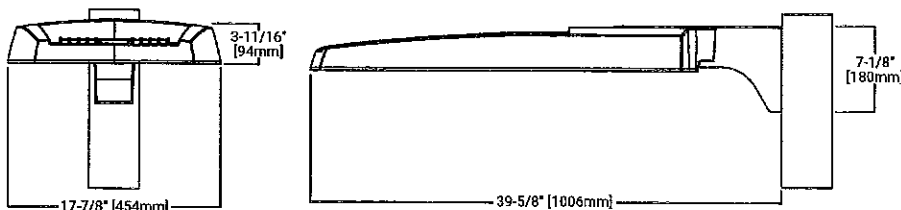
- WaveLinx
- Enlighted

Dimensional Details

Prevail



Prevail XL



STAFF REPORT

CLSS-CUP-01-21, Modification #1 – CONGREGATE LIVING & SOCIAL SERVICE CONDITIONAL USE PERMIT – Monadnock Area Peer Support Agency, 32-34 Washington St. #Rear

Request:

Applicant and owner Monadnock Area Peer Support Agency proposes to modify Conditional Use Permit CLSS-CUP-01-21 to include an outdoor activity area. The 0.28-ac property is located at 32-34 Washington St #Rear (TMP #568-058-000) and is located in the Downtown Core District.

Background:

Monadnock Peer Support Agency (MPS) is a member-based organization that provides mental health services through a variety of programs, including peer support groups, individual and group therapy, individual and group case management, and trainings. In addition, MPS operates a large group home in partnership with Monadnock Family Services.

The property that is the subject of this proposal is located in the Downtown Core District, about 200 feet north of Central Square on the west side of Washington Street. Vehicle access to the site is from Vernon Street, with a second entrance off Washington Street that is accessible from a pedestrian alley. This secondary entrance on Washington Street also serves as the accessible entrance to the building, with a “limited use limited access” (LULA) elevator.



Figure 1. Location map showing the 32-34 Washington St. #Rear property, highlighted in yellow.

In January 2022, the Planning Board conditionally approved CLSS-CUP-01-21 for the operation of a large group home as a second principal use on this property (in addition to operating a “Clinic”). As part of this application, MPS stated that the proposed group home would be operated entirely within the existing building and that no outdoor activity areas or waiting areas were proposed, and no changes were proposed to the existing parking lot.

The current request is to modify the Congregate Living and Social Service (CLSS) conditional use permit to include an outdoor activity area in the parking lot. This request will also require review under the Downtown Historic District Commission regulations as a “Minor Project” due to the location of the site in the Downtown Historic District.

Completeness:

The Applicant has requested exemptions from submitting an existing conditions plan, a grading plan, a landscaping plan, a lighting plan, elevations, and all technical reports. Staff recommend that the Planning Board grant the requested exemptions and accept the application as “complete.”

Departmental Comments:

There were no departmental comments on this application.

STAFF REPORT

Application Analysis The following is a review of the CLSS conditional use permit review criteria and Development Standards that are relevant to this application.

15.2.C. The proposed use will be established, maintained, and operated so as to be harmonious with the surrounding area and will not impede the development, use, and enjoyment of adjacent property. In addition, any parking lots, outdoor activity area, or waiting areas associated with the use shall be adequately screened from adjacent properties and from public rights-of-way.

This site is located in a densely populated area of the downtown. Adjacent uses include a mix of commercial, multi-family, office, institutional, and social service uses. The proposed group home will be operated entirely within the existing building; however, the applicant proposes to create an outdoor space for clients to gather/sit as well as a designated smoking area for the site. The Applicant notes that the purpose of this outdoor seating area is to provide space for both smokers and non-smokers to be outside. The smoking area is proposed to be fully enclosed by a 6 foot tall white vinyl privacy fence, as shown in Figure 2. Privacy fencing is also proposed to screen the parking lot from Vernon Street. The Applicant proposes to place moveable chairs/seating in the parking lot for people to gather and sit outside. This activity would be screened from Vernon Street by the proposed privacy fence.

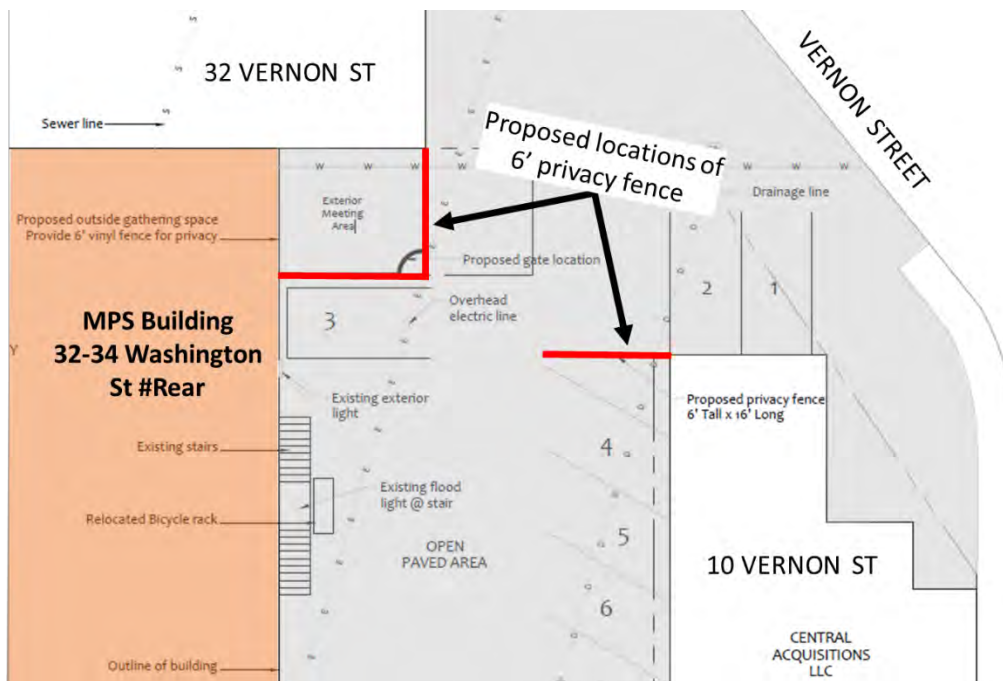


Figure 2. Excerpted image from the proposed plan with the paved area shaded in gray, the MPS building shaded in orange, and the proposed locations of the vinyl privacy fence outlined in red.

15.2.D. The proposed use will be of a character that does not produce noise, odors, glare, and/or vibration that adversely affects the surrounding area.

The proposed outdoor activity area would create a fully enclosed space on site for people to smoke. The intent of this space is to provide an area that is set back away from the public right of way for people to smoke so as to minimize any impacts to adjacent uses and people traveling within the public right of way.

STAFF REPORT

20.6 Screening

The Applicant proposes to install a 6-foot tall white vinyl privacy fence to screen a designated seating/smoking area and the parking lot from the public right of way. This standard states that *“Screening shall be of a texture, material, color, and size compatible with the existing or proposed buildings or structures on the site.”* The existing building materials include white vinyl siding on the upper stories with gray painted concrete masonry blocks on the lower level, as shown in Figure 3. This standard appears to be met.



Figure 3. Photo submitted by the applicant that shows the existing MPS building and the proposed designated smoking area.

Recommended Motion:

If the Board is inclined to approve this request, the following language is recommended for a motion:

Approve Conditional Use Permit CLSS-CUP-01-21 Modification #1 for the addition of an outdoor activity area in the existing parking lot, as shown on the plan identified as “Outside Gathering Space, Monadnock Area Peer Support Keene, NH 03431” prepared by Timothy Sampson Architects at varying scales and dated August 23, 2022, with the following conditions:

- A. Prior to final approval and signature by the Planning Board chair, the following conditions precedent shall be met:
 1. Owner’s signature appears on the plan.
 2. Submittal of five full-size paper copies and one digital copy of the final plan.
- B. The condition of approval for CLSS-CUP-01-21 shall remain in full force and effect.



City of Keene, NH

Congregate Living & Social Service Conditional Use Permit (CUP) Application

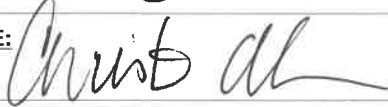

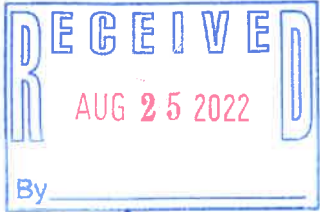
If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Outdoor Activity Area for Seating/Smoking

PROJECT ADDRESS(ES): 24 Vernon Street, Keene, NH 03431

SECTION 2: CONTACT INFORMATION

OWNER	APPLICANT	
NAME/COMPANY: Monadnock Peer Support	NAME/COMPANY: Christine Allen	
MAILING ADDRESS: 32-34 Rear Washington Street, Keene, NH 03431	MAILING ADDRESS: 32-34R Washington Street, Keene, NH 03431	
PHONE: 603-352-5093	PHONE:	
EMAIL: christine@monadnockpsa.org	EMAIL: christine@monadnockpsa.org	
SIGNATURE: 	SIGNATURE: 	
PRINTED NAME: Christine Allen	PRINTED NAME: Christine Allen	
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY:	TAX MAP PARCEL #(s): 568 058 000 000 000	
MAILING ADDRESS:	-----	
PHONE:	PARCEL SIZE: 0.28 acres	DATE STAMP:
EMAIL:	ZONING DISTRICT: Downtown Cove	
SIGNATURE:	PROJECT #: CLSS-CUP-01-21, Mod. 1	
PRINTED NAME:		

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE FOLLOWING ITEMS AND MUST BE SUBMITTED BY ONE OF THE OPTIONS BELOW:

- **Email:** communitydevelopment@keenenh.gov, with "Planning Board Application" in the subject line
- **Mail / Hand Deliver:** Community Development (4th Floor), City Hall, 3 Washington St, Keene, NH 03431

The submittal requirements for Conditional Use Permit (CUP) applications are outlined further in **Article 15.4** and **Article 25.14** of the [Land Development Code \(LDC\)](#). You may request an exemption from providing any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information, such as color representations, simulations, or renderings of a proposed development may be required by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS

CERTIFIED NOTICE LIST (See **Attachment A** for more information.)

2 SETS OF MAILING LABELS (See **Attachment A** for more information.)

PROJECT NARRATIVE (See **Attachment B** for more information.)

FEES: Fill in the information below to calculate the total fee.

\$100 base fee + \$62 legal ad fee + 14.57 current USPS certified mailing rate x 25 abutters = 1276.25 (Total Fee)

NOTE: Please call the Community Development Department for the current certified mailing rate. Checks should be made payable to the *City of Keene*. Credit card payments are accepted in-person or by calling 603-352-5440.

DOCUMENTATION OF ALL REQUIRED STATE OR FEDERAL LICENSES, PERMITS, AND CERTIFICATIONS SUBMITTED
 EXEMPTION REQUESTED

WAIVERS (See **Attachment C** for additional information.) WAIVER(S) REQUESTED
 NO WAIVER(S) REQUESTED

PLAN SETS (See Attachment D for additional information.)	SUBMITTED	EXEMPTION REQUESTED
LOCATION MAP OF PROPOSED IMPROVEMENTS		X
EXISTING CONDITIONS PLAN		X
PROPOSED CONDITIONS PLAN		X
GRADING PLAN		X
LANDSCAPING PLAN		X
LIGHTING PLAN		X
ELEVATIONS		X
TECHNICAL REPORTS (See Attachment D for additional information.)	SUBMITTED	EXEMPTION REQUESTED
DRAINAGE REPORT		X
TRAFFIC ANALYSIS		X
SOIL ANALYSIS		X
HISTORIC EVALUATION		X
SCREENING ANALYSIS		X
ARCHITECTURAL & VISUAL APPEARANCE ANALYSIS		X
OTHER REPORTS / ANALYSES		X

POSTED NOTICE REQUIREMENT

Per **Article 25.14.6** of the [LDC](#), an applicant for any conditional use permit shall, not less than 10 calendar days prior to the date of the public hearing on the application, post a sign obtained from the Community Development Department providing notice of the use applied for and the date and time of the public hearing, in a location on the premises visible to the public. This sign shall be removed by the applicant no later than 10 calendar days after completion of the public hearing and returned to the Community Development Department.

Descriptive Narrative

Existing / Proposed Uses:

The building is classified as an Institutional Use (I4). There is no proposed change in use as part of this application.

Description of Size / Intensity of Use:

There is no proposed expansion to the size or intensity of use. This application seeks to develop a small part of the exterior space to be utilized as a common gathering area for existing client to have additional options for meeting space.

Description of Proposed Redevelopment:

This application proposes to redevelop one small exterior space that will be used to provide an exterior space that is screen from the public for clients to meet. This use is consistent with the use of the existing building.

Description of Site and Safety Procedures:

The proposed site is located in the downtown district. The building is consisting in size and scale with the surrounding neighbor. The building is multistory and the exterior is comprised of a mix of concrete block and vinyl siding. At this point in time there is no intention of changing the exterior of the building.

Description of Intake Areas:

There is no proposed changes to the existing intake areas.

Traffic Impact:

There will be no impact to traffic. The proposed exterior space is intended for existing clients.

Description of Parking Demand / Impact:

There will be no impact to traffic. The proposed exterior space is intended for existing clients.

Location of access points:

Access to the building and site will remain unchanged. There is no plan for any exterior work to the building or site.

Other Descriptive Information:

This proposal is limited to the install of vinyl fencing to screen an existing parking area as well as provide an additional private area for clients to meet in an outside space.

Drainage & Stormwater Management:

There is no exterior work planned. There will be no change to existing drainage or stormwater management.

Sedimentation Control:

Sedimentation control will not be required. There is no site work being proposed as part of this proposal.

Snow Storage and Removal:

There is limited parking area and paved surfaces. Snow storage therefor is also limited. Snow will be removed from the site as required to maintain parking areas.

Landscaping:

There are no proposed planting or changes to any landscaping.

Screening:

This application proposes to install screen that will provide additional privacy for those who utilize the property. Screening will reduce the amount of the parking area that will be visible from the road as well as private a private area (approximately 16'x16') for clients to gather outside of the building. White vinyl fencing is being proposed.

Lighting:

There are no proposed exterior lights as part of this proposal.

Water & Sewer:

The building is tied to city water and sewer. There will be no change in use / intensity.

Traffic & Access Management:

There is no change to site access and traffic patterns as part of this proposal. Vinyl fencing is proposed for privacy screening only parking and traffic patterns will remain intact.

Filling & Excavation:

There is no excavation of filling of the site proposed as part of this proposal.

Surface Waters & Wetland:

There are no wetlands on the site. There is no change to surface water as part of this proposal.

Hazardous & Toxic Materials:

There are no hazardous or toxic materials involved with this proposal.

Noise:

Noise impact from the proposed project will be minimal. The proposed exterior gathering space is intended for quiet meetings and private conversations.

Architectural & Visual Appearance:

The architectural and visual appearance of the building is not being changed as part of this proposal. White vinyl privacy fencing is being proposed to screen an area to outside gathering.

**TO:**

City of Keene
Community Development Department
3 Washington Street
Keene, NH 03431

FROM:

Monadnock Area Peer Support Agency
Christine Allen, Executive Director
32 Washington St #REAR
Keene, NH 03431
Email: Christine@MonadnockPSA.org
(603) 352-5093

ORIGINAL TRANSMITTAL LETTER

Request for use of Parking Lot
24 Vernon Street, Keene, NH
8/25/2022

To whom it may concern,

Please accept this narrative as a description of our center and its usage in response to a complaint that was issued by Gary Kinyon from Bradley & Faulkner on Tuesday August 16, 2022. On behalf of Monadnock Area Peer Support Agency (MPS),

Please know that I, Christine Allen, am authorized to bind Monadnock Area Peer Support Agency to all statements. I will also serve as primary contact for all matters relevant to this is Congregate Living & Social Service Conditional Use Permit Application.

Sincerely,

Christine Allen, Executive Director, Monadnock Area Peer Support Agency

Monadnock Peer Support Agency

Main Line: 603-352-5093/5094

Website: www.MonadnockPSA.org

32 Washington Street #REAR

P.O. Box 258 Keene,

NH 03431

Monadnock Area Peer Support Agency, familiarly known as "MPS", is seeking permission to use the parking lot located at 24 Vernon Street. We are requesting the ability to have a designated smoking section for our members as well as the ability have an outside seating area. In addition to the cars in the parking lot we have made the most of our outdoor space until August 18, 2022 when I met with the city to talk about the next steps in the CUP process. It was during this meeting that I learned a complaint was made regarding the usage of our parking lot stating that we were in violation. Below is the Complaint from Gary Kinyon:

"I write to inform you that outside of the rear of this building, there are chairs and a picnic table set up and used frequently.

The minutes of the Planning Board Meeting of January 24, 2022 for the application for conditional use permit state, in addressing the standards for granting a permit:

B. The proposed use will be established, maintained, and operated so as not to endanger the public health, safety, or welfare.

The applicant did address this item in their narrative and did indicate all activities associated with the proposed use will occur inside the existing building.

D. The proposed use will be of a character that does not produce noise, odors, glare, and/or vibration that adversely affects the surrounding area.

PB Meeting Minutes ADOPTED

Ms. Brunner noted due to the fact that the proposed use will be located entirely inside the existing

building, staff does not expect this to be an issue.

This outdoor use is a clear violation of the basis on which the permit was granted."

Upon learning that we were in violation, we immediately removed an 8-foot wooden picnic table located in the corner of the parking lot with a red umbrella. A 5-foot round picnic table in the opposite side of the parking lot for nonsmokers and 10 colorful Adirondack chairs as to ensure that we are no longer in violation. We are seeking approval to have use of our parking lot with a designated smoking section which would be 25 feet away from any door and the ability to have outdoor chairs for individuals to utilize while at the center. Within these documents, you will see why the usage of outdoor space for seating is so important to our members and guests and will further understand how we plan to address any issues that may arise. Tim Sampson from Sampson Architect has drafted some drawings which will show the fencing that we plan to put in place to prevent the seating areas from being visible to the public.

Through this application you will learn that MPS's programs are outstanding; our financials are strong; our policies and procedures are clean, compliant and undergo regular review; our culture and staff are well-loved; our community relationships are substantial; we have an outstanding relationship with Keene PD and Keene Fire and our facilities are top-notch and getting better by the day.

MPS's offering go far above and beyond the minimum requirements of our contract to provide the very best peer support to our community and beyond. We strive to have groups, activities, and training every hour of the day. We see open time on our schedule as opportunity to offer more; unused time is wasted time. We strive for continuous improvement in our offerings.

MPS is governed by a Board of Directors with a plan for governance that meets the requirements outlined in He-M 402.03 (b). MPS's peer support center is open 50 hours each week and follows all Department Life Safety requirements.

MPS programs use Intentional Peer Support (IPS), a recognized best practice founded by Shery Mead (Mead, S. (6/2011) in the 1990s. Intentional Peer Support provides a powerful framework for creating relationships where both people learn and grow. Peers come together around shared experiences and often a desire to change their lives. However, without a new framework to build upon, people frequently re-enact "help" based on what was done to them. IPS offers a foundation for doing something different. It derives from a history of grassroots alternatives that focus on building relationships that are mutual, explorative, and conscious of power.

MPS programs also use Wellness Recovery Action Plan (WRAP), an evidence-based practice started by Mary Ellen Copeland, Ph.D., recognized by the Substance Abuse and Mental Health Service Administration (SAMHSA).

MPS provides transportation for our members. MPS owns an appropriately registered/inspected and fully insured 12 passenger 2010 Ford Econoline e350 van VIN 1FBSS3BL9ADA93207 with which it provides transportation to members and participants. The van is black and bears MPS signage. We have two drivers on staff who are both appropriately-trained via the NSC Defensive Driving Course Online- 4 hour and background checked. Our on-boarding process ensures that this will always be the case.

The van leaves at 7 AM each morning to pick members up throughout our region and departs at 7 PM MWF and 5 PM TuTh to bring folks home. Additionally, we ensure that our guests in Respite and Step-up Step-down programs have transportation to and from their start and completion of their stays and all required meetings and appointments in the interim.

We also utilize the van to pick up donations from the Keene Community Kitchen weekly and other donors on an as-needed basis. Guests are welcomed to participate in our weekly 'Shopping Trip', which is a time to do all sorts of errands from shopping and pharmacy to banking and post office visits, even short visits to receive medication at MFS. In addition, the van is used to transport members to our weekly bowling activity and monthly outings.

MPS's first and primary source of programming and group input is and always will be its members. We have a monthly community meeting with members; we listen to our members and strive to provide the services and groups they are asking for. We have an open-door policy allowing members/residents the opportunity to provide input throughout the month as well. Secondly, we rely on our community partners to inform us and arm our staff with the knowledge they need to generate timely and appropriate program ideas, regardless of whether the topics are 'interesting' to our members. We recognize our responsibility to bring them the information and skills they need.

Our staff members are regular attendees and active participants at coalition and workgroup meetings that address matters impacting our members. We find that by engaging with such groups, MPS remains in-tune and first-to-know about changes, needs and hot topics impacting our members and is able to quickly design or re-design programming and prepare resources appropriately. The following alphabetical list reflects the purpose and frequency of each group of which MPS staff are members:

- **Business Networking International (BNI)**- Goal: to introduce local business owners to MPS offerings and build a network of champions in the community. Thursdays 7:30 AM to 9 AM
- **Community Health Improvement Plan (CHIP) Behavioral Health Work Group**- Goal: bring together community partners to move forward on Dartmouth-Hitchcock's Community Health Improvement Plan goals to Improve Behavioral Health Outcomes/Prevent and Reduce Harm from Substance Use and Mental Illness. 4th Tuesday of the Month, 10 AM to 11 AM
- **Community Network Team (CNT)**- Goal: increase collaboration and referrals among social services agencies in the Keene area. 2nd Thursday of the Month, 12 PM to 1 PM
- **Greater Keene Homeless Coalition (GKHC)**- Addresses homelessness in the Monadnock Region 4th Thursday of the Month, 1:30 PM to 3:30 PM
- **Greater Monadnock Public Health Network (GMPHN) Risk & Protective Factors Workgroup.** Goal: Build, maintain and sustain a regional network of professionals and community members who are concerned about substance misuse in the region
- **Interagency Team**- Goal: increase collaboration and referrals among social services agencies in the Keene area. 4th Monday of the Month, 9 AM to 11 AM
- **Keene New Hampshire Lions Club**- Goal: To empower volunteers to serve their communities, meet humanitarian needs, encourage peace and promote international understanding. Every Tuesday 12:15 PM to 2 PM
- **Monadnock Regional Council for Community Transportation (MRCC)**- Goal: a coalition of transportation providers, purchasers and users in Southwest New Hampshire working together to create an affordable community transportation system that provides all community members access to services and opportunities and improves the health and social cohesion of the Monadnock Region. 3rd Tuesday of the Month, 9 AM to 10:30 AM
- **Monadnock Region Partners Across the Continuum (MRPAC)**- Goal: bring together community partners from across the continuum; to exchange information, provide support and improve communication among regional organizations engaging in substance misuse and mental health related services. 3rd Wednesday of the Month, 1 PM to 2:30 PM
- **New Hampshire Mental Health Peer Alliance (NHMHPA)**- Goal: to educate and connect Peer Support Agency staff. 3rd Tuesday of the Month, 10 AM to 12 PM
- **NHMHPA Advocacy Workgroup**- Goal: discuss the various ways we can move NHMHPA's our

action plan and strategic communication plan forward: train peers as advocates; create a website and brochure. Every Tuesday, 1 PM to 2 PM

- **NHMHPA Legislative Workgroup**- Goal: Advocate for equal rights and a recovery-oriented mental health system to legislators, peers, government personnel and the general public. Every other Friday, 10:30 AM to 11:30 AM
- **Provider Network**- Goal: increase collaboration and referrals among social services agencies in the Peterborough area. 4th Tuesday of the Month, Noon to 1:00 PM
- **YMCA Community Coalition on Substance Misuse**- Goal: Bring together stakeholders to work collaboratively to prevent substance misuse among youth and young adults in our community. 3rd Thursday of the Month, 4 PM to 5 PM

MPS's day programs are free and open to any New Hampshire resident (18 years or older) who is a recipient, former recipient, or is at risk becoming a recipient of mental health services. MPS has spent 26 years developing strong, connecting relationships where people feel valued, become empowered and move toward recovery. Our programs are grounded in the principles of personal responsibility, mutuality, reciprocity, and respecting others' thoughts and beliefs as valid and important. We encourage growth beyond stigma, shame, and limits placed upon us, creating and maintaining a strong, active voice and presence dedicated to social change.

Our site is separate from the local Community Mental Health Center (Monadnock Family Services--MFS) and has ample parking located near downtown Keene and is within walking distance to MFS, the Community Kitchen (food pantry and soup kitchen), Hundred Nights Shelter and Family Resource Center and cold weather/family shelters, Southwestern Community Services, ServiceLink, Monadnock Center for Violence Prevention, Alternative Sentencing Program and Mental Health Court, Monadnock Food Co-op, Keene State College, Keene Recreation Center, Keene Serenity Center, Keene Public Library, Keene Senior Center, City and County Government offices and resources.

We are fortunate to have both indoor and outdoor space where our members, participants, and guests can gather to engage in mutually beneficial connections. While we understand that the usage of our parking lot is not currently permitted it is our hope that by addressing this issue with the city we will once again be able to provide a designated smoking section for our participants along with the opportunity for non-smoking folks to have a place sit outside and enjoy the outdoors. Daytime visitors have access 5 bathrooms (one of which is fully accessible or handicapped usage), two showers, a complete kitchen and a kitchenette, community dining space, a large activity area, a laundry room, weight room, a crafting area, gaming area, computing area, and a private groups room. All are fully furnished and beautifully decorated.

As part of our programming, we offer our guests and community members the following services: 24 - hour onsite staff, lockers to hold individual items, access to internet with onsite computers and printers, streaming TV and music, a library of DVD's, a library of books about mental health and advocacy, laundry and showering facilities, and access to crafting supplies, games, and our gym. Guests are also welcomed to participate in our weekly 'Shopping Trip', which is a time to do all sorts of errands from shopping and pharmacy to banking and post office visits, even short visits to receive medication at MFS.

Guests have access to prepare and eat food items donated weekly by the Keene Community Kitchen, Peterborough Food Pantry, and Freihofer's Bakery, and can get water from water bubblers. As needed, they can find clothing and toiletries in Marla's Cabinet, which is an area that MPS maintains for donations that are received by the community. Around the holidays, MPS partners with a local the Keene Family YMCA, Partners In Health and a pawn shop to collect high-frequency items like socks, coats, sweats, hand warmers, and other items as requested via a Giving Tree campaign.

MPS offers all support groups and activities in its informal non-clinical setting. Our current discussion groups are Beyond Bipolar and Depression, Anxiety/Depression, Trauma, Isolation, LGBTQIA+, Hearing Voices, Eating Disorder Recovery/ Body Image, Self-Harm Care, Survivors of Suicide Attempts, Feelings of Anger, Navigating Relationships, Co-Parenting, Addiction Support/Recovery, Domestic Violence Survivors, and Survivors of Sexual Assault. There is also a daily check-in and check-out and weekly men's and women's groups.

We administer many groups to facilitate well-being. We have two employees that hold Personal Training and Group Exercise certifications. This allows us to fully integrate exercise into each members wellness plan. Currently, we offer a chair yoga class, strength training classes, a walking group and access to our fully equipped gym that even has a heavy bag and a speed bag. Monthly bowling trips keep our members moving as well. We supplement physical wellness offerings with weekly prompts for stretching, meditation, and journaling and some months we hold groups like Happy Things Hour and Meditation Manifestation. In quarter one, our Ted Talks group was very popular because it featured expert speakers on topics like ableism, self-advocacy, resilience, and vulnerability. In January we offered an Exploring Faith class and we offer rides to two local churches for members who choose to practice faith in their wellness journeys.

Our skill-building groups are very popular. In the last few months, we have held cooking classes, Life Skills, Tech Time with Mike (computer skills), Cookies and Coloring, and Creative Expressions (various arts and crafts projects). Our weekly IPS Skills group teaches participants about how to relate to others and practice the principals of Intentional Peer Support in their everyday lives. We hold a weekly community lunch, which is facilitated, but largely peer-lead. We also offer a weekly peer-lead movie night and gaming groups. Our Life Goals group addresses employment, independence, housing, obtaining and maintaining benefits, and financial skills. We intend to schedule member-facing groups on Charting the Life's Course and Person-Centered Planning in partnership with our local Bureau of Developmental Services Area Agency, Monadnock Developmental Services.

Once a month, MPS offers trips to destinations chosen by members at our monthly community meetings. Trips in 2022 have included Yankee Candle, Crescendo Acres Farm to learn about the maple sugaring process and visit Alpacas, the Cheshire Fair, Hampton Beach, On The Road to Wellness in Manchester, Magic Wings Butterfly Conservatory and many more. These trips generate friendship, trust, connection, and mutuality. The photos of memories we make on these trips are captured in our monthly

newsletter and are evidence to the community that MPS is an incredible place. Many of the photos are taken by our Director of Community relations, who is a professional photographer.

One of our goals at MPS is to reduce stigma around mental illness in the Monadnock Region and to reduce internalized stigma in the individual as a way of increasing social connectedness and engagement in the community. We do this through a monthly Community Meeting which serves as a gathering place for members, participants, and guests to bring up their concerns to the MPS community at large. Notes are recorded and posted for members who are not able to attend the meeting. Members often speak about the things that they want to see change or mention things that are not going well in the community and discuss how to address these issues in a way that engenders accountability and personal responsibility. In these meetings, members enjoy planning parties around significant holidays such as Halloween, Thanksgiving, Christmas (Holiday Party), Super Bowl, St Patrick's Day, Easter, and Valentine's Day.

MPS's peer respite program, Monadnock Peer Respite, is housed in its beautiful Downtown Keene facility, which offers all accommodations needed to allow guests 18 years and older experiencing crisis or who have mental illness to take a break from the stress in their life in a non-clinical, peer supportive environment for 7 days and 6 nights. The program is designed to be a diversion from hospitalization that provides individuals with a chance to overcome mental health crises in a healthy way and learn how to manage similar mental health events in the future.

MPS's Step-Up Step-Down program (SUSD) is a 90-day alternative to inpatient mental health care that is free and open to any New Hampshire resident (18 years or older) who is a recipient, former recipient, or is at risk of becoming a recipient of mental health services who requires additional support while experiencing mental health episodes serious enough to lead them to the hospital in the absence of other options, and by providing a place for re-integration into everyday life for people coming out of clinical and institutional settings such as New Hampshire Hospital (inpatient psychiatric services), Cheshire County Jail, Dartmouth-Hitchcock Keene Behavioral Health Unit, Rehabilitation, and hospitalization following self-harm. bookend psychiatric care, incarceration, and other institutional stays.

MPS's Washington Wellness program was established in 2021, MPS entered a partnership with Monadnock Family Services (MFS), Region V's Community Mental Health Center on 'Washington Wellness', a project that adds six bedrooms in the MPS facility for individuals who experience serious and persistent mental illness. This program as been going strong for several months and it has been a delight to see the clinical environment and the peer support environment work in such harmony.

MPS and Cheshire County have submitted a grant application for a \$750,000 Community Development Block Grant, which will be awarded in January of 2023. The Cheshire County Commissioners have agreed to be our sponsoring applicant and Southwest Regional Planning Commission has agreed to offer grant writing technical assistance and act as our grant administrator. Our partners at the Community Development Finance Authority feel that our project is strong and fundable, and that odds are extremely high that the grant will be awarded to us. This is important information as it shows our commitment to be better, to do better and provide a state of the art facility to our community for years to come.

This new phase of construction is called the 'MPS Community Center' project. It proposes facility renovation to replace windows and roof; install a new HVAC system, a limited use limited application elevator, two wheelchair ramps, five handicapped accessible doors, and stairwell enclosure; install rooftop access, solar, garden, and fence; install on the lower-level a commercial kitchen, shower, laundry room, conference room and community rec room; and address findings from an energy audit and an accessibility audit.

With such projects completed and pending, we feel that there is no other entity more capable of offering the robust services required of this community and no other entity that can more effectively help bridge the gap in services created by the absence of acute inpatient psychiatric beds and absence of counseling and therapy services in this region.

It is our hope that this narrative will provide you with a better understanding of our programming and will aid in the decision-making process to offer a designated smoking section to our members. Please see some of the comments from our members and staff:

"Smoking for me is therapeutic. I'm not doing drugs, I'm not drinking. I come here because I need the support. The only substances I am putting in my body is nicotine and caffeine. I'm doing so well, why would anyone complain about this?"

"I don't feel safe walking the streets of Keene. I can feel safe at the picnic table and be with my friends."

"Conversations and connections happen at the picnic table that don't happen anywhere else."

"Sometimes my emotions run really high in groups because I am working on me. My trauma is pretty intense. Going outside to sit and regroup is so important. I can't imagine not being able to go outside and breathe after."

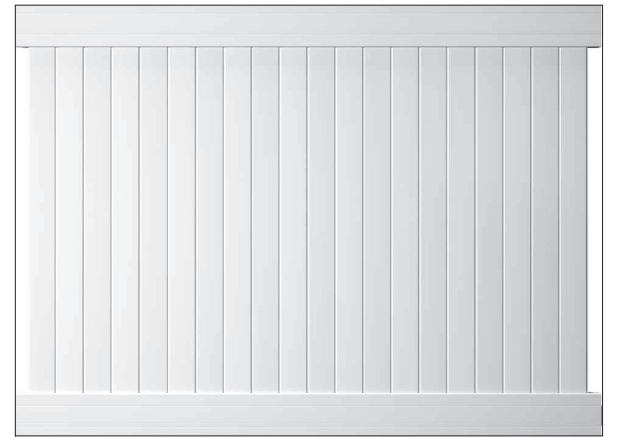
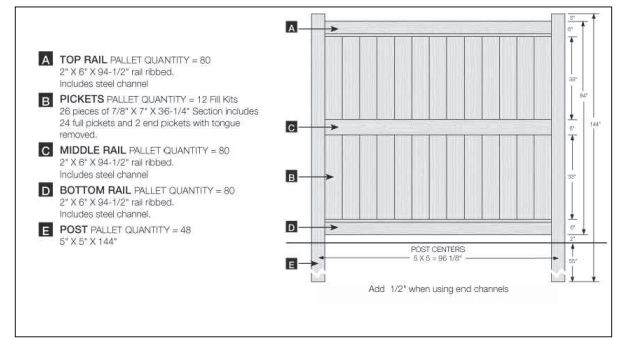
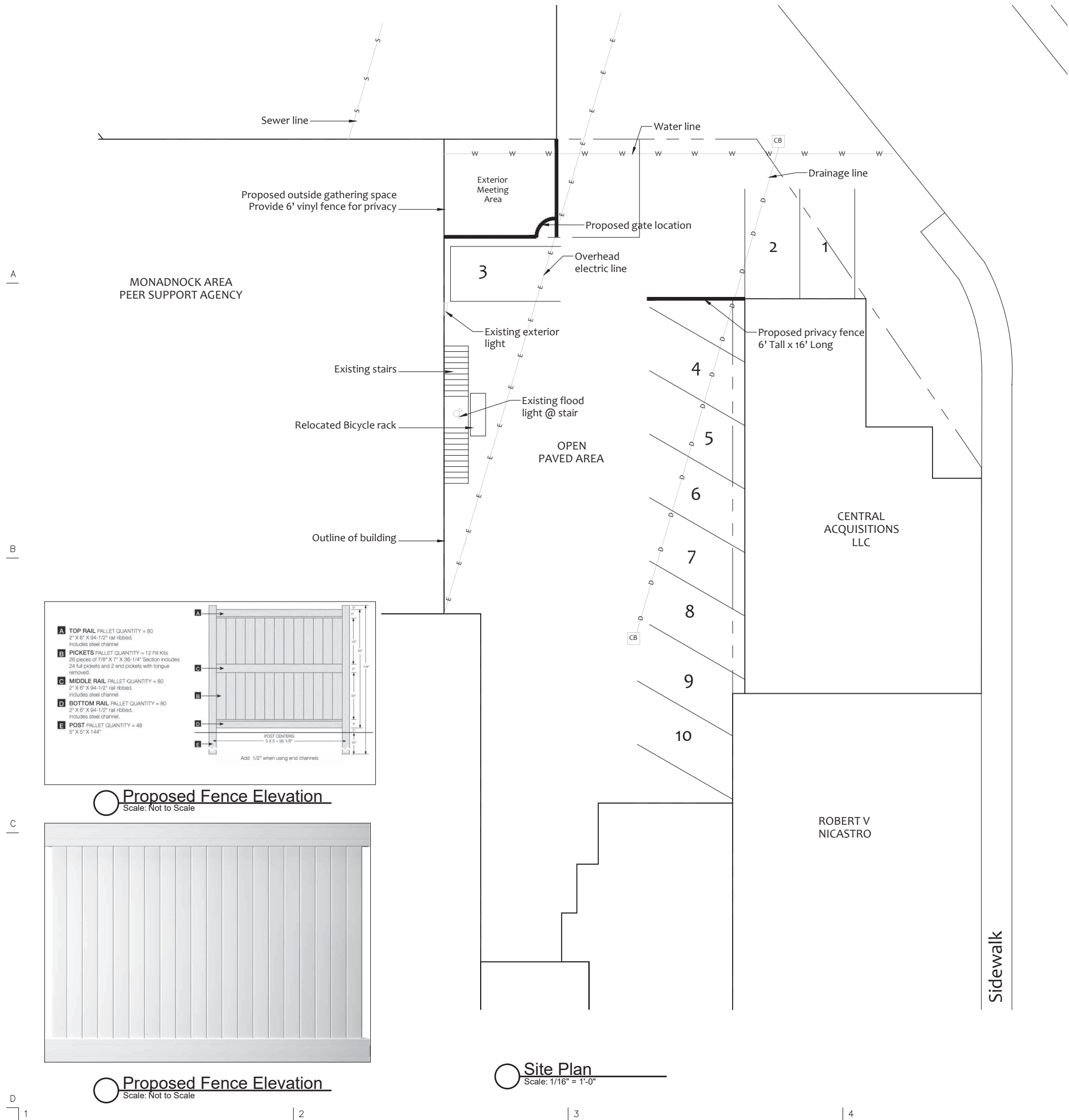
"So what, we go across the street and hang out on the sidewalk and piss off the neighbors across the street? I thought you wanted us to be respectful of our neighbors?"

"I am handicapped. I think it is unrealistic for you to take away my safe place."

"I live on site in the SUSD program. This is my home for the next two months and now I can't go outside to sit and read my book"

"Those chairs is what got me to come to the center. I have forever felt shut out from our community and afraid of people judging me as I am part of the LGBTQIA+ community. When I saw the rainbow of chairs I just had to come! I thought, oh my god, finally an agency that really gets it. I felt like the agency was sending me a sign. It felt incredible and when I came to the LGBTQIA + group I realized so quickly how I was not alone in this town that has been so judgmental toward me. I sat in a room in Keene, NH with 6 other members from the LGBTQIA community. Today, I am no longer alone."

" I finally built up the courage to leave my house. I have been inside my home for 18 months. I sat at the table outside one day and was able to feel like a human. I promised myself I would come once a week and sit and talk to whoever sat next to me, and now I can't."



Site Plan
Scale: 1/16" = 1'-0"



These drawings are LIMITED SCOPE and are intended only to describe general design intent, scale, overall spatial relationships and material where indicated. These drawings shall be considered preliminary for purposes of design review, comment, or budget pricing only, unless expressly released for other purposes as indicated in the issue log. The architect assumes responsibility for errors in the information provided, and not for omissions.

Architect:
Timothy Sampson
NCARB, LEED AP
103 Roxbury Street
Suite 206
Keene, NH
603 769 7736

Engineer:

SAMPSON ARCHITECTS
2021 WO# 21-039

Prepared For
Monadnock Area Peer Support
Keene, NH 03431

PROJECT
Outside Gathering Space
Monadnock Area Peer Support
Keene, NH 03431

TITLE
Site Plan Notes

Date:	Revisions:
8.23.22	CLSS CUP Application
-	-
-	-

SCALE As Noted

DATE 1.5.22

SHEET NUMBER

A0

59 of 101

STAFF REPORT

SPR-870, Mod. 2 – SITE PLAN REVIEW – 310 Marlboro Street

Request:

Applicant and owner 310 Marlboro St. LLC proposes to construct a 48,460 sf, three-story addition containing 57 apartments on the existing 86,689 sf, two-story building. In addition, the applicant proposes site modifications including changes to parking, landscaping, and street access for the property located at 310 Marlboro St (TMP# 595-001-000-000-000). The site is 4.25 ac in size and is located in the Business Growth and Reuse District.

Background:

The subject property at 310 Marlboro Street is located on the northern side of Marlboro Street, approximately 0.5 miles from Main Street. The property is adjacent to the Cheshire Rail Trail to the north, O'Reilly Auto Parts to the west, and Home Healthcare, Hospice & Community Services to the east. The existing building on the property was built in phases and is 86,689 sf in size. The building was constructed originally in 1947 as the Pittsburgh Paint Factory to manufacture paint brushes. In 1984 a 12,580 metal addition was added, increasing the gross floor area to the current square footage. The building was designed with substantial structural capability that is currently not being utilized.

The property is currently a mixed-use commercial building with over 40 businesses. Some tenants include a grade 9-12 charter school, professional offices, fitness studios, light manufacturing/ artisan spaces, and a variety of trades. The building has been upgraded to promote energy efficiency, including the installation of a wood chip boiler, solar panels, and heat pumps.

The proposed addition is 3 stories and will be built on top of the primary existing structure to accommodate 57 apartment units. The applicant's narrative states that they are proposing three (3) studio units, 36 one (1) bedroom units, and 18 two (2) bedroom units. Two stair towers will be constructed along the eastern façade of the building to provide access to the apartments. Site improvements include moving the location of the site access point to the westerly side of the property and the installation of landscape islands for additional parking stalls.

This proposal will create a mixed use live/work environment for the property. The functionality of the site will need to balance the residential, commercial, and industrial uses on the property. The applicant proposes design and site features that attempt to find this balance while adhering to the Planning Board's Site Development Standards.

The applicant has requested a variance from the Zoning Board of Adjustment (ZBA) to permit a building that is five stories in height where the maximum number of stories is three. In addition, the applicant has requested a special exception from the ZBA to reduce the number of required parking spaces by 50%, for



Figure 1. Aerial view of the subject property in yellow.

STAFF REPORT

a total of 145 spaces provided. The ZBA is scheduled to meet on Monday, September 19 to hear these requests. The applicant will need to obtain both the variance and the special exception before the Planning Board can open the public hearing on this application.

Completeness:

The applicant requests exemptions from submitting a grading plan and a drainage report. After reviewing each request, staff has determined that exempting the applicant from submitting this information would have no bearing on the merits of the application and recommends that the Planning Board grant these exemptions and accept the application as “complete.”

Departmental Comments:

ENGINEERING:

- The applicant will need to provide the calculated sewer flow and calculations showing that the existing sewer service has a capacity to handle the additional sewer flow for the proposed project.
- Show all existing utilities on the plan.

CODE ENFORCEMENT: No Floodplain Issues, Building and Fire permits will be required. Provide additional details on accessibility; sidewalk clearances, parking spaces, and travel paths into the building.

ZONING: The applicant has applied for a Variance for building height and Special Exception for reduced parking from ZBA. Will be heard on 9-19-2022.

FIRE: Sprinkler water service line and Fire Department hook up need to be shown on the plan. Show compliance with NFPA 1 section 18 Fire Department Access. Fire permits will be needed.

Application Analysis: The following is a review of the Planning Board development standards relevant to this application.

- 20.2 **Drainage:** The applicant has stated in their narrative that there is no expected change in stormwater and drainage management associated with this project. The site’s impervious surface will either be reduced or remain the same. The applicant is exploring planters located on the roof as a form of low-impact design to reduce the amount of water runoff from the roof. The applicant has also stated that there will be no modification to the floodplain and water quality is expected to remain the same. It appears that this standard has been met.
- 20.3 **Sediment & Erosion Control:** The subject property is flat topography and the proposed site work is predominantly low intensity in nature. Most of the work will be to remove existing pavement to be converted into pervious green space. Disturbance of natural soil and vegetation will be minimized. Erosion control best management practices will be utilized as needed. It appears that this standard has been met.
- 20.4 **Snow Storage & Removal:** A proposed snow storage area is located on the western side of the property in a green space. The applicant has stated that there is enough pervious surface in this area to allow for snow melt to infiltrate. Any snow melt that does not infiltrate will drain internally towards a catch basin located on the northern area of the property.
- 20.5 **Landscaping:** The applicant is proposing to remove one (1) existing tree in order to move the western curb cut further to the west, retain the seven (7) other existing trees and install 24 new trees around the perimeter of the site. The new trees will consist of seven (7) Sun Valley Red Maples, ten (10) Green Vase Zelkova, and seven (7) Starburst Amur Maackia. None of these species are considered invasive by the NH Department of Agriculture, Markets, and Food. Tree planting and

STAFF REPORT

protection details have been added to the plan. The landscaping plan will need to be revised to include the average planting height and width in the plant legend. It appears that this standard has been met.

- 20.6 **Screening:** The proposed site plan consists of both existing and new parking areas and drive aisles. Section 9.1.2.E.1 states that, ***“When any existing parking area is expanded, the design standards in Section 9.4 shall apply to the new parking.”*** Section 9.1.2.E.2 states, ***“Where the proposed expansion increases the number of existing spaces by 100% or more, the design standards in Section 9.4 shall apply to the entire lot.”*** In the case of this application, subsection 2 does not apply because the application is only proposing to add 15 additional parking spaces for a total of 145 spaces provided on site. Subsection 1 does apply to the new parking areas located to the north and east of the building.

The parking lot screening standards located in Section 9.4.4, “Parking Lot Screening” of the LDC states, ***“If an on-site parking lot is visible from the public right-of-way and/or is located adjacent to a residential zoning district, a perimeter landscape area shall be established along the full length of the edge(s) of the parking lot that is adjacent to the public right(s)-of-way and to parcels located in a residential zoning district.”*** The site is not adjacent to any residential zoning district. The new parking area located to the north of the building is not visible from the public right-of-way and no perimeter landscaping is proposed. The parking area along the eastern façade of the building is visible from the public right-of-way. A tree is proposed to be installed at the end of the row of parking. The existing parking area in front of building is proposed to be reconfigured to be more defined and includes landscaping islands with trees to be installed in them. The Planning Board will need to determine if this standard has been met.

Section 9.4.3.A, “Interior Parking Lot Landscaping” states, ***“For parking lots of 10 or more parking spaces, either 1 tree at least 3-in diameter as measured 6-in from the ground after planting, or groupings of 3 or more trees at least 6-ft tall or 2-in diameter as measured 6-in above grade after planting, shall be required at the ratio of 1 tree per 10 parking spaces.”*** The applicant is proposing to provide 15 additional parking spaces and install 24 new trees, which exceeds the number of trees required under this standard.

The application is proposing to include two (2) new dumpster enclosure areas to be located adjacent to the stairwell entrances to the apartments. Section 20.6.2.A, “Service Areas” states ***“Waste collection, waste compaction, recycling collection, and other similar service areas shall not be located along the building frontage or along a building facade with a primary entrance and shall be screened from view from adjacent property or public rights-of-way (not including alleys).”*** Staff believes that the proposed location of the two (2) dumpster areas does not meet this standard and an alternative location should be required as a condition of approval.

The proposed material for the dumpster screen is skip/lap fencing (see Figure 2) that is 6 foot in height. The applicant states in their narrative that this fencing will allow light and air flow without direct visibility. The existing dumpster area located by the loading dock will also be enclosed with the same material. Section 20.6.2.A.2 states, ***“Waste storage containers (e.g. dumpsters or bulk storage containers) shall be fully screened by a solid enclosure of wood, masonry, vinyl or other material***



Figure 2. Skip/lap fencing.

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deemed acceptable by the Planning Board...” and Section 20.6.2.A.4 states, *“Screening required for service areas, including waste storage containers, shall be compatible with the principal building in terms of texture, material and color.”* The Board will need to determine if this standard has been met.

- 20.7 Lighting: The applicant states in their narrative that all exterior lighting shall be Dark Skies compliant. The proposal includes a mixture of wall packs and pole mounted lighting fixtures, with 41 fixtures in total. Section 20.7.3.D, “Illumination” states, *“All illumination shall be of a white light and shall have a color rendering index (CRI) greater than 70. The color-temperature or correlated color temperature (CCT) of lighting shall not exceed 3,500 Kelvins.”* All proposed fixtures meet the standard in terms of color temperature, however, the Slim17FA30ADJ wall mount fixture has a CRI of 70, where the above standard requires a CRI of greater than 70. Staff recommend that the Board require a new wall mount fixture that meets this standard be proposed by the applicant.

Section 20.7.3.C, “Light Trespass” states *“The maximum light level of any light fixture cannot exceed 0.1-footcandle measured at the property line and cannot exceed 1-footcandle measured at the right-of-way line of a street.”* The applicant is aware that the Lighting Plan shows light trespass that exceeds the amount allowed in this standard. They have also noted a portion of the parking area in the north east corner of the property that is not illuminated. The applicant intends to revise the Lighting Plan to illuminate the dark area and reduce the light trespass to allowable levels to meet this standard. Staff recommends that the Board require a revised Lighting Plan that meets the standards be submitted by the applicant as a condition of approval.

- 20.8 Sewer & Water: The applicant states in their narrative that the site will be utilizing city water service and that there is sufficient capacity in the Marlboro Street water main to service the expanded use. In regards to sewer, the applicant states that the existing tie-in to the Marlboro Street sewer main will be used for the existing uses on site and there is a second sewer connection point currently not in use that will be connected for the use of the proposed housing addition. Engineering staff does not have record of the second sewer connection point; however, they are comfortable with this application proceeding with the condition that sewer details shall be reviewed and approved by engineering staff prior to the issuance of a building permit.
- 20.9 Traffic & Access Management: The westerly site access point is proposed to be shifted to the west corner of the lot and remain the same size at the property line but include flared ends. The existing easterly exit-only site access point is proposed to remain the same. An internal travel lane is proposed to be added in front of the building to allow traffic that utilizes the uses located in the front of the building to circulate without having to navigate entirely around the building. An existing walkway that interacts with the new drive aisle will be striped for pedestrian safety.

Section 20.9.3, “Access Management” states, *“Interior circulation and parking shall be designed to assure safe passage of all vehicles and pedestrians into, out of, and throughout the site.”* In order to determine whether this standard has been met, the proposed site plan should provide more detail in regards to pedestrian connections between parking areas and the entrances to proposed uses within the building. The Board may consider requiring pedestrian striping or walkways to connect the proposed bike rack, vehicle parking, and apartment stairwell entrances within the northern (rear) parking area. Staff have concerns related to accessibility as these details are lacking from the proposed site plan. Section 20.9.4, “Accessibility” states, *“Pedestrian facilities shall be designed to accommodate persons with disabilities in accordance with the access standards required by the State Building Code...Sidewalks, shared use paths, street crossings and other infrastructure shall be constructed so that all pedestrians, including persons with disabilities,*

STAFF REPORT

can travel independently.” The applicant has stated that these issues will be addressed at the building permit stage and the Board will need to determine if this standard has been met.

Curbing details are missing from the proposed site plan for new parking and landscaping areas. Section 9.4.3.D states that surface parking lots *“Shall have a substantial curb or wheel stop of concrete, masonry, steel or heavy timber placed at or near the end of each parking space to prevent vehicles from damaging nearby buildings, lawns, trees or shrubs, or from creating a hazard to pedestrians on any sidewalk or walkway.”* In addition, Section 9.4.5.4 states *“Curbs, setbacks or other protection must be provided to prevent damage to trees and shrubs from vehicles.”* Staff believes that any new landscape and parking area needs to be curbed sufficiently and shown on the proposed site plan to meet this standard. Existing parking areas and drive aisles may not need new curbing. The Board will need to determine if this standard has been met.

The traffic study submitted by the applicant states that the proposed residential addition to the property would generate less than 100 vehicles entering and exiting per hour and less than 100 total vehicles per hour. The report estimates 386 total daily weekday trips will be added to the site for the proposed use with 23 AM peak hour trips and 29 PM peak hour trips. The study states that standard traffic engineering practice suggests that the proposed development would be expected to result in negligible impacts to the adjacent roadway system. The full traffic analysis is included as an attachment to this staff report.

- 20.10 Filling & Excavation: The applicant has stated in their narrative that filling and excavation will be minimal due to the fact that the proposed addition will be constructed on top of the existing building. The proposed stair towers are the only building component that will require any significant excavation. The site is located a short distance to Rt. 101 via Marlboro Street and Optical Avenue and few dump truck trips are anticipated. It appears that this standard has been met.
- 20.11 Surface Waters & Wetlands: There are no wetlands or surface waters on the site. This standard is not applicable.
- 20.12 Hazardous & Toxic Materials: The applicant has stated in their narrative that they do not anticipate using or encountering any hazardous or toxic materials during this project. In the event that there are any, they will be contained and disposed of properly. It appears that this standard has been met.
- 20.13 Noise: The applicant has stated in their narrative that the proposed project will not generate negative impacts related to noise to the area. The narrative notes that the property is surrounded by open space to the north, east, and west. The existing uses on the property include light manufacturing, a school, and trades workshops that create minimal sound impact to abutting properties and the neighborhood. The addition of a residential use to the property is unlikely to increase existing noise levels on the property. It appears that this standard has been met.
- 20.14 Architecture & Visual Appearance:
- 20.14.1 Massing/Scale:** *“For buildings of 150-ft in length of more, facades shall be divided into multiple “modules,” expressed through significant architectural changes such as a change in materials, a change in pattern elements...or a change in building setback through recesses or projections. Such modules shall be no wider than 50-ft.”*
- The applicant has stated in their narrative that the massing and scale of the project will be addressed by breaking up the massing by changing the façade plane and materials over the 300 foot length of the addition. The maximum module length is 48 feet. The existing commercial storefronts on the

STAFF REPORT

building will remain. The addition is compatible in scale with the existing building and will be similar in width and reduced in length.

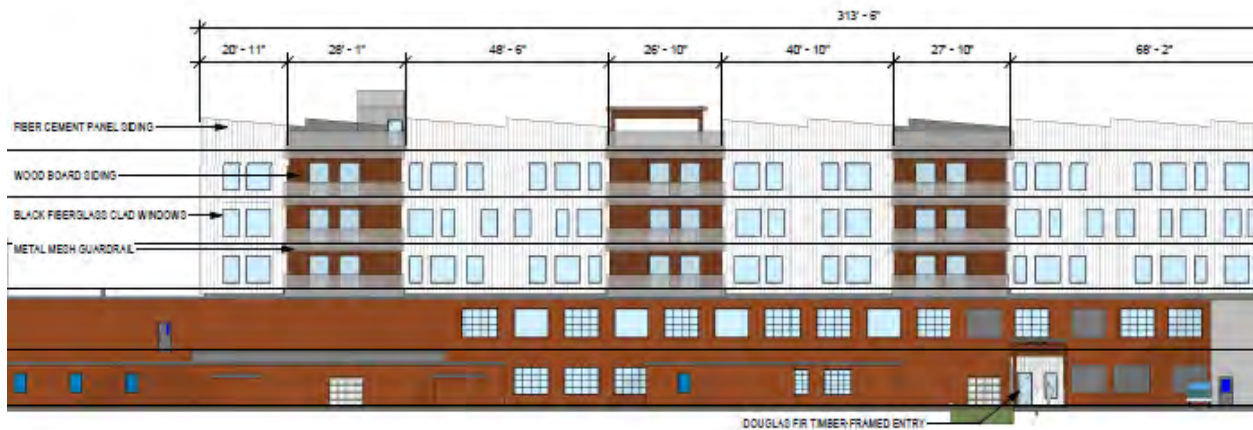


Figure 3. South Elevation

20.14.2 Visual Interest: *“Front facades and exterior walls shall be articulated to express an architectural identity to avoid a uniform appearance, and architectural details shall give the impression of being integral to and compatible with the overall design.” “Structures shall have architectural features...and patterns that provide visual interest at the pedestrian scale, reduce massive aesthetic effects, and harmonize with the City’s distinctive architectural identity, unique character, and prevailing scale.” “Facades shall express a traditional visual distinction between the ground floor and upper stories through architectural features or detailing, change in materials, or a change in pattern elements such as fenestration.”*

The applicant has stated in their narrative that the proposed addition shall include “...families of textures organized such that the building exhibits a cohesive and architecturally consistent array of architectural effects. The addition was feature large, punched openings, balconies highlighting natural materials, consistent window trims, and materials that memorialize the industrial past of the property. The building design is not intended as a commercial display, advertisement, or corporate identity and the architecturally features conform to accepted principles of design and construction.”

“The existing two story building is a historic industrial brick mill-type construction. The proposed addition is designed to harmonize with the lower building while not imitating it stylistically. The upper floors are designed with lighter elements that follow the ideal weight, scale, and gravity. Façade treatments are applied such that building modules are perceived as volumes

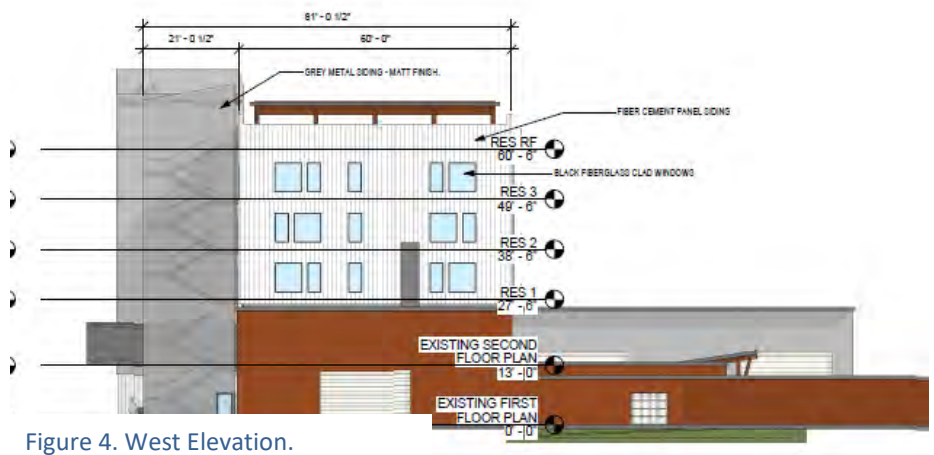


Figure 4. West Elevation.

STAFF REPORT

rather than thin planes. Materials will wrap at all outside corners by a thickness no less than the depth of the wall they are applied to. Neutral, natural colors will be used to harmonize with surroundings both natural and man-made. Materials will be selected for industrial quality consistent with the industrial past of the existing building with a visual horizontal break that will distinguish the new from the old.” The Board will need to determine if this standard has been met.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:



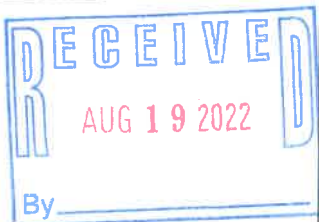
Approve SPR-870, Mod. 2, as shown on the plan identified as, “310 Marlboro Street LLC, 310 Marlboro Street Keene, NH 03431 Site Plan” prepared by DB Landscaping LLC at a scale 1 in = 50 ft, dated August 19, 2022 and revised September 12, 2022, and on the architectural elevations received August 19, 2022 and prepared by Randall S. Walter, AIA Design/Build at a scale of 1/16 in = 1 ft and 3/64 in = 1 ft with the following conditions:

1. Prior to final approval and signature by the Planning Board Chair, the following conditions precedent shall be met:
 - A. Owner’s signature appears on plan.
 - B. Submittal of a security for landscaping, sedimentation and erosion control, “as-built plans”, and water & sewer utility work in a form and amount acceptable to the City Engineer.
 - C. Submittal of a revised site plan to show new locations for the proposed dumpsters that are not located along the building frontage or along a building facade with a primary entrance.
 - D. Submittal of a revised site plan showing the location and details of all required curbing and wheel stops.
 - E. Submittal of a revised Landscaping Plan that shows the planting height and width of all proposed plantings as well as the location of protective fencing for existing trees during construction.
 - F. Submittal of a revised Lighting Plan and fixture cut sheets that meet Planning Board Site Development Standards.
2. Prior to the issuance of a building permit, the applicant shall submit sewer connection calculations and construction plans, subject to review and approval by the City Engineer.
3. If a sewer connection permit is required in accordance with NHDES administrative rule Env-Wq. 703.07, the applicant shall provide a copy of such permit to the Public Works Department.



City of Keene, NH
Planning Board
Major / Minor Project Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keeneh.gov

SECTION 1: PROJECT INFORMATION	
PROJECT NAME: @310 Marlboro Street	TYPE OF APPLICATION BEING SUBMITTED: <input checked="" type="checkbox"/> MAJOR PROJECT APPLICATION <input type="checkbox"/> MINOR PROJECT APPLICATION
PROJECT ADDRESS(ES): 310 Marlboro Street, Keene, NH 03431	
SECTION 2: CONTACT INFORMATION	
OWNER	APPLICANT
NAME/COMPANY: 310 Marlboro St., LLC	NAME/COMPANY: 310 Marlboro St., LLC
MAILING ADDRESS: 310 Marlboro Street, Keene, NH 03431	MAILING ADDRESS: 310 Marlboro Street, Keene, NH 03431
PHONE: 603-721-1227	PHONE: 603-721-1227
EMAIL: randallwalter@gmail.com	EMAIL: randallwalter@gmail.com
SIGNATURE: 	SIGNATURE: 
PRINTED NAME: Randall Walter	PRINTED NAME: Randall Walter
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:
NAME/COMPANY:	TAX MAP PARCEL #(s): 595 001 000 000 000
MAILING ADDRESS:	-----
PHONE:	PARCEL SIZE: 4.25 acres
EMAIL:	ZONING DISTRICT: Business Growth B Reuse
SIGNATURE:	DATE STAMP:  By _____
PRINTED NAME:	

SECTION 3: APPLICATION SUBMISSION REQUIREMENTS

A COMPLETE APPLICATION MUST INCLUDE THE FOLLOWING ITEMS AND MUST BE SUBMITTED BY ONE OF THE OPTIONS BELOW:

- **Email:** communitydevelopment@keeneh.gov, with “Planning Board Application” in the subject line
- **Mail / Hand Deliver:** Community Development (4th Floor), Keene City Hall, 3 Washington St, Keene, NH 03431

The submittal requirements for Planning Board applications are outlined further in **Article 20** and **Article 25.12** of the [Land Development Code \(LDC\)](#). You may request an exemption from providing any of the items below, except the application fee, notice list, narrative, and mailing labels. The Community Development Director may grant an exemption, if it is determined that the scope of the project does not warrant the submittal.

Note: Additional information may be requested by the respective decision-making authority during the review process.

GENERAL SUBMITTAL REQUIREMENTS

CERTIFIED NOTICE LIST (See **Attachment A** for more information.)

2 SETS OF MAILING LABELS (See **Attachment A** for more information.)

PROJECT NARRATIVE (See **Section 1 of Attachment B** for more information.)

FEES: Fill in the information below to calculate the total fee.

- \$250 base fee
- \$0.05 per-sf of new construction x _____ sf of new construction
- \$62 legal ad fee
- _____ current USPS certified mailing rate x _____ abutters

= _____ **(TOTAL FEE)**

NOTE: Please call the Community Development Department for the current certified mailing rate. Checks should be made payable to the *City of Keene*. Credit card payments are accepted in-person or by calling 603-352-5440.

WAIVERS (See **Section 2 of Attachment B** for additional information.)

- WAIVER(S) REQUESTED**
- NO WAIVER(S) REQUESTED**

PLAN SETS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
LOCATION MAP OF PROPOSED IMPROVEMENTS		
EXISTING CONDITIONS PLAN		
PROPOSED CONDITIONS PLAN		
GRADING PLAN		
LANDSCAPING PLAN		
LIGHTING PLAN		
ELEVATIONS		
TECHNICAL REPORTS (See Attachment C for additional information.)	SUBMITTED	EXEMPTION REQUESTED
DRAINAGE REPORT		
TRAFFIC ANALYSIS		
SOIL ANALYSIS		
HISTORIC EVALUATION		
SCREENING ANALYSIS		
ARCHITECTURAL & VISUAL APPEARANCE ANALYSIS		
OTHER REPORTS / ANALYSES		

MAJOR/ MINOR PROJECT APPLICATION



PREPARED FOR:
City of Keene Zoning Board of Adjustment
3 Washington Street
Keene, NH 03431

PREPARED BY:
310 Marlboro St., LLC
310 Marlboro Street
Keene NH 0343

ATTACHMENT B: PROJECT NARRATIVE

DESCRIPTION OF EXISTING AND PROPOSED USES

Article 20.2 Drainage & Stormwater

There is no expected change in drainage and stormwater management on the property to the existing catch basins. The site's impervious surface will remain the same or be reduced. Incorporating planters in selected areas on the roof is being considered.

There will be no modifications to the floodplain and water quality is expected to remain as it is.

Article 20.3 Sediment & Erosion Control

Article 20.4 Snow Storage & Removal

Currently there is no designated area for snow storage. The proposed design has adequate space for snow storage and removal. Please refer to the proposed Site Plan for more information.

Article 20.5 Landscaping

The proposed design adds and improves the landscaping of the property. Please refer to the proposed Landscaping Plan for more information.

Article 20.6 Screening

All dumpsters will be screened with skip/lap fencing, 6' tall, that allows light and air movement without direct visibility. South side of the loading dock will also receive the same screening.

Please refer to the picture attached as an example.

Article 20.7 Lighting

All exterior lighting shall be Dark Sky compliant. The proposed lighting plan incorporates a mixture of wall packs, and pole mounted lighting. Please refer to the cut sheets and photometric plan for more information.

Article 20.8 Sewer & Water

Water

All fixtures shall be WaterSense or Energy Star Certified. The table below summarizes the design water use for this building as compared to a baseline design.

Indoor Water Use Summary

Fixture Type	Design Water Use (gal/month)	Baseline Water Use (gal/month)	Savings (gal/month)
Showers	42,768.00	60,984.00	18,216.00
Lavatories and kitchen faucets	29,700.00	43,560.00	13,860.00
Toilets	25,740.00	32,076.00	6,336.00
Clothes washers	18,216.00	59,796.00	41,580.00
Dishwashers	1,188.00	2,772.00	1,584.00
Totals	117,612.00	199,188.00	81,576.00

Assumptions

Fixture	Estimated Fixture Usage	Baseline Flush or Flow Rate		Estimated Water Usage	
		IP	SI	IP (gallons per person)	SI (liters per person)
Shower	6.15 minutes	2.5 gpm	9.5 lpm	15.4	58.4
Lavatory or kitchen faucet	5 minutes	2.2 gpm	8.3 lpm	11.0	41.5
Toilet	5.05 flushes	1.6 gpf	6 lpf	8.1	30.3
Clothes washer	0.37 at 3.5 cu ft (0.1 cu m)	9.5 WF	9.5 WF	15.1	57.2
Dishwasher	0.1 cycles	6.5 gpc	24 lpc	0.7	2.4

Unit Type	#Units	#Bedrooms/Occupants
Studio	3	1/1
1 Bedroom	36	1/2
2 Bedroom	18	2/3
TOTAL	57	75/129

We understand there is adequate supply for water in the city system in Marlboro Street.

Sewer

The existing tie-in for sewer will continue to be used for the existing building (east side of building). There is a second existing tie-in on the site (west side of the building), currently not in use, although it remains on the city card, this is proposed to be used for the proposed housing addition.

[Article 20.9 Traffic & Access Management](#)

A traffic study was conducted by VHB Engineering and is included in this submittal.

[Article 20.10 Filling & Excavation](#)

Because this project is being built on an existing building, filling and excavation will be minimal. The stair towers are the only building component that will require this work.

[Article 20.11 Surface Waters & Wetlands](#)

There are no wetlands on the site. Stormwater conditions will remain the same.

[Article 20.12 Hazardous & Toxic Materials](#)

We do not anticipate using hazardous or toxic materials in this project. In the event that any are, it will be contained and disposed of properly.

[Article 20.13 Noise](#)

The proposed project will not generate negative impacts to the area which is largely open space to the north, east and west. Construction noise will be reduced with off-site fabrication strategies which reduce time and intensity of site construction.

[Article 20.14 Architecture & Visual Appearance](#)

MASSING AND SCALE

- A. Section referenced is to protect the city against undesired telecommunication infrastructure. The proposed project is not located in any of the identified zones (1-3) listed in 13-1 View Preservation Overlay Map
- B. Building massing has been broken both with changes of plane and material over the 300' length of the proposed construction. The maximum module is 48' in length
- C. Existing historic commercial storefronts shall remain intact on levels 1 and 2.
- D. The addition is compatible in scale with existing construction
 - Similar in width to existing
 - Reduced in length

20.14.2 VISUAL INTEREST

- A The proposed building shall include families of textures organized such that the building exhibits a cohesive and architecturally consistent array of architectural effects
- B. The residential addition to 310 Marlboro St. will feature large, punched openings, balconies highlighting natural materials, consistent window trim and materials that memorialize the industrial past of the site.
- C. The building design is not conceived principally as a commercial display, advertisement, or corporate identity.
- D. Architectural features conform to accepted architectural principles of design and construction.
- E. The ground two floors are existing, historic industrial brick mill-type construction. The proposed addition above is designed to harmonize with the lower building while not imitating it stylistically. The upper floors are conceived as lighter, brighter figures that follow intuition of weight, scale, and gravity
- F. Façade treatments are applied such that building modules are perceived as volumes rather than thin planes. Materials will wrap at all outside corners by a thickness no less than the depth of the wall they are applied to.
- G Neutral, natural colors harmonize with surroundings both natural and man made
- H. Modifications are designed to complement the existing. Material will be selected for industrial quality consistent with the industrial past of the original building. A visual horizontal break will distinguish the new from the old.
- I. The design has parapets of varying heights to distinguish modules. Flashings and trims shall be designed to terminate systems at scales appropriate to the style aesthetic qualities of the proposed building.

20.14.3. SITE DESIGN AND RELATIONSHIP TO SURROUNDING COMMUNITY

- A. The new construction begins at 24' above the street level and is set back from the primary street. The original construction addresses the requirement to be oriented towards a principal "right of way"
- B. New construction follows the existing footprint and is orthogonal to the street
- C. Off-street parking is being improved upon by moving the western curb cut so that it is in line with the traffic pattern of the lot. Refer to the Landscape plan for details.
- D. Parking is existing or is designed to aesthetically improve existing.
- E. See Landscape plan re consistent treatments to site

310 MARLBORO STREET PROJECT NARRATIVE

Location & Ownership

The property is located at 310 Marlboro Street in Keene, NH. It sits on the north side of the Marlboro Street corridor in the Business Growth and Reuse (BGR) District. The property is ½ mile from Main Street. It is also adjacent to the Cheshire Rail Trail. It was purchased by 310 Marlboro St., LLC/Randall Walter, a local architect and developer, in July of 2021.

Existing Property Description

The property has an existing building which has been built in phases totalling 86,689 square feet. The original structure was built in 1947. Built originally as the Pittsburgh Paint Factory to manufacture paint brushes, the building has substantial structural capacity which is not being utilized to its potential. A metal building of 12,580 square feet was added in 1984. All buildings are non combustible, steel framed, with metal and masonry exteriors, and are fully sprinklered.

The property is a mixed-use commercial building located in the Business Growth and ReUse (BGR) District of Keene, NH. It houses over 40 businesses offering a variety of services including a grades 9-12 charter school, professional offices, fitness studios, light manufacturing/ artisan spaces, and a variety of trades.

Since the change in ownership, the unique number of tenants has more than doubled. What was once a neglected building in need of repairs and maintenance is now a thriving center for a variety of entrepreneurs, professionals and tradespeople. Aside from the increased use of the building, notable energy improvements have been made including a 143kW solar array, installing a wood chip boiler and distribution system (decommissioned oil boiler), new air source heat pumps, triple pane windows & occupancy sensors on most common lighting. Plans are to continue energy improvements of the existing building when possible along with adding 57 residential units on top of the original structure.

Proposed Addition

The proposed addition is a 3-story addition that will be built on top of the primary existing structure. This project will provide high performance, walkable housing for Keene, with minimal impacts to the community and the environment.

Rather than creating a traditional residential apartment complex, our intent is for this to celebrate the historical industrial nature of the property by integrating that use with the new one. We want to maintain both the authentic historic aspects of the site development and the functional aspects for the light industrial mixed use.

Looking for interpretation of the LDC in light of a mixed use Live/Work community that adapts to both new residential scale without interfering with the daily work pattern.

Section 25.12.14

Waiver Request: Grading Plan

310 Marlboro St.,LLC requests a waiver for providing a grading plan for the proposed addition. The proposed addition is a three story structure that will be built on top of the existing building.

- No additional foundation is required.
- The project exists on a flat site with an existing building on a paved lot.
- Little to no grading will be required for the addition.
- There are no wetlands on the property
- Locations of existing and proposed utilities will be provided on the site plan
- Erosion and sedimentation controls are not applicable for this project

Waiver Request: Drainage Report

310 Marlboro St.,LLC requests a waiver for providing a drainage report for the proposed addition. The proposed addition is a three story structure that will be built on top of the existing building.

There is no expected change in drainage and stormwater management on the property to the existing catch basins. The building's impervious surface will remain the same or be reduced. Incorporating planters in selected areas on the roof is being considered.

There will be no modifications to the floodplain and water quality is expected to remain as it is.

City of Keene
New Hampshire

MEMORANDUM

TO: Randall Walter – 310 Marlboro St., LLC

FROM: Evan J. Clements, AICP - Planner

DATE: September 2, 2022

SUBJECT: Comments on Site Plan Application SPR-870, Mod. 2 for Residential Addition to 310 Marlboro Street

Staff from the City of Keene Community Development, Engineering Fire, and Police Departments have conducted an initial review of the Site Plan application for 310 Marlboro Street (TMP# 595-001-000). Included below are comments and questions on the submitted materials. Please, submit additional information and/or revised drawings by the deadline of **September 12, 2022**. Please, feel free to contact me with any questions at 603-352-5440 or eclements@keeneh.gov

The following application submittal requirements were noted to be missing from the submitted plan materials as required by section 25.12.5 of the Land Development Code and should be addressed:

1. The Existing Conditions Plan is missing the following details as required by section 25.12.5.B.2 of the Land Development Code: **REFER TO UPDATED EXISTING CONDITIONS PLAN**
 - a. A location map
 - b. The plan is not drawn to scale
 - c. Owner names and tax map numbers of abutting parcels
 - d. Area of all subject parcels in acres
 - e. Location of the public right-of-way
 - f. Features labeled on the Proposed Conditions Plan as existing but not shown on the Existing Conditions Plan
 - g. Relevant site plan features on abutting parcels
2. The Proposed Conditions Plan is missing the following details as required by section 25.12.5.B.3 of the Land Development Code: **REFER TO UPDATED PROPOSED SITE PLAN**
 - a. Area of all subject parcels in acres
 - b. Relevant site plan features on abutting parcels
3. The Proposed Landscaping Plan is missing the following details as required by section 25.12.5.B.5 of the Land Development Code: **REFER TO UPDATED PROPOSED SITE PLAN**
 - a. A table listing all plant species to be installed on the site, indicating the size (average height and width) at planting and maturity as well as the number of each species to be installed.
 - b. A table indicating the number of trees and shrubs required and proposed to meet landscaping or screening requirements.
 - c. Design details following best management practices for installing landscaping materials to meet the requirements of section 20.5.2 of the Land Development Code.

4. The Proposed Lighting Plan is missing the following details as required by section 25.12.5.B.6 of the Land Development Code: **REFER TO UPDATED PROPOSED LIGHTING PLAN & MATERIALS**
 - a. The location of existing and proposed structures, roads, rights-of-way, driveways, easements, lot lines, walkways, and sidewalks on the subject property and, to the extent practicable, on abutting properties.
 - b. A separate analysis for full lighting and security lighting shall be provided when security lighting is proposed by the applicant or required by the Planning Board.

The following comments and questions relate to specific Site Development Standards as detailed in Section 9 and 20 of the Land Development Code and should be addressed:

5. The Proposed Conditions Plan shows the three (3) stairwell towers and building entrances as “potential proposed...” Please either revise the label on the plan or the plan itself with the proposed location of these building features. **REFER TO UPDATED PROPOSED SITE PLAN**
6. The site design area should be expanded to show relevant features on abutting properties such as the access easement area in the northwest corner. **REFER TO UPDATED PROPOSED SITE PLAN**
7. The dumpsters shown along the eastern walkway are placed near a primary entrance, which is not permitted, and are unscreened as required by section 20.6.2.A.1 of the Land Development Code. They are also in conflict with the pedestrian activity, as per section 20.9.4 of the Land Development Code, and block access to a proposed fire hydrant. **PROPOSING TO RELOCATE FIRE HYDRANT**
8. The proposed 4 foot walkway along the eastern façade of the building is in conflict with the exterior doorways and is not pedestrian friendly as required by section 20.9.4 of the Land Development Code. **REFER TO UPDATED PROPOSED SITE PLAN**
9. The proposed, or existing, 3 foot walkway along the western façade of the building is in conflict with the exterior doorways and is not pedestrian friendly as required by section 20.9.4 of the Land Development Code. **THIS DOES NOT EXIST AND HAS BEEN REMOVED**
10. The proposed drive aisle located on the southern side of the building is in conflict with an existing pedestrian walkway and is not pedestrian friendly as required by section 20.9.4 of the Land Development Code. Traffic calming strategies and stripping should be considered to protect pedestrians using this crossing. **WAIVER REQUESTED**
11. All parking stalls are required to should be striped to scale on the plan per section 9.4.2.B and 9.4.3.B of the Land Development Code. **REFER TO UPDATED PROPOSED SITE PLAN**
12. Add a table indicating how many parking stalls are required by zoning and how many stalls are provided. **TO BE PROVIDED AFTER ZONING SPECIAL EXCEPTION APPROVAL**
13. How will the covered outdoor parking area proposed to be located on the northern side of the site be oriented and accessed? **REFER TO UPDATED PROPOSED SITE PLAN**
14. Connect the proposed parking areas on the north and west of the site to building entrances via striped pathways and hardscape walkways as is required by 20.9.3.G of the Land Development Code. **WAIVER REQUESTED**
15. Show on the plan and install curbing or wheel stops to prevent vehicles from damaging buildings, lawns, trees, and pedestrians as is required by section 9.4.3.D of the Land Development Code.

WAIVER REQUESTED

16. Indicate where accessible parking stalls will be located. **REFER TO UPDATED PROPOSED SITE PLAN**
17. Show on the plan and install bicycle parking facilities as is required by section 20.9.3.E of the Land Development Code. **REFER TO UPDATED PROPOSED SITE PLAN**
18. How will the snow storage area be accessed with curbing along the drive aisle? How will drainage related to snow storage melting be addressed as required by section 20.4.C of the Land Development Code? **WAIVER REQUESTED - PLEASE SEE ATTACHED NARRATIVE**
19. Add a table to the plan added showing how many trees are required by zoning and how many trees are provided as is required by section 9.4.4.A.2 of the Land Development Code.
REFER TO UPDATED PROPOSED SITE PLAN
20. Add a detail to the plan regarding protective devices, such as temporary fencing, to be installed prior to the start of site work to protect the root masses of existing vegetation as is required by section 20.5.2.D of the Land Development Code. **REFER TO UPDATED PROPOSED SITE PLAN**
21. Include a on the plan showing the symbology of all relevant design and site features such as curbing and hardscapes. **REFER TO UPDATED PROPOSED SITE PLAN**
22. The Proposed Lighting Plan shows light trespass along the northeast corner, east, and west property boundaries that exceed the .1 foot-candles permitted by section 20.7.3.C of the Land Development Code. Please revise the Proposed Lighting Plan to reduce the light trespass to permitted levels.
REFER TO UPDATED PROPOSED LIGHTING PLAN
23. The IVAT3 lighting fixtures have a light color temperature that exceed the 3,500K permitted by section 20.7.3.D of the Land Development Code. Please change the proposed fixture to one that meets this standard. **REFER TO UPDATED PROPOSED LIGHTING FIXTURES**
24. The SLIM17 lighting fixtures have a color rendering index equal to 70 where a color rendering index of greater than 70 is required by section 20.7.3.D of the Land Development Code. Please change the proposed fixture to one that meets this standard. **REFER TO UPDATED PROPOSED LIGHTING FIXTURES**
25. What are the two lines running through the vehicle symbol on the east side of the plan? Please label this feature. **BRIDGE ABOVE - REMOVED FROM PLAN TO ALLEVIATE CONFUSION**
26. What are the dashed boxes on the inside of the building? Please label this feature.
OVERHEAD DOORS - REMOVED FROM PLAN TO ALLEVIATE CONFUSION
27. Please ensure that all features on the plan are labeled in either the Legend or on the plan itself.
REFER TO UPDATED PROPOSED SITE PLAN
28. Please update the narrative to provide details regarding the potential easement to the rail trail.
PLEASE SEE ATTACHED NARRATIVE

Other Departments

29. Engineering:
 - a. The applicant will need to provide the calculated sewer flow and calculations showing that the existing sewer service has a capacity to handle the additional sewer flow for the proposed project. **THIS IS NOT REQUIRED AT THIS TIME - PLEASE REFER TO ATTACHED EMAIL**
 - b. Show all existing utilities on the plan. **REFER TO UPDATED EXISTING CONDITIONS PLAN**

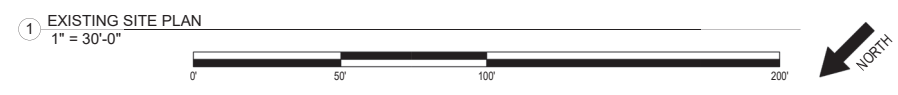
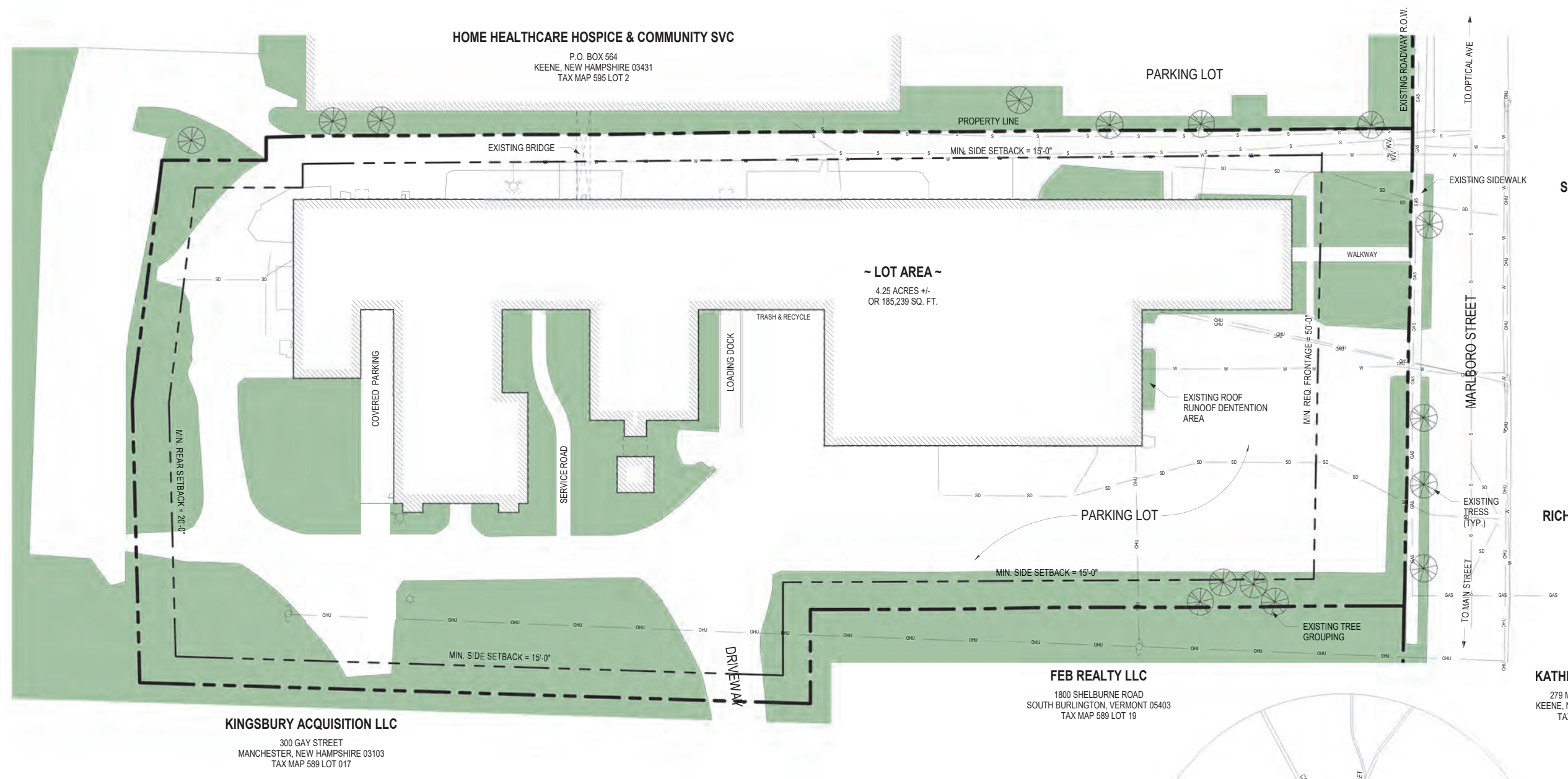
30. Code Enforcement: **THIS WILL BE ADDRESSED IN OUR BUILDING PERMIT SUBMISSION.**
- a. Building and Fire permits will be required.
 - b. Provide additional details on accessibility; sidewalk clearances, parking spaces, and travel paths into the building.
31. Fire Department: **THIS WILL BE ADDRESSED IN OUR BUILDING PERMIT SUBMISSION.**
- a. Show Compliance with NFPA 1 section 18 Fire Department Access and Water Supply.
 - b. Show FD Hookups on the plan.
 - c. Show location and size detail of existing sprinkler service line to building.

ISSUED: 09/12/2022
 FOR: RANDALL
 DRAWN BY: HODAVIS
 PROJECT NO.: 20210022

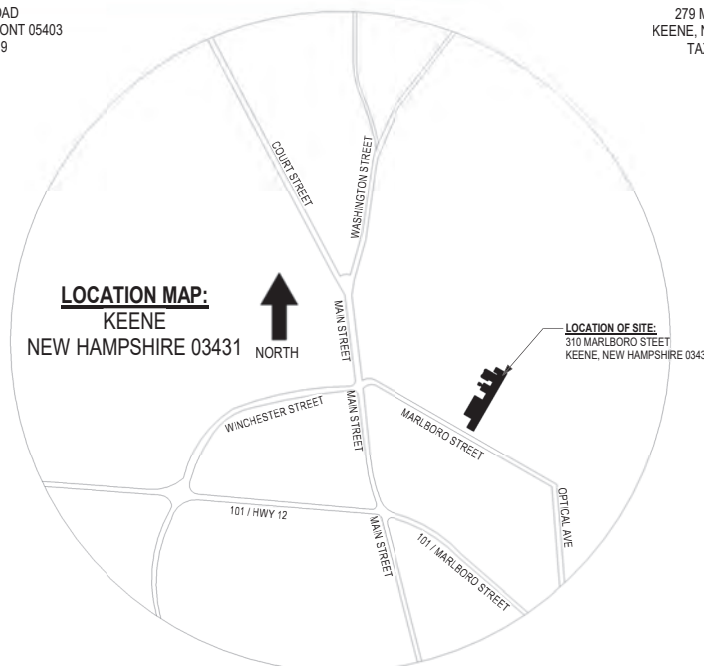
EXISTING SITE PLAN
 310 Marlboro Street
 Keene, New Hampshire 03431

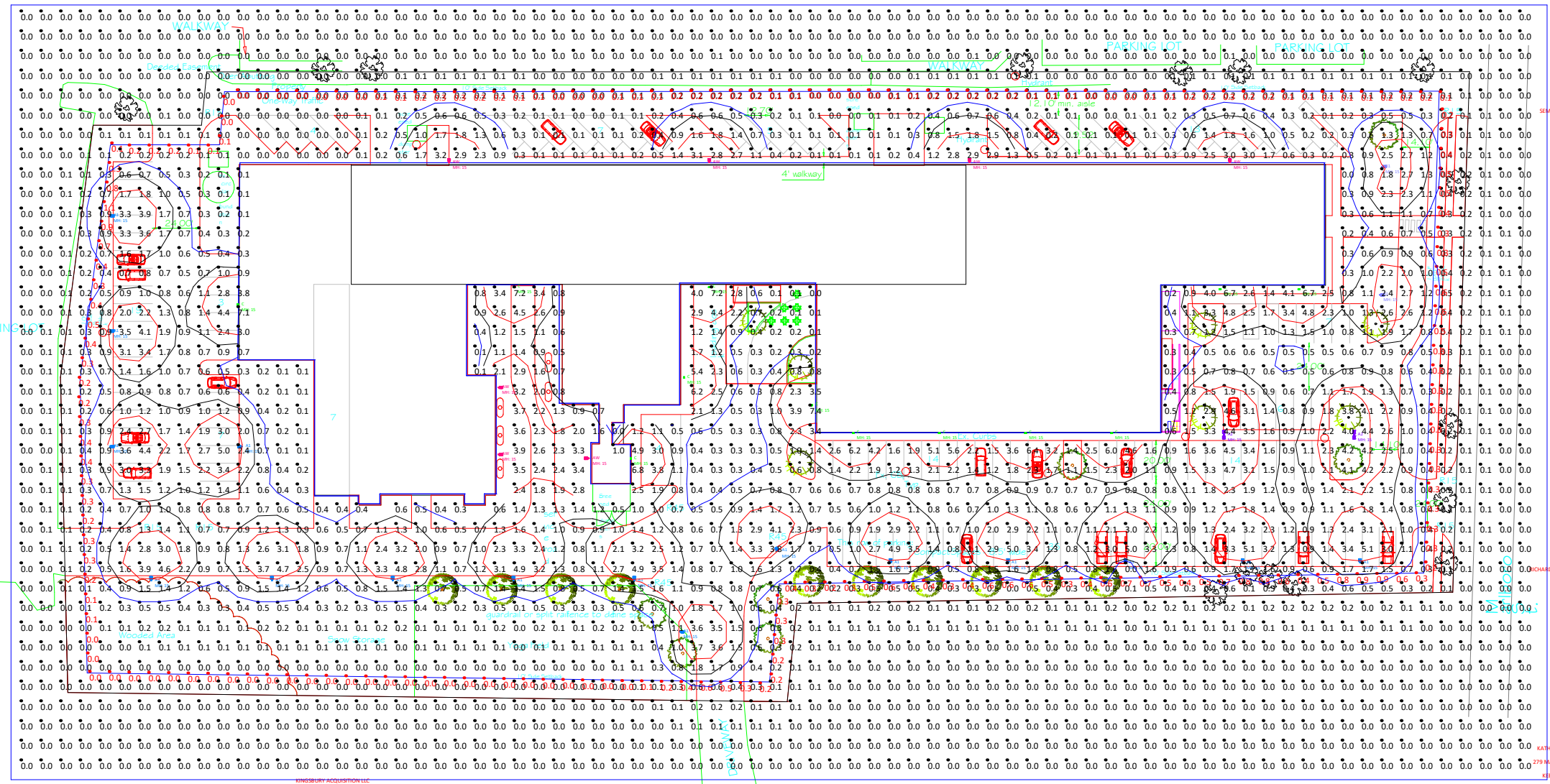
STAMP:

Randall S. Walter, AIA
 DESIGN/BUILD
 603.721.1227
 www.randallwalter.com
 randallwalter@gmail.com



- SHEET NOTES:**
1. EXISTING PARKING SPACES: 130
 2. IMPERVIOUS SURFACE: 127,689 SF - 68.9%
 3. PERVIOUS SURFACE: 57,523 SF - 31.1%





KEENE RENTALS LLC
 1012 ROUTE 119 UNIT 4
 RINDGE, NH 03463
 TAX MAP 595 LOT 76

SEBELA XANTHOPOULOS LIVING TRUST
 297 MARLBORO STREET
 KEENE, NH 03431
 TAX MAP 595 LOT 77

DEAN JOYAL
 KATHLEEN JOYAL
 291 MARLBORO STREET
 KEENE, NH 03431
 TAX MAP 595 LOT 78

RICHARD & CYNTHIA GRANT LIVING TRUST
 285 MARLBORO STREET
 KEENE, NH 03431
 TAX MAP 595 LOT 79

KATHRYN A. HARPER
 279 MARLBORO STREET
 KEENE, NH 03431
 TAX MAP 595 LOT 80

VINISBURY ACQUISITION LLC
 300 GAY STREET
 MANCHESTER, NH 03103
 TAX MAP 589 LOT 017

FEB REALTY LLC
 1800 SHELburne ROAD
 SOUTH BURLINGTON, VT 05403
 TAX MAP 585 LOT 15

Scale: 1 inch= 70 Ft.



Prepared By:
 Holbrook-Associated
 35 Reservoir Park Drive
 Rockland, MA 02370

Job Name:
 310 Marlboro
 Keene, NH

Scale: as noted

Project ID: 198439

Date: 9/12/2022

Rep: JD

Filename: 310 Marlboro.AGI

Drawn By: JHolbrook


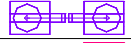

The Lighting Analysis, eZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by Holbrook-Associated represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by Holbrook-Associated and therefore actual measured results may vary from the actual field conditions. Holbrook-Associated neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by Holbrook-Associated. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Holbrook-Associated neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. Holbrook-Associated neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by Holbrook-Associated. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Property Line	Illuminance	Fc	0.24	1.1	0.0	N.A.	N.A.	Readings Taken @ 0'-0" AFG	10	N.A.	Horizontal
Site	Illuminance	Fc	0.62	7.4	0.0	N.A.	N.A.	Readings Taken @ 0'-0" AFG	10	10	Horizontal

Luminaire Schedule All quotes/orders generated from this layout must be forwarded to the Local Rep Agency

Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
	16	A1	IVAFT-45LPA730ZU - SINGLE POLE	Single	1.000		B1-U0-G2
	2	A2	IVATT-45LPA730ZU - BACK TO BACK	Back-Back	1.000		B1-U0-G2
	7	AW	IVAT2-45LWM730ZU - SINGLE WALL	Single	1.000		B1-U0-G2
	2	B1	IVAT2-45LPA730ZU - SINGLE POLE	Single	1.000		B1-U0-G2
	12	C	SLIM17FA30ADJ	Single	1.000	SLIM17FA30ADJ_3K at 0_ CCT Setting	B2-U2-G1

Expanded Luminaire Location Summary

LumNo	Tag	X	Y	Z	Orient	Tilt
1	AW	655	1976.5	15	90	0
2	AW	787	1976.5	15	90	0
3	AW	919	1976.5	15	90	0
4	AW	1051	1976.5	15	90	0
5	A1	484.5	1948	15	0	0
6	A1	484.5	1889.5	15	0	0
7	A1	484.5	1831	15	0	0
8	A1	548.5	1831	15	180	0
9	A1	504	1764.5	15	90	0
10	A1	565.25	1764.5	15	90	0
11	A1	626.5	1764.5	15	90	0
12	A1	687.75	1764.5	15	90	0
13	A1	749	1764.5	15	90	0
14	A1	773.5	1737	15	0	0
15	A1	879	1773.5	15	90	0
16	A1	821.1	1779.2	15	126.87	0
17	A1	938.5	1773.5	15	90	0
18	A1	998	1773.5	15	90	0
19	A1	1057.5	1773.5	15	90	0
20	A1	1117	1773.5	15	90	0
21	A2	1048	1838.5	15	90	0
21	A2	1048	1835.5	15	270	0
22	A2	1114	1838.5	15	90	0
22	A2	1114	1835.5	15	270	0
23	C	860	1838	15	270	0
24	C	903.667	1838	15	270	0
25	C	947.333	1838	15	270	0
26	C	991	1838	15	270	0
27	C	1086	1911	15	270	0
28	C	1046	1911	15	270	0

Total Quantity: 41 (30 shown, 1 through 30)



Render Image - Top View

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of Holbrook-Associated.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the Holbrook-Associated lighting design model. Holbrook-Associated is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



Prepared By:
Holbrook-Associated
35 Reservoir Park Drive
Rockland, MA 02370

Job Name:
310 Marlboro
Keene, NH

Scale: as noted

Project ID: 198439

Date: 9/12/2022

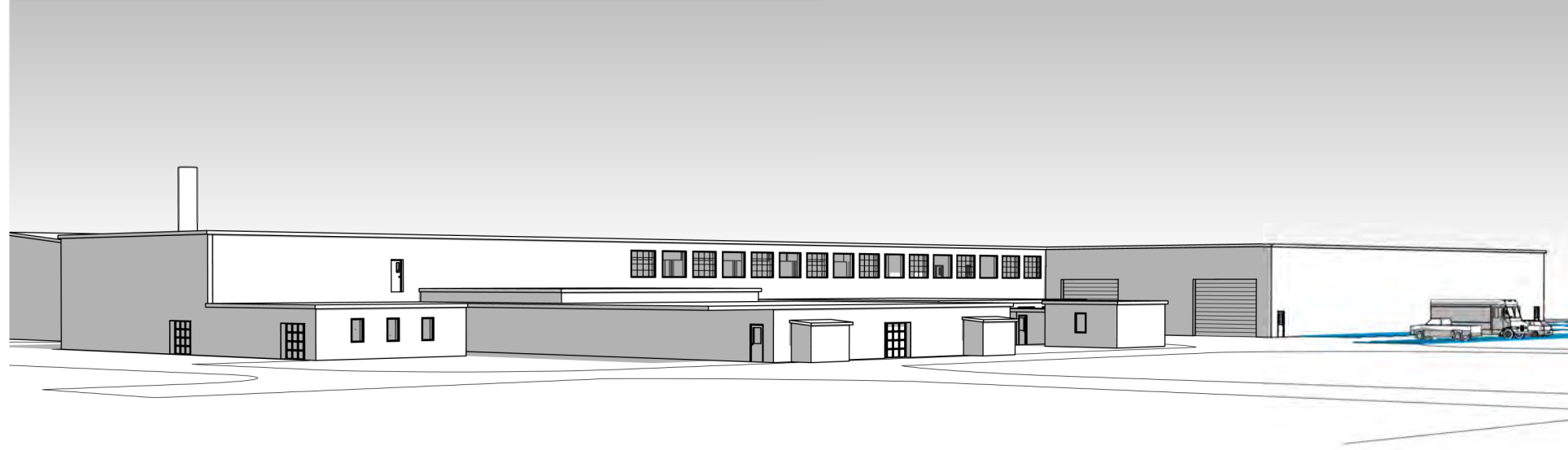
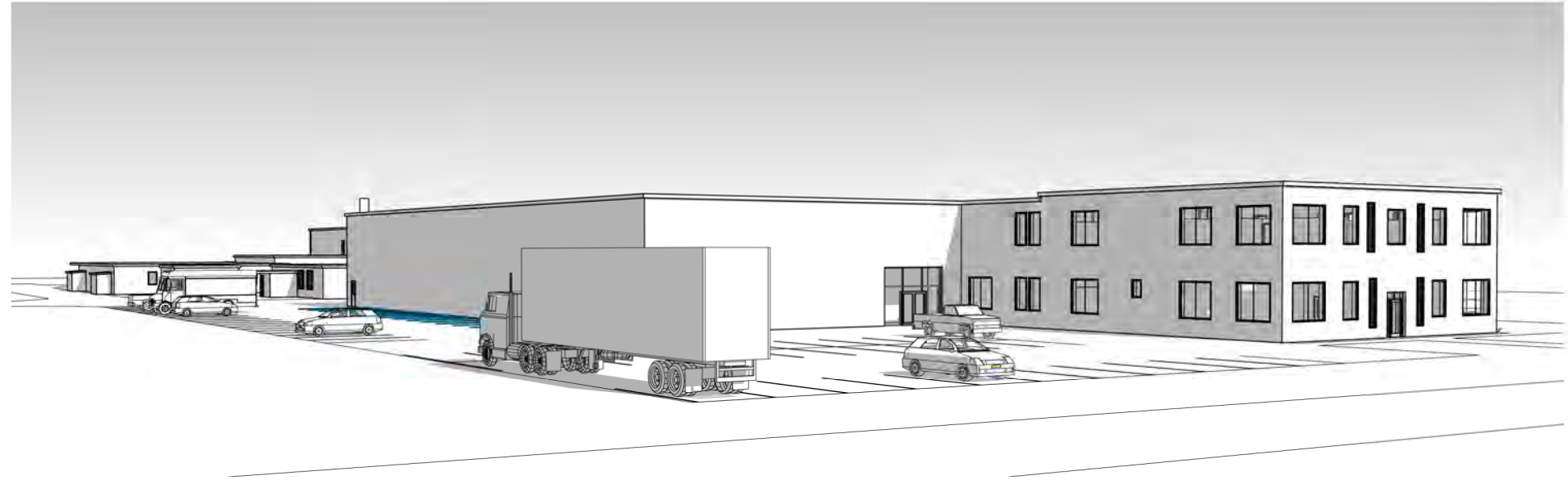
Rep: JD

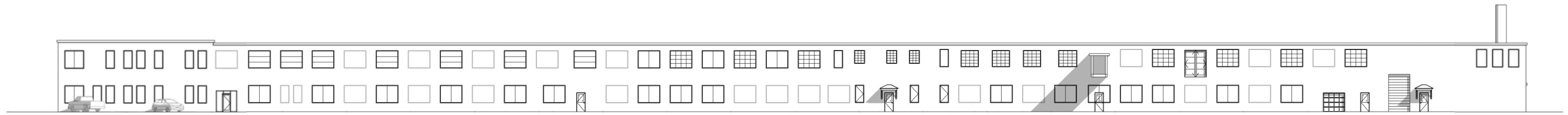
Filename: 310 Marlboro.AGI

Drawn By: JHolbrook

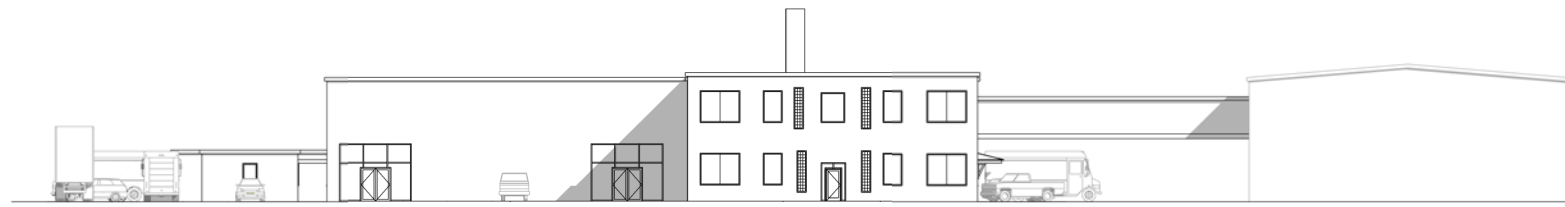
The Lighting Analysis, eZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by Holbrook-Associated represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by Holbrook-Associated and therefore actual measured results may vary from the actual field conditions. Holbrook-Associated recommends that design parameters and other information be field verified to reduce variation.

Holbrook-Associated neither warranties, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. Holbrook-Associated neither warranties, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by Holbrook-Associated. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

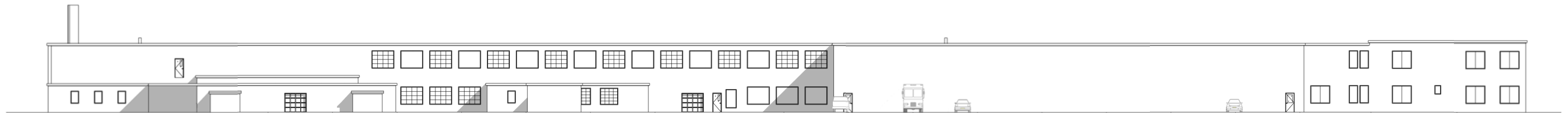




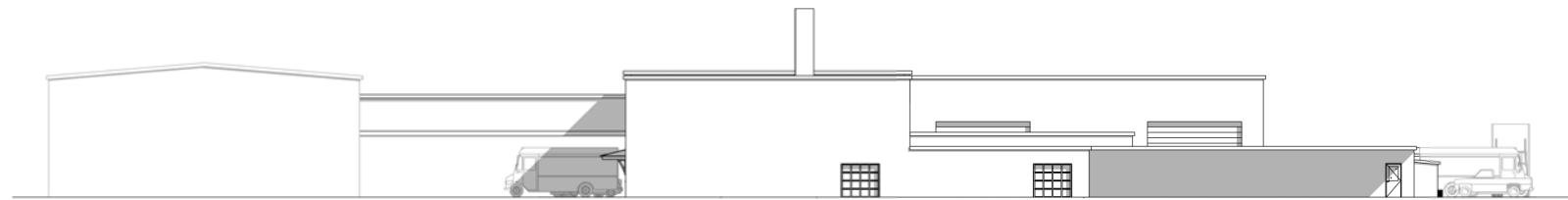
① NORTH ELEVATION
1" = 40'-0"



② EAST ELEVATION
1" = 40'-0"



③ SOUTH ELEVATION
1" = 40'-0"



④ WEST ELEVATION
1" = 40'-0"

A2.0

07/27/21
RANDALL
WALTER
EJFFRENCH
20210022

ISSUED:
FOR:
DRAWN BY:
PROJECT NO.:

310 MARLBORO STREET
KEENE, NEW HAMPSHIRE, 03431

STAMP:

Randall S. Walter, AIA
DESIGN|BUILD
603.721.1227
www.randallwalter.com
randallwalter@gmail.com



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 603.721.1227
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STAMP:

310 MARLBORO STREET
 KEENE, NEW HAMPSHIRE 03401

ISSUED: 01/24/20
 FOR: RANDALL
 DRAWN BY: Author
 PROJECT NO: 20210022

A601.1



Randall S. Walter, AIA
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 603.721.1227
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STAMP:

310 MARLBORO STREET
KEENE, NEW HAMPSHIRE 03401

ISSUED: 01/24/20
 FOR: RANDALL
 DRAWN BY: Author
 PROJECT NO: 20210022

A600.1

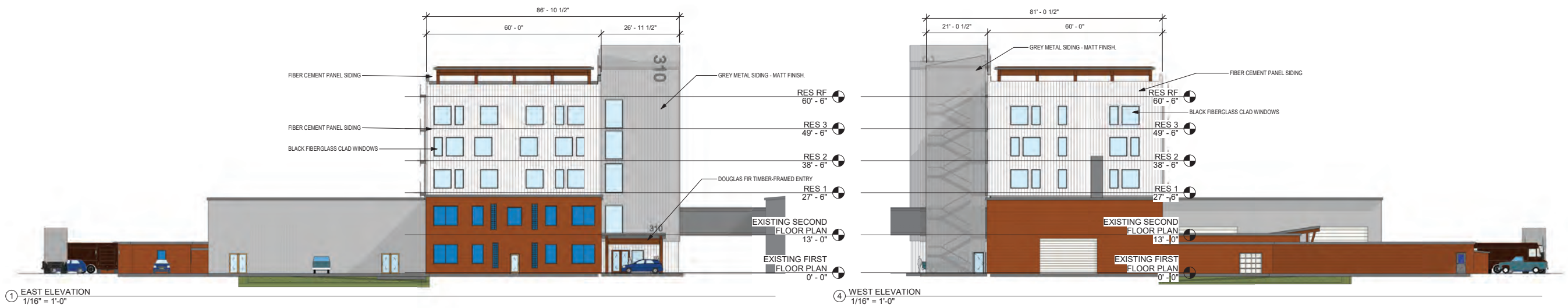
A200.1

ISSUED: 01/24/20
 FOR: RANDALL
 DRAWN BY: Author
 PROJECT NO.: 20210022

310 MARLBORO STREET
 KEENE, NEW HAMPSHIRE 03401

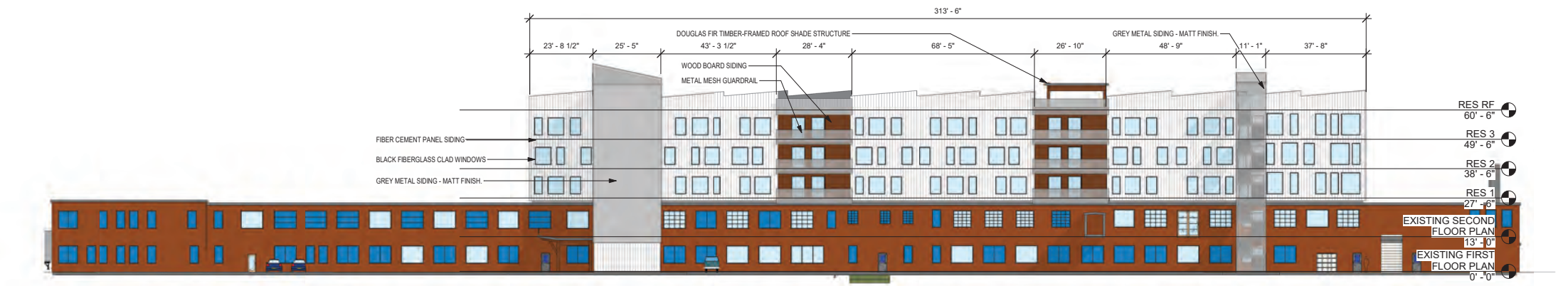
STAMP:

Randall S. Waiter, AIA
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 603.721.1227
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 randallwaiter@gmail.com



1 EAST ELEVATION
 1/16" = 1'-0"

4 WEST ELEVATION
 1/16" = 1'-0"



2 NORTH ELEVATION
 3/64" = 1'-0"



3 SOUTH ELEVATION
 3/64" = 1'-0"



To: Ms. Hilary Harris
310 Marlboro Street, LLC
310 Marlboro Street
Keene, NH 03431

Date: August 19, 2022

Memorandum

Project #: 52934.00

From: Jason R. Plourde, PE, PTP

Re: Trip-Generation and Parking Demand Assessment
Proposed Marlboro Street Residential Development
Keene, New Hampshire

Vanasse Hangen Brustlin, Inc. (VHB) has prepared this memorandum to summarize the anticipated traffic impacts and the parking demand associated with a proposed residential development to be constructed above existing commercial space at 310 Marlboro Street in Keene, New Hampshire. As proposed, the development would consist of 57 multifamily residential units to be constructed above the existing 86,689 square foot commercial space that consists of 9,040 square feet of office space, 44,980 square feet of general light industrial space, and 12,669 square feet of warehouse/storage space. In addition, the 130 existing on-site parking spaces would be expanded to 135 parking spaces.

Marlboro Street is legislatively categorized as a Class IV: Compact Road that is under City of Keene jurisdiction. Therefore, review and approval are expected to be required with respect to traffic through the City of Keene permitting process. In accordance with Article 20.9.1 of the City of Keene's Land Development Code, a traffic study is required for a residential development with 10 or more dwelling units. This evaluation has been conducted to summarize the anticipated traffic impacts associated with the proposed residential development. In addition, a parking demand evaluation has been summarized for the existing and proposed uses on the site.

Trip-Generation Methodology

To estimate the volume of traffic to be generated by the proposed project, trip rates published in the Institute of Transportation Engineers (ITE) Trip Generation Manual¹ were researched. The trip-generation summary for the existing and proposed uses is provided in Table 1 with the trip-generation calculations provided in the Appendix. As shown, the proposed residential development is estimated to generate 23 trips (5 entering and 18 exiting) during the weekday AM peak hour, and 29 trips (18 entering and 11 exiting) during the weekday PM peak hour.

¹ Institute of Transportation Engineers. Trip Generation Manual, 11th ed. Washington, DC, Sept. 2021.

2 Bedford Farms Drive
Suite 200
Bedford, NH 03110-6532
P 603.391.3900



Table 1 – Trip-Generation Summary

Time Period/Direction	Existing Site Trips			Proposed Residential Trips ^d	Total Trips
	Office Space ^a	Industrial Space ^b	Storage Space ^c		
Weekday Daily					
Enter	158	110	30	193	491
Exit	158	110	30	193	491
Total	316	220	60	386	982
Weekday AM Peak Hour					
Enter	39	36	2	5	82
Exit	5	5	0	18	28
Total	44	41	2	23	110
Weekday PM Peak Hour					
Enter	7	6	1	18	32
Exit	35	30	2	11	78
Total	42	36	3	29	110

^a ITE Land Use Code 710 (General Office Building) for 29,040 sf.
^b ITE Land Use Code 110 (General Light Industrial) for 44,980 sf.
^c ITE Land Use Code 150 (Warehousing) for 12,669 sf.
^d ITE Land Use Code 220 (Multifamily Housing [Low-Rise]) for 57 units.

The vehicle trips calculated for the proposed development reflected in Table 1 represent single-use trips to the site on the study area system. Based on the ITE Trip Generation Handbook, studies have shown that some patrons of multi-use developments could visit more than one of the uses on the site (internal trips).² To provide a conservative (worse-case) analysis, no internal trips were accounted for between the proposed residential use and the existing uses. Therefore, the site trips reflected for the proposed residential use represent a worse-case methodology.

In accordance with ITE methodologies,³ a development may have an impact if the addition of site trips would increase peak hour traffic volumes on an intersection approach by 100 vehicles or more. In addition, NHDOT guidance⁴ suggests that a development estimated to generate 100 vehicles per hour or more (total of entering and exiting trips) through an intersection may result in a change in vehicular operations (i.e., noticeably drop level of service or increase volume-to-capacity [v/c] ratios). In general, traffic increases less than these thresholds could be attributed to the fluctuation of vehicles due to driver patterns that occur during the day, on different days of a week, or different months of a year. As shown in Table 1, the projected traffic-volume increases associated with the proposed residential development are anticipated to be less than these thresholds (i.e., less than 100 vehicles per hour entering or exiting, and less than 100 total vehicles per hour). Therefore, standard traffic engineering practice suggests that the proposed development would be expected to result in negligible impacts to the adjacent roadway system.

Peak Parking Demand

In accordance with Article 9.2.1 of the City of Keene's Land Development Code, the minimum number of on-site vehicle parking spaces for the existing and proposed uses were determined as follows:

- 29,040 square feet of office space = 116 spaces⁵
- 44,980 square feet of general light industrial space = 22 spaces⁶
- 12,669 square feet of warehouse/storage space = 6 spaces⁷

² Institute of Transportation Engineers. Trip Generation Handbook, 3rd ed. Washington, DC, Sept. 2017.

³ Transportation Impact Analyses for Site Development: An ITE Proposed Recommended Practice. Washington, DC: Institute of Transportation Engineers, 2010.

⁴ Bollinger, Robert E. Inter-Department Communication. New Hampshire Department of Transportation, Bureau of Traffic. 17 Feb. 2010.

⁵ Table 9-1 of the City of Keene's Land Development Code: 4 spaces/1,000 sf.

⁶ Table 9-1 of the City of Keene's Land Development Code: 0.5 spaces/1,000 sf with no office space.

⁷ Table 9-1 of the City of Keene's Land Development Code: 0.5 spaces/1,000 sf with no office space.

- 57 multifamily residential units = 114 spaces⁸
- Total = 258 spaces

Based on Article 9.2.3 of the City of Keene's Land Development Code for mixed-use developments, the minimum number of parking spaces required is the sum of each use computed separately (258 spaces). Since the existing and proposed uses may have different parking characteristics that complement each other, Article 9.2.6 of the City of Keene's Land Development Code allows for a reduction in the number of parking spaces as per the conditions outlined in Article 9.2.7. In compliance with Article 9.2.7.C, a special exception is being sought from the Keene Zoning Board of Adjustment to reduce the required number of parking spaces by less than 50 percent. To satisfy these conditions, the following parking study information has been developed in accordance with Article 9.2.7.C.3.

- **Article 9.2.7.C.3.a:** A description of the proposed uses.
 - › The proposed use consists of 57 multifamily residential units to be constructed above the existing 86,689 square foot commercial building.
- **Article 9.2.7.C.3.b:** Days and hours of operation for the existing and proposed uses.
 - › The existing building contains 45 tenants with varying days and time of operation. A table of the typical days and times for each tenant is provided in the Appendix.
 - › The proposed residential use will be open all hours of each day for the residents.
- **Article 9.2.7.C.3.c:** Anticipated number of employees and number of daily customers or clients.
 - › The approximate number of employees for the existing 45 tenants is tabulated in the Appendix. In accordance with ITE methodologies, the daily customer or client trips are reflected in the site trips provided in Table 1.
 - › There are no employees associated with the proposed multifamily residential use. The number of daily customer or client trips is reflected in Table 1
- **Article 9.2.7.C.3.d:** The anticipated rate of turnover for proposed spaces.
 - › To estimate the peak parking demands of the existing and proposed uses, parking demand rates published in the ITE Parking Generation Manual⁹ were researched. Based on ITE procedures, the daily peak parking demands were calculated for each use and then distributed for each hour throughout the day. The parking demands for each use were combined during each hour to determine the cumulative parking demands of the development. This methodology accounts for land uses within a mixed-use development

⁸ Table 9-1 of the City of Keene's Land Development Code: 2 spaces/unit.

⁹ Institute of Transportation Engineers. Parking Generation Manual, 5th ed. Washington, DC, Feb. 2019.

that experience different peak parking demands. The parking demand calculations are provided in the Appendix and are summarized in Table 2.

- › As shown, the proposed development is expected to experience a peak parking demand of 128 vehicles on a weekday. These estimates provide a conservative evaluation as no credit was applied for a patron visiting more than one land use on the site. Within a mixed-use development, a motorist can park the vehicle once and then is able to visit more than one of the uses that are within walking distance. Even with this higher parking demand method, the minimum required parking spaces are shown to result in an overabundance of parking spaces as compared with the minimum required parking spaces (258 spaces).
- **Article 9.2.7.C.3.e:** The availability of nearby on-street parking or alternative modes of transportation (e.g., public transit, multi-use pathways).
 - › There are approximately 100 on-street parking spaces provided along both sides of Marlboro Street within 0.25 miles of the site.
 - › As part of the City's Marlboro Street Rehabilitation project, chicanes will be constructed along the corridor, a connection will be provided to Cheshire Rail Trail, a bike lane will be striped, and approximately 30 unmetered parking spaces will remain within 0.25 miles of the site.
 - › Sidewalks are currently provided along both sides of Marlboro Street adjacent to the site.
 - › City Express provides fixed bus route service throughout Keene with Black Route (Bus 1) having a stop located at Home Healthcare Hospice & Community Services (312 Marlboro Street).
 - › Cheshire Rail Trail is located to the north of the property that allows walking, bicycling, horseback riding, snowmobiling, and cross-country skiing.
- **Article 9.2.7.C.3.f:** The anticipated peak parking and traffic loads for each of the uses on the site.
 - › The ITE estimated traffic generation and parking demands for the existing and proposed uses are summarized in Tables 1 and 2, respectively. The calculations are provided in the Appendix.
- **Article 9.2.7.C.3.g:** The total vehicle movements for the parking facility as a whole.
 - › Table 1 summarizes the ITE estimated traffic generation for the existing and proposed uses (aka, the entering and entering vehicle movements). The calculations are provided in the Appendix

The ITE data show that the minimum required number of parking spaces (258) far exceeds the parking demand for the existing and proposed uses (128). Therefore, ITE methodologies suggest that the 135 proposed on-site parking spaces would accommodate the future parking demands. The 135 proposed parking spaces represent a 48 percent reduction from the City's minimum number of required parking spaces $[(1 - 128/258) \times 100\%]$.

Table 2 – Parking Demand Summary

Hour	Weekday Parking Demand
6:00-7:00 AM	63
7:00-8:00 AM	72
8:00-9:00 AM	97
9:00-10:00 AM	123
10:00-11:00 AM	128
11:00 AM-12:00 PM	126
12:00-1:00 PM	114
1:00-2:00 PM	113
2:00-3:00 PM	121
3:00-4:00 PM	124
4:00-5:00 PM	112
5:00-6:00 PM	92
6:00-7:00 PM	61
7:00-8:00 PM	57
8:00-9:00 PM	51
9:00-10:00 PM	57
10:00-11:00 PM	59

Summary of Findings

In summary, standard traffic engineering practice suggests that the vehicular trips associated with the proposed 57 unit multifamily residential development would have negligible impacts to the adjacent roadway system. The total additional site trips estimated for the proposed residential use do not meet the ITE and NHDOT guidelines for which developments may have a noticeable impact. In addition, ITE methodologies suggest that the mixed-use development would experience less parking demands than the City’s minimum requirements. Therefore, standard traffic engineering practice supports relief for the reduction in the number of required parking spaces.



Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 14.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.5W

LED Info

Watts	38W
Color Temp	3000K (Warm)
Color Accuracy	81 CRI
L70 Lifespan	100,000 Hours
Lumens	4,109
Efficacy	109.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: S-OTY5N4

Electrical

Driver:

Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

8.57% at 120V, 17.36% at 277V

Power Factor:

99% at 120V, 91% at 277V

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)



Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 19.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.5W

LED Info

Watts	38W
Color Temp	3000K (Warm)
Color Accuracy	81 CRI
L70 Lifespan	100,000 Hours
Lumens	4,109
Efficacy	109.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: S-WP6Y2V

Electrical

Driver:

Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

8.57% at 120V, 17.36% at 277V

Power Factor:

99% at 120V, 91% at 277V

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)



Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 14.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.9W

LED Info

Watts	38W
Color Temp	3000K (Warm)
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	4,638
Efficacy	122.4 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-WXJ342

Electrical

Driver:

Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

8.58% at 120V, 17.28% at 277V

Power Factor:

98.9% at 120V, 91.3% at 277V

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)



Color: Bronze

Weight: 3.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	30W
120V	0.25A	Color Temp	3000K/4000K/5000K
208V	0.20A	Color	70 CRI
240V	0.15A	Accuracy	
277V	0.12A	L70 Lifespan	100,000 Hours
Input Watts	29.4/28.4/29.7W	Lumens	3540/3813/3768
		Efficacy	120.5/134.1/127 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Color temperature selectable by 3000K, 4000K and 5000K

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PL8HS37YLUB0

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.25A, 208V: 0.20A, 240V: 0.15A, 277V: 0.12A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Photocell:

120-277V Integrated button photocell included.

Note:

All values are typical (tolerance +/- 10%)

Construction

IP Rating:

Ingress protection rating of IP65 for dust and water

Cold Weather Starting:

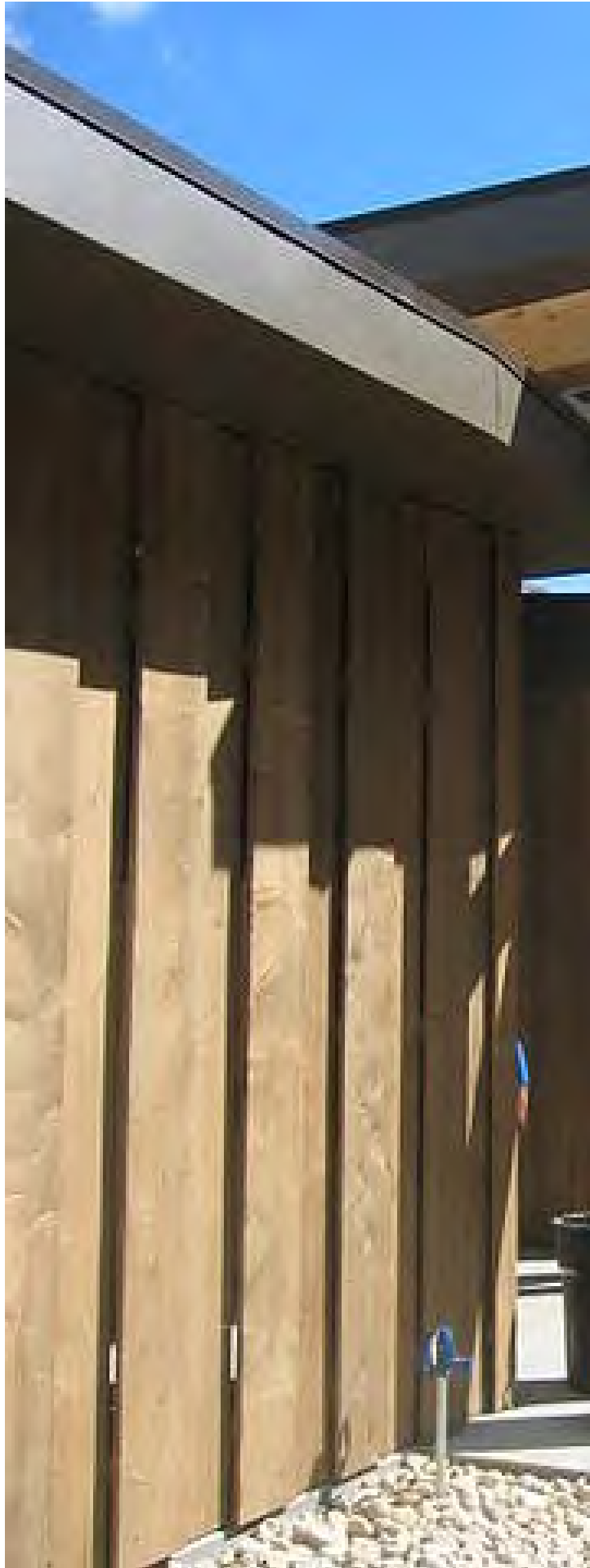
The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 50°C (122°F)

Housing:

Precision die-cast aluminum housing and door frame



Proposed Dumpster Screening



2022 LAND USE LAW CONFERENCE

9:00 a.m. Welcome Remarks
Presented by: NH Municipal Association

9:10 a.m. Housing Appeals Board Update
Established in 2020, the Housing Appeals Board is tasked by statute with hearing appeals from local land use board decisions concerning questions of housing and housing development. This session will provide a practical overview of the Board and its operations and will discuss several recent decisions.
Presented by: Michael Klass, Esq., NH Housing Appeals Board Member

10:20 a.m. CONCURRENT SESSIONS

Legal Update

This session will review recently enacted legislation that affects the responsibilities and authority of municipal planning and zoning boards. Recent New Hampshire Supreme Court and Housing Appeals Board decisions involving land use issues and the impact they have on municipal planning and zoning will also be discussed. Participant questions are strongly encouraged!

Presented by: Benjamin D. Frost, Esq., AICP, Deputy Executive Director/Chief Legal Officer, NH Housing, Bedford

Planning Board Procedures 101 – Pre-Recorded Session

This session is for newer board members, as well as veterans looking for a refresher on Planning Board fundamentals. This session will focus on the basics of the application and review process. Bring your real examples and questions for the Q and A session.

*Presented by: Matt Monahan, Principal Planner, CNHRPC
Heather Shank, AICP, City Planner, City of Concord*

Zoning 101

This session will first review the history and purpose of zoning, the legal basis for it in NH state statute (RSAs) and then delve into the nuts and bolts that make up a traditional zoning ordinance including definitions, the table of permitted uses, and dimensional requirements. This session will also discuss the relationship between zoning ordinances and zoning maps as well as other land use regulations and the process for amending zoning. Finally, this session will address state preemptions of zoning/local control of land use and how zoning fits into the larger state and federal land use regulatory framework.

*Presented by: Jennifer R. Gilbert, Director, NH Office of Planning & Development
Noah D. Hodgetts, Principal Planner, NH Office of Planning & Development
Stephanie N. Verdile, Principal Planner, NH Office of Planning & Development*

12:20 p.m. LUNCH

1:00 p.m. CONCURRENT SESSIONS

Afternoon of the Living Cases: Older Supreme Court Decision Still Haunting ZBA's and Planning Boards

Attorneys Spector-Morgan and Boldt will review some "old skeletons" of NH Supreme Court Decisions that are of import to Planning Boards and ZBA's, respectively. Ample time for will be provided.

Presented by: *Christopher L. Boldt, Esq., Donahue, Tucker & Ciandella PLLC, Meredith Laura Spector-Morgan, Esq., Mitchell Municipal Law*

Meeting Mechanics of Land Use Boards

Appropriate for beginning members, seasoned veterans, as well as land use administrators, this session will provide an overview on the mechanics of a land use board meeting. Discussion will touch on requirements for legal notice, meeting procedure and conduct, conflicts of interest, Right-to-Know issues, and more.

Presented by: *Tim Corwin, Esq., AICP, Senior Planner, City of Lebanon Shawn M. Tanguay, Esq., Drummond Woodsum*

ZBA Decision Making Process

You've notified abutters, held the public hearing, heard hours of testimony, and now it's time to make a decision. What do you do? Do you need to decide right then and there? What if you only have four members present? Can there be conditions of approval? Do you vote on each of the criteria separately? Do you need to vote on anything at all? If these and other questions have plagued your ZBA, this session is for you.

Presented by: *Christine Fillmore, Esq., Drummond Woodsum Cordell Johnston, Esq.*