



## **City of Keene Minor Project Review Committee**

### **AGENDA**

**Thursday, November 2, 2023                      10:00 AM                      City Hall, 2<sup>nd</sup> Floor Council Chambers**

- I. **Call to Order** – Roll Call
- II. **Minutes of Previous Meetings** – June 1, 2023; July 6, 2023; August 3, 2023; & October 5, 2023
- III. **Final Vote on Conditional Approvals**
- IV. **Public Hearing**
  - a. **SPR-10-23 – Site Plan – Duplexes, 661 Main St** - Applicant and owner the Wayne E. Brown Jr. Rev. Trust proposes to construct two duplexes that are each ~2,070 sf in size on the property at 661 Main St (TMP #120-056-000). The parcel is 0.70 ac and is located in the Low Density District.
- V. **Adoption of 2024 Meeting Schedule**
- VI. **Staff Updates**
- VII. **New Business**
- VIII. **Upcoming Meeting Dates**
  - **November** - 2<sup>nd</sup> Monthly MPRC Meeting – November 16, 2023 at 10:00 am (*if needed*)
  - **December** - Pre-submission Meeting – December 7, 2023 at 9:00 am
  - **December** - 1<sup>st</sup> Monthly MPRC Meeting – December 7, 2023 at 10:00 am
  - **December** - 2<sup>nd</sup> Monthly MPRC Meeting – December 21, 2023 at 10:00 am (*if needed*)

1 City of Keene  
2 New Hampshire

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5 MINOR PROJECT REVIEW COMMITTEE  
6 MEETING MINUTES  
7

Thursday, June 1, 2023

10:00 AM

Council Chambers, City Hall

Members Present:

Don Lussier, Alternate

Jesse Rounds, Chair

John Rogers

Don Farquhar

Med Kopczynski, Vice Chair

Other Staff Present:

Megan Fortson, Planning Technician

Members Not Present:

Kürt Blomquist

Mari Brunner, Alternate

Mike Hagan, Alternate

Steve Dumont Sr., Alternate

8  
9 **1) Call to Order – Roll Call**

10  
11 Chair Rounds called the meeting to order at 10:00 AM. Roll call was conducted.

12  
13 **2) Minutes of Previous Meetings – May 16, 2023; April 6, 2023; and May 4, 2023**

14  
15 Chair Rounds stated that there are multiple sets of meeting minutes to approve, which they can do  
16 as a block – the May 16<sup>th</sup> minutes of the MPRC; the April 6<sup>th</sup> Pre-Submission Meeting and MPRC  
17 meeting minutes; and the May 4<sup>th</sup> Pre-Submission Meeting minutes.

18  
19 Chief Farquhar made a motion to approve the meeting minutes of April 6<sup>th</sup>, May 4<sup>th</sup>, and May 16<sup>th</sup>,  
20 2023. Mr. Lussier seconded the motion, which passed with a vote of 4-0. Mr. Kopczynski stated  
21 that he abstains due to not having been present at the meetings in question.

22  
23 **3) Final Vote on Conditional Approvals**

24  
25 Ms. Fortson stated that there are no conditional approvals up for a final vote today.

26  
27 **4) Extension Request**

- 28  
29 **a) SPR-881, Modification #2 – Site Plan – 342 Winchester St – Applicant Sampson**  
30 **Architects, on behalf of owner Riverside Improvements LLC, requests an extension**  
31 **to the deadline to satisfy the precedent conditions of approval for the Minor Site Plan**

32           **application, SPR-881 Modification #2, for the renovation of the eastern tenant space**  
33           **and the construction of an addition ~321 sf in size to the building at 342 Winchester**  
34           **St (TMP #111-004-000-004) for use as a Ramunto’s restaurant. The site is 0.68 ac and**  
35           **is located in the Commerce District.**  
36

37 Chair Rounds asked to hear from the property owner’s representative, Tim Sampson.  
38

39 Tim Sampson stated that there is not a lot to talk about; it is just taking some time to get issues  
40 coordinated for the project. He continued that he has done a number of projects with the owner  
41 and stated that sometimes they happen quickly, and sometimes they take a bit longer. This one is  
42 on the longer path, but he believes the restaurant owner still has an arrangement with the building  
43 owner and the landlord. It is moving forward; it is just taking longer than anticipated.  
44

45 Mr. Kopczynski stated that for clarification and for the record, a news article about this project  
46 stated that the applicant had been through this process and was just waiting on building permits to  
47 be approved. He continued that based on an inquiry he (Mr. Kopczynski) had, he checked to see  
48 if there had been any building permit applications submitted, and no applications had come forth.  
49 Thus, for the record, this project is still in submission. Building permits have not been applied for.  
50

51 Mr. Rogers asked what the length of the extension would be, and what the normal  
52 protocol/procedure is for that. Ms. Fortson replied that it is 180 days from when the Committee  
53 granted the conditional approval for the application. Mr. Rogers replied that that was the original  
54 deadline. He asked what the extension would be. Ms. Fortson replied that the applicant, when they  
55 receive conditional approval from the Committee, has 180 days to satisfy their conditions of  
56 approval, starting the day after the meeting at which they received conditional approval. She  
57 continued that this extension would grant them another six months/180 days to satisfy those  
58 conditions.  
59

60 Mr. Rogers made a motion to grant the extension for SPR-881, Modification #2, for the additional  
61 180 days. Mr. Lussier seconded the motion, which passed by unanimous vote.  
62

63       **5)    Staff Updates**  
64

65 Chair Rounds asked if there were any updates from staff. Ms. Fortson replied no.  
66

67       **6)    New Business**  
68

69 Chair Rounds asked if there was any new business. There was no response.  
70

71       **7)    Upcoming Meeting Dates**

- 72 • June - 2nd Monthly MPRC Meeting – June 15, 2023 at 10:00 am (*if needed*)
- 73 • July - Pre-submission Meeting – July 6, 2023 at 9:00 am
- 74 • July - 1st Monthly MPRC Meeting – July 6, 2023 at 10:00 am
- 75 • July - 2nd Monthly MPRC Meeting – July 20, 2023 at 10:00 am (*If needed*)

76

77 **8) Adjournment**

78

79 There being no further business, Chair Rounds adjourned the meeting at 10:08 AM.

80

81 Respectfully submitted by,

82 Britta Reida, Minute Taker

83

84 Reviewed and edited by,

85 Megan Fortson, Planning Technician

1 **City of Keene**  
2 **New Hampshire**

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5 **MINOR PROJECT REVIEW COMMITTEE**  
6 **PRE-SUBMISSION MEETING MINUTES**  
7

8  
9 **Thursday, June 1, 2023**

10 **9:00 AM**

11 **2<sup>nd</sup> Floor Conference Room,**  
12 **City Hall**

13 **Members Present:**

14 Jesse Rounds  
15 John Rogers  
16 Don Farquhar  
17 Don Lussier  
18 Med Kopczynski

19 **Staff Present:**

20 Megan Fortson, Planning Technician  
21 Evan Clements, Planner  
22 Bob Burns, Permit Technician

23 **1) Call to Order – Roll Call**

24 Chair Rounds called the meeting to order at 9:00 AM. Roll call was conducted.

25 **2) Scheduled Pre-submission Inquiries**

- 26 a. **Conceptual Subdivision & Surface Water Protection Conditional Use Permit** – The  
27 211.4-ac parcel at 0 Old Walpole Rd (TMP #211-010-000) is owned by Keene  
28 Executive Homes LLC and is located in the Rural District.

29 Tara Kessler from BCM Environmental & Land Law, PLLC and Jim Phippard from Brickstone  
30 Land Use Consultants were present to discuss the proposed subdivision and Surface Water  
31 Protection Conditional Use Permit (CUP) applications for the property at 0 Old Walpole Rd (TMP  
32 #211-010-000). Ms. Kessler explained that an application has already been submitted for the  
33 proposed subdivision; however, they are also now looking to submit a Surface Water CUP  
34 application for this project due to some impacts that are proposed to wetlands on the subject parcel.  
35 Ms. Kessler and Mr. Phippard discussed the details of the project with City Staff and answered  
questions.

36 **3) Walk-In Pre-submission Inquiries**

- 37 **A) Conceptual Site Plan – 426-428 Winchester St** – The 2.59-ac parcel at 426-428  
38 Winchester St (TMP #115-002-000) is owned by TBK Realty Inc and is located in the  
39 Commerce Limited District.

40 Ralph Randall, a representative for the property owner, was present to discuss a potential site  
41 change to the property at 426-428 Winchester St. He presented the conceptual site plan and then

36 consulted with City Staff about the various potential requirements and review required for the  
37 proposed changes.

38

39 **4) Upcoming Meeting Dates**

- 40 • Pre-submission Meeting – July 6, 2023 at 9:00 am
- 41 • 1<sup>st</sup> Monthly MPRC Meeting – July 6, 2023 at 10:00 am
- 42 • 2<sup>nd</sup> Monthly MPRC Meeting – July 20, 2023 at 10:00 am (*If needed*)

43

44 **5) Adjournment**

45

46 There being no further business, Chair Rounds adjourned the meeting at 9:45 AM.

47

48 Respectfully submitted by,  
49 Megan Fortson, Planning Technician

50

51 Reviewed and edited by,  
52 Jesse Rounds, Community Development Director

1 **City of Keene**  
2 **New Hampshire**

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5 **MINOR PROJECT REVIEW COMMITTEE**  
6 **PRE-SUBMISSION MEETING MINUTES**  
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8  
9 **Thursday, July 6, 2023**

10 **9:00 AM**

11 **2<sup>nd</sup> Floor Conference Room,**  
12 **City Hall**

13 **Members Present:**

14 Jesse Rounds  
15 Don Farquhar  
16 Yelma Desseta, Alternate  
17 Mike Hagan, Alternate

18 **Staff Present:**

19 Megan Fortson, Planning Technician  
20 Evan Clements, Planner  
21 Lt. Shane Maxfield, Police Dept.

22  
23 **1) Call to Order – Roll Call**

24 Chair Rounds called the meeting to order at 9:05 AM. Roll call was conducted.

25  
26 **2) Scheduled Pre-submission Inquiry**

- 27 a. **Conceptual Site Plan & Boundary Line Adjustment** – The parcel at 364 West St  
28 (TMP #577-026-000) is 0.48 ac in size and the parcel at 12 Pearl St (TMP #577-027-  
29 000) is 0.13 ac in size. Both parcels are owned by A&B LLC and are located in the  
30 Commerce District.

31 Jim Phippard from Brickstone Land Use Consultants was present to discuss this project on behalf  
32 of the property owner. Mr. Phippard explained that this would be a boundary line adjustment and  
33 site plan modifications involving the Aroma Joe’s property at 348 West St (TMP #577-025-000)  
34 and the parcels that make up the Granite State Carwash property at 364 West St (TMP #577-026-  
35 000) and 12 Pearl St (TMP #577-027-000). He presented the proposal and answered questions  
36 from City Staff.

37  
38 **3) Walk-In Pre-submission Inquiries**

39 There were no walk-in pre-submission inquiries.

40  
41 **4) Upcoming Meeting Dates**

- 42 • Pre-submission Meeting – August 3, 2023 at 9:00 am  
43 • 1<sup>st</sup> Monthly MPRC Meeting – August 3, 2023 at 10:00 am  
44 • 2<sup>nd</sup> Monthly MPRC Meeting – August 17, 2023 at 10:00 am (*If needed*)

45  
46 **5) Adjournment**

47 There being no further business, Chair Rounds adjourned the meeting at 9:18 AM.

39  
40 Respectfully submitted by,  
41 Megan Fortson, Planning Technician  
42  
43 Reviewed and edited by,  
44 Jesse Rounds, Community Development Director

1 **City of Keene**  
2 **New Hampshire**

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5 **MINOR PROJECT REVIEW COMMITTEE**  
6 **PRE-SUBMISSION MEETING MINUTES**  
7

Thursday, August 3, 2023

9:00 AM

2<sup>nd</sup> Floor Conference Room,  
City Hall

**Members Present:**

Evan Clements  
Don Lussier  
Don Farquhar  
John Rogers  
Med Kopczynski

**Staff Present:**

Megan Fortson, Planning Technician  
Bob Burns, Permit Technician  
Mike Hagan, Plans Examiner  
Lt. Shane Maxfield, Police Dept.

8  
9 **1) Call to Order – Roll Call**

10  
11 Evan Clements called the meeting to order at 9:00 AM. Roll call was conducted.

12  
13 **2) Scheduled Pre-submission Inquiries**

- 14  
15 a. **Conceptual Subdivision** – The 31-ac parcel at 150 Congress St (TMP #598-002-000)  
16 is owned by Markem Corp and is located in the Industrial Park District.

17  
18 Shawn Marsh from Markem-Imaje and Jonathan Lefebvre from Fieldstone Land Consultants were  
19 present to discuss this project. They presented a preliminary plan showing the proposed 2-lot  
20 subdivision of the 31-ac parcel at 150 Congress St (TMP #598-002-000) and answered questions  
21 from City Staff.

- 22  
23 b. **Conceptual Subdivision** – The 5.76-ac parcel at 800 Park Ave (TMP #227-002-000) is  
24 owned by Carlisle Park Avenue LLC and is located in the Commerce District.

25  
26 Jim Phippard from Brickstone Land Use Consultants was present to discuss this project on behalf  
27 of the property owner. Mr. Phippard presented a preliminary plan for the proposed 2-lot  
28 subdivision of the 5.76-ac parcel at 800 Park Ave (TMP #227-002-000) and answered questions  
29 from City Staff.

30  
31 **3) Walk-In Pre-submission Inquiries**

32  
33 There were no walk-in pre-submission inquiries.

34  
35 **4) Upcoming Meeting Dates**

- 36 • Pre-submission Meeting – September 7, 2023 at 9:00 am  
37 • 1<sup>st</sup> Monthly MPRC Meeting – September 7, 2023 at 10:00 am  
38 • 2<sup>nd</sup> Monthly MPRC Meeting – September 21, 2023 at 10:00 am (*If needed*)

39

40     **5) Adjournment**

41

42     There being no further business, Mr. Clements adjourned the meeting at 9:37 AM.

43

44     Respectfully submitted by,  
45     Megan Fortson, Planning Technician

46

47     Reviewed and edited by,  
48     Evan J. Clements, AICP - Planner

1 **City of Keene**  
2 **New Hampshire**

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5 **MINOR PROJECT REVIEW COMMITTEE**  
6 **PRE-SUBMISSION MEETING MINUTES**  
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8  
9 **Thursday, October 5, 2023**

10 **9:00 AM**

11 **2<sup>nd</sup> Floor Conference Room,**  
12 **City Hall**

13 **Members Present:**

14 John Rogers  
15 Jesse Rounds  
16 Med Kopczynski  
17 Chief Don Farquhar  
18 Don Lussier

19 **Staff Present:**

20 Megan Fortson, Planning Technician  
21 Evan Clements, Planner  
22 Mike Hagan, Plans Examiner  
23 Lt. Shane Maxfield, Police Dept.  
24 Brett Rusnock, Public Works Dept.

25 **1) Call to Order – Roll Call**

26 Chair Rounds called the meeting to order at 9:02 AM. Roll call was conducted.

27 **2) Scheduled Pre-submission Inquiries**

28 There were no scheduled pre-submission inquiries.

29 **3) Walk-In Pre-submission Inquiries**

30 Brett Rusnock, a Civil Engineer in the City of Keene Public Works Department, was present at the  
31 meeting to discuss a potential Boundary Line Adjustment (BLA) between the City-owned property  
32 at 350 Marlboro St (TMP #596-002-000) and the Home Healthcare, Hospice, & Community  
33 Services property at 312 Marlboro St (TMP #595-002-000). Staff discussed the proposal with Mr.  
34 Rusnock and answered questions about the Planning Board review process for BLAs.

35 **4) Upcoming Meeting Dates**

- 36 • Pre-submission Meeting – November 2, 2023 at 9:00 am
- 37 • 1<sup>st</sup> Monthly MPRC Meeting – November 2, 2023 at 10:00 am
- 38 • 2<sup>nd</sup> Monthly MPRC Meeting – November 16, 2023 at 10:00 am (*If needed*)

39 **5) Adjournment**

40 There being no further business, Chair Rounds adjourned the meeting at 9:25 AM.

41 Respectfully submitted by,  
42 Megan Fortson, Planning Technician

43 Reviewed and edited by,  
44 Evan J. Clements, AICP - Planner



# City of Keene, NH Site Plan Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: [communitydevelopment@keenenh.gov](mailto:communitydevelopment@keenenh.gov)

## SECTION 1: PROJECT INFORMATION

<b>PROJECT NAME:</b> 661 Main St Keene, NH		<b>TYPE OF APPLICATION BEING SUBMITTED:</b>	
<b>PROJECT ADDRESS(ES):</b> 661 Main Street		<input type="checkbox"/> MAJOR PROJECT APPLICATION <input checked="" type="checkbox"/> MINOR PROJECT APPLICATION	
<b>EXISTING OR PREVIOUS USE:</b> Multi-family Residential		<b>PROPOSED USE:</b> Two-family Residential x2	
<b>GROSS FLOOR AREA OF NEW CONSTRUCTION</b> (in square feet) 4,140		<b>GROSS FLOOR AREA OF EXISTING BUILDINGS/STRUCTURES</b> (in square feet) 4,854	
<b>AREA OF PROPOSED NEW IMPERVIOUS SURFACES</b> (in square feet) 5,254		<b>TOTAL AREA OF LAND DISTURBANCE</b> (in square feet) 23,000	

## SECTION 2: CONTACT INFORMATION

PROPERTY OWNER	APPLICANT
<b>NAME/COMPANY:</b> Brown Wayne E. Jr. Re. Trust c/o Wayne E. Brown Jr.	<b>NAME/COMPANY:</b> Brown Wayne E. Jr. Re. Trust c/o Wayne E. Brown Jr.
<b>MAILING ADDRESS:</b> 28 Village Rd Surry, NH 03431	<b>MAILING ADDRESS:</b> 28 Village Rd Surry, NH 03431
<b>PHONE:</b> 603-357-6382	<b>PHONE:</b> 603-357-6382
<b>EMAIL:</b> pamela.hall@bankerslife.com	<b>EMAIL:</b> pamela.hall@bankerslife.com
<b>SIGNATURE:</b> <i>Wayne E Brown Jr</i>	<b>SIGNATURE:</b> <i>Wayne E Brown Jr</i>
<b>PRINTED NAME:</b> Wayne E. Brown Jr.	<b>PRINTED NAME:</b> Wayne E. Brown Jr.

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
<b>NAME/COMPANY:</b>	<b>TAX MAP PARCEL #(s):</b> 120-096-000 000 000	
<b>MAILING ADDRESS:</b>	-----	
<b>PHONE:</b>	<b>PARCEL SIZE:</b> 0.7 ac	<b>DATE STAMP:</b> 
<b>EMAIL:</b>	<b>ZONING DISTRICT:</b> Low Density	
<b>SIGNATURE:</b>	<b>PROJECT #:</b> SPR-10-23	
<b>PRINTED NAME:</b>		

October 13, 2023

661 Main St Keene, NH 03431  
S&A Project# 23-039



Description of the existing and proposed uses:

The property is located at 661 Main Street. The previous multi-family residence is owned by Wayne Brown Jr and burned due to a plane crash in 2022. One driveway serves the site off of Main Street. The property is located within the Low-Density zoning district.

The previous building was a single building with four apartments, and was a pre-existing, non-conforming use. The existing garage is pre-existing, non-conforming with rear setback requirements. All proposed development is designed to comply with setback requirements.

The proposed project will include the construction of two (2) duplexes to replace the previous apartment building. The two new buildings will be smaller in size therefore more consistent with the character of the area of single-family style homes in the surrounding neighborhood. A variance application has been submitted and approved for the construction of two smaller buildings rather than one larger building. The number of units on the site is not changing.

The proposed project utilizes the existing garage for parking and adds four new uncovered parking spaces to comply with parking requirements, which dictate two spaces per unit.

Development Standards:

**20.2 Drainage & Stormwater Management**

- a) Minor grading is proposed to improve drainage by keeping and treating stormwater runoff on-site. A small retention pond between the existing garage and proposed northern duplex will improve existing drainage patterns. The majority of new runoff will be from the proposed homes roofs. There is a 0.04 acre increase in the amount of impervious due to the addition of 4 parking spaces in order to come into compliance with parking standards outlined in the Land Development Code. This increase places the amount of impervious coverage below the maximum amount allowed in the Low-Density district.
- b) The soils on site were observed to be sandy, and are expected to infiltrate stormwater.
- c) Previous observations of the site indicate the soils ability to infiltrate stormwater.

**20.3 Sediment & Erosion Control**

- a) No permanent erosion control measures are proposed aside from the establishment and restoration of existing lawn areas. The existing site is flat therefore there will be minimal construction runoff.

- b) No water bodies or wetlands will be impacted negatively as there are no streams or wetlands in the vicinity of the project site.
- c) Off-site sediment transport will be minimized by the use of vigorous vegetation and retention.
- d) There are no adjacent waterbodies to the project.
- e) The site is relatively flat containing only gentle slopes.
- f) The majority of the proposed work is planned within previously disturbed areas therefore compaction to soil will be minimized.

#### **20.4 Snow Storage & Removal**

- a) There is adequate room for snow storage by the existing garage and the proposed parking.

#### **20.5 Landscaping**

- a) Existing mature trees to remain.
- b) Four new parking spaces are proposed as a result of complying with parking standards as outlined in the Land Development Code.
- c) New Red Maple trees are proposed along Main Street and are a native species to the area.

#### **20.6 Screening**

- a) Screening is proposed in the form of a stockade fence along the southeast property line of the project site to screen the proposed homes from roadway traffic and neighboring properties.
- b) Parking will be placed at the rear of the site and out of public view, therefore no screening is required for the proposed parking area.
- c) Proposed heating and cooling equipment will be located in the basement of the proposed homes thus not requiring screening.

#### **20.7 Lighting**

- a) Building mounted fixtures are proposed for entrances only. All lights to be fully shielded and night sky compliant.

#### **20.8 Sewer & Water**

- a) A new sewer connection is proposed to an existing manhole in Main Street.
- b) The proposed water will connect to the existing curb stop.

#### **20.9 Traffic & Access Management**

- a) No change from existing.

#### **20.10 Filling & Excavation**

- a) The project does not require 50 or more trucks of earth/gravel entering or leaving the site.

#### **20.11 Surface Waters & Wetlands**

- a) There are no surface waters or wetlands adjacent to the project site.

### **20.12 Hazardous & Toxic Materials**

- a) There are no known existing hazardous or toxic materials on site.

### **20.13 Noise**

- a) No change from existing.

### **20.14 Architecture & Visual Appearance**

- a) The proposed development consists of two duplex style homes in an effort to better blend with the character of the neighborhood. The smaller buildings will be more consistent with the single family character of the area.
- b) No change in off street traffic flow is proposed.

### Waivers:

#### **Lighting Plan**

Proposed lighting at the site will be limited to building mounted entry lighting for the proposed duplexes. This style of lighting is in-line with the previous building to be replaced and use at the site. All fixtures will be fully downcast and night sky compliant. See attached cut-sheet.

#### **Drainage Report**

Due to the gentle slopes, sandy, infiltrative soils and 0.04 acre increase in impervious surfaces a waiver from drainage report is requested. Proposed grading at the site aims to manage stormwater on-site through swales and a small detention pond. Vegetation will be established in any areas that are disturbed. Owner observations of the site indicate the soils' ability to infiltrate stormwater. A waiver from this requirement would not be contrary to the spirit and intent of the regulations.

#### **Traffic Analysis**

The proposed project will not increase on-site or off-street traffic. The number of units at the site will remain the same. The proposed project will replace the existing 4-unit apartment with two (2) duplexes. For these reasons a formal traffic analysis was not conducted. A waiver from this requirement would not be contrary to the spirit and intent of the regulations.

#### **Soil Analysis**

A formal soil analysis was not conducted for the proposed project. Observations from the site indicate sandy soils which have historically shown their ability to infiltrate stormwater. A waiver from this requirement would not be contrary to the spirit and intent of the regulations.

#### **Historic Evaluation**

A historic evaluation was not conducted because the previous building was lost due to fire. A waiver from this requirement would not be contrary to the spirit and intent of the regulations.

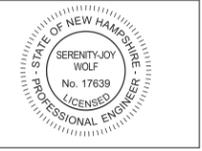
### **Screening Analysis**

The proposed project does not require screening of project elements. The proposed mechanical equipment for the duplexes will be located within the home's basements. Parking is located in the back of the site and out of the public view. A stockade fence is proposed along the southern property line to provide privacy from the road for tenants of the homes. A waiver from this requirement would not be contrary to the spirit and intent of the regulations.

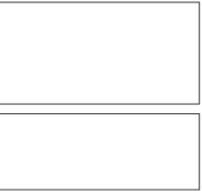
### **Architectural & Visual Appearance Analysis**

The previous building was a single apartment building, which was a non-conforming use and did not meet rear setback requirements. The proposed duplexes will be smaller in size therefore more consistent with the character of the area. The two duplexes will conform to setback requirements on all sides of the property.

**STEVENS & ASSOCIATES, P.C.**  
 ARCHITECTS ENGINEERS  
 LANDSCAPE ARCHITECTS  
 95 MAIN ST. E.O. BOX 1586  
 BRATTLEBORO, VT 05302  
 TEL: 802-257-9209 FAX: 802-258-3892  
 WWW.STEVENS-ASSOC.COM



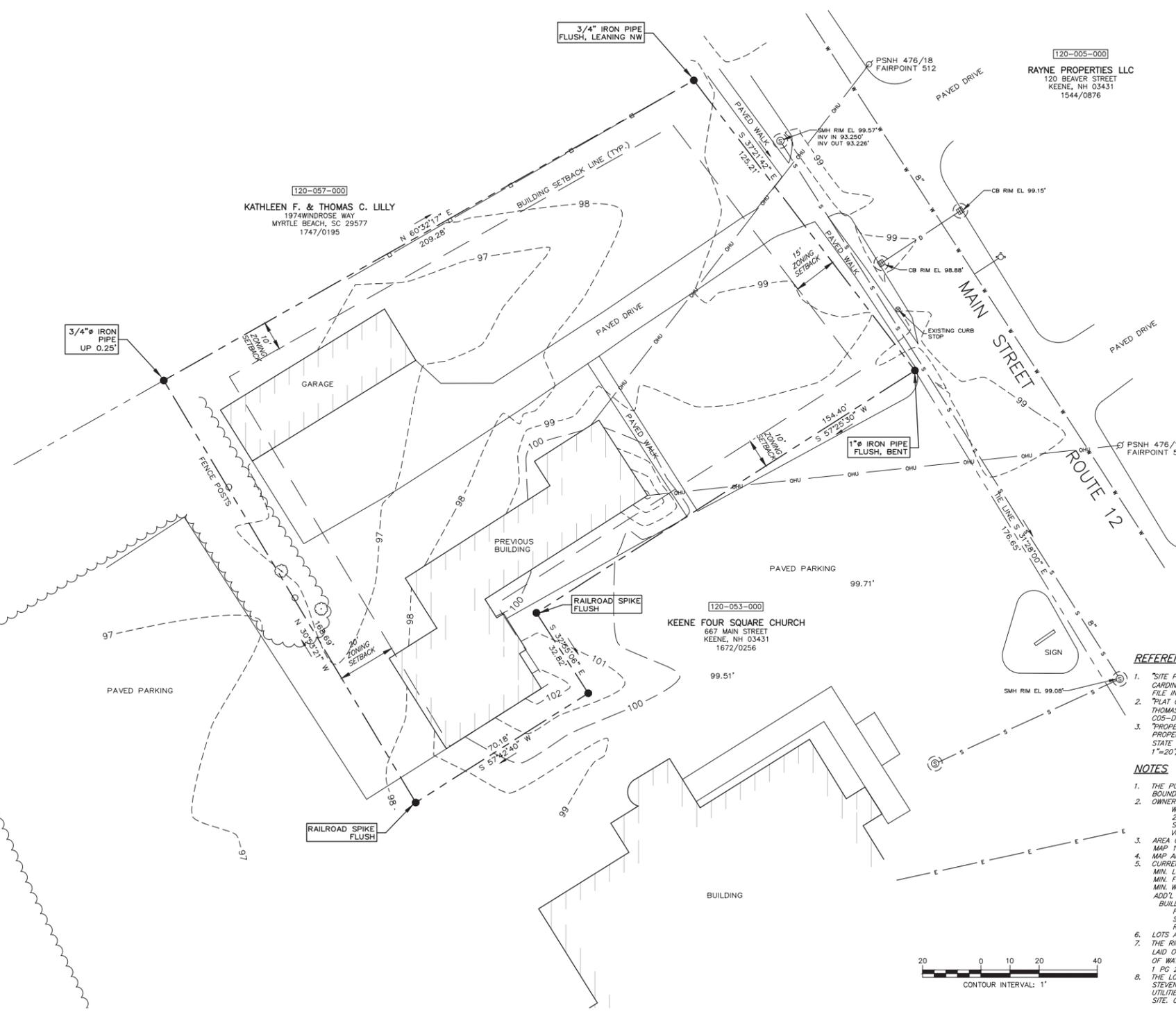
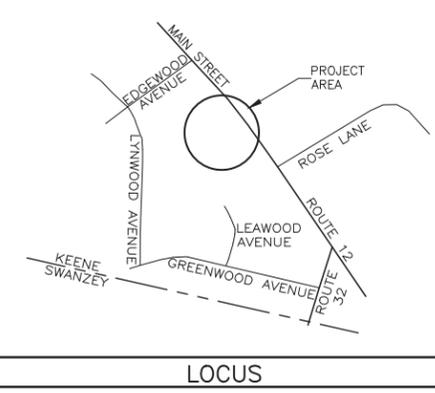
**PURPOSE OF DRAWING:**  
 OCTOBER 13, 2023  
**FOR ZONING PERMIT SUBMISSION**  
**NOT FOR CONSTRUCTION**



**661 MAIN STREET**  
 661 MAIN STREET  
 KEENE, NEW HAMPSHIRE  
 PREPARED FOR:  
**JAS WORKSHOP**  
 PO BOX 6114  
 BRATTLEBORO, VT 05302

DATE:	
REVISION:	

<b>EXISTING CONDITIONS PLAN</b>	
DES. BY	
DWN. BY	OTHERS
CHKD. BY	
SCALE	1" = 20'
DATE	10/13/23
PROJECT NUM:	23-039
DWG. NO.	<b>C-1</b>
SHEET 1 OF 6	



**LEGEND**

CATCH BASIN	ECB
DRAIN MANHOLE	EDMH
SEWER MANHOLE	ESMH
CURB STOP	
GATE VALVE	
SIGN POST	
UTILITY POLE	
LIGHT POLE	
FIRE HYDRANT	
ENTRY	
IRON PIN	
MONUMENT	
CONIFERS	
DECIDUOUS TREES	
SHRUB	
HANDICAP PARKING	
UNDERGROUND DRAINAGE	
UNDERGROUND SEWER	
UNDERGROUND WATER	
OVERHEAD UTILITY	
CONTOURS	
STOCKADE FENCE	
TREE LINE	
CENTERLINE	
BOUNDARY LINE	
CURB	

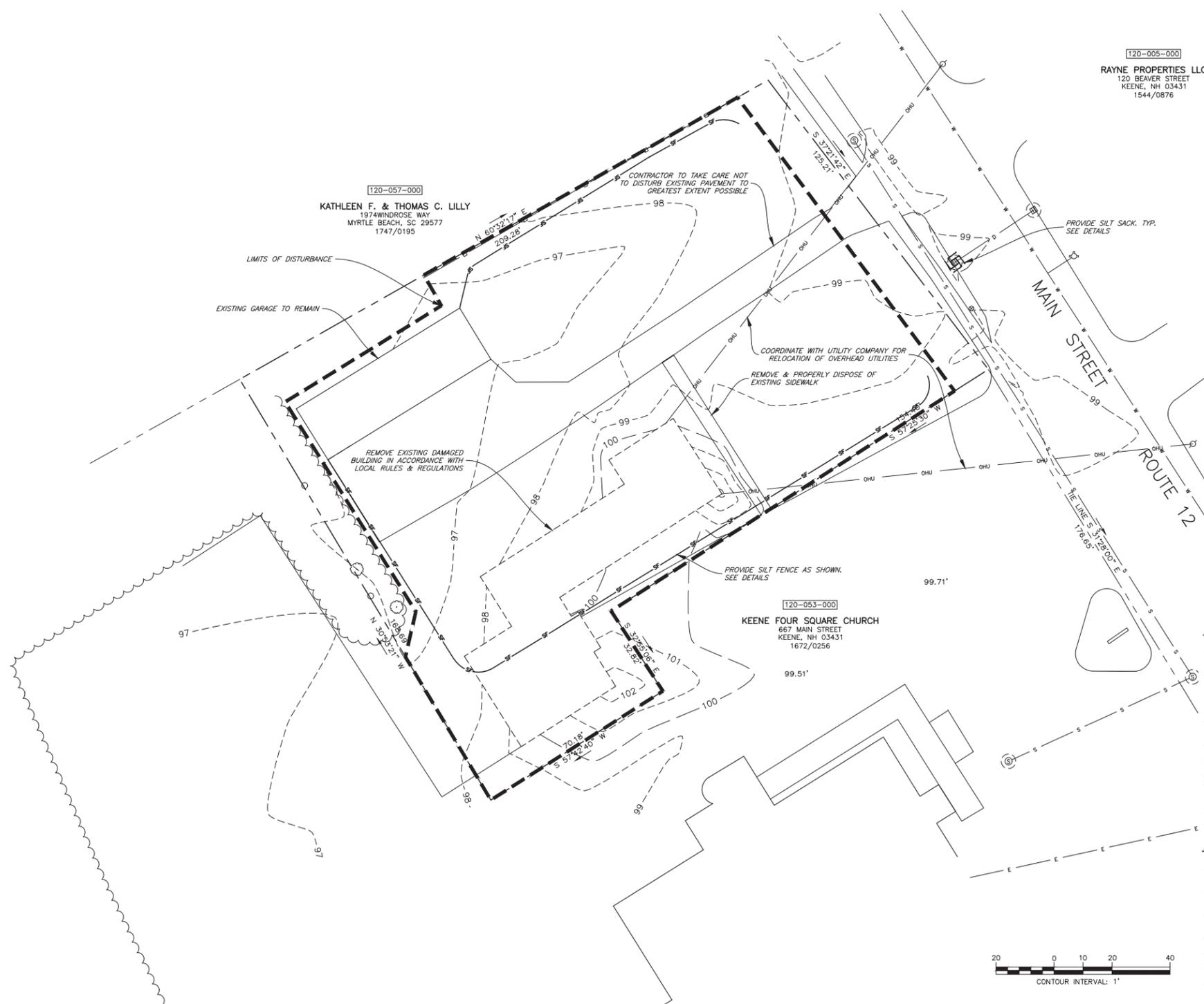
**REFERENCE PLANS**

- "SITE PLAN, MAP 041010150000, 667 MAIN STREET, KEENE, NH 03431"; PREPARED BY CARDINAL SURVEYING & LAND PLANNING, DATED OCTOBER 31, 2016; SCALE 1"=40'; ON FILE IN THIS OFFICE.
- "PLAT OF P+C REALTY C., INC., SUBDIVISION 661 MAIN ST., KEENE, N.H."; PREPARED BY THOMAS W. FLAVIN, JR.; DATED 14 SEPTEMBER 1983; SCALE 1"=20'; RECORDED AT CCRD 025-057-0866.
- "PROPERTY LINE ADJUSTMENT, PREPARED FOR ROGER T. PACKARD & STEVEN A. SALZA OF PROPERTY LOCATED AT 655 & 659 MAIN STREET, CITY OF KEENE, COUNTY OF CHESHIRE, STATE OF NEW HAMPSHIRE"; PREPARED BY SVE ASSOCIATES; DATED 4-28-2002; SCALE 1"=20'; RECORDED AT CORD PLAN 012-008-0001.

**NOTES**

- THE PURPOSE OF THIS PLAN IS TO DEFINE THE EXISTING CONDITIONS PLAN AND THE BOUNDARY OF MAP 120-056-000.
- OWNER OF RECORD:  
WAYNE E. BROWN, JR. REV. TRUST  
28 VILLAGE ROAD  
SURREY, NH 03431  
VOLUME 2985 PAGE 1066
- AREA OF LOTS:  
MAP 120 LOT 56: 30,460 SF OR 0.70 ACRES
- MAP AND LOT NUMBERS REFER TO THE CITY OF KEENE TAX MAPS.
- CURRENT ZONING: LOW DENSITY  
MIN. LOT AREA - 10,000 SF  
MIN. FRONTAGE - 60 FEET  
MIN. WIDTH AT BUILDING LINE - 70 FEET  
ADD'L DWELLING UNIT - 3,400 SF  
BUILDING SETBACKS:  
FRONT - 15 FEET  
SIDE - 10 FEET  
REAR - 20 FEET
- LOTS ARE NOT WITHIN THE 100 YEAR FLOOD PLAIN.
- THE RIGHT OF WAY OF MAIN STREET IS SHOWN TO BE 2-1/2 RODS WIDE (41.25') AS LAID OUT IN 1861 VOLUME 1 PG 228 AT THE CITY OF KEENE CLERK'S OFFICE. RIGHT OF WAY OF CARROLL STREET IS SHOWN TO BE 40' WIDE AS LAID OUT IN 1861 VOLUME 1 PG 228 AT CITY OF KEENE CLERK'S OFFICE.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. STEVENS & ASSOCIATES MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE. CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.





- SITE PREP PLAN GENERAL NOTES:**
- SEE DWG. C-3 FOR LEGEND.
  - THE CONTRACTOR SHALL ENSURE THAT ALL LOCAL AND STATE PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE SITE. THE LIMITS OF CONSTRUCTION SHALL BE CONSIDERED TO BE THE PROPERTY LINES UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL INSTALL ALL SILT FENCE, PRIOR TO THE START OF ANY CONSTRUCTION. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED A MINIMUM AND SHALL BE REVISED AS CONSTRUCTION CONDITIONS WARRANT.
  - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT. REMOVAL OF ANY EROSION CONTROL MEASURES PRIOR TO THE END OF CONSTRUCTION SHALL ONLY BE AT THE DIRECTION OF THE ENGINEER.
  - STABILIZE DISTURBED AREAS THAT ARE FINISHED OR WILL NOT BE WORKED FOR 21 DAYS OR LONGER.
  - ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  - REFER TO ARCHITECTURAL PLANS FOR DEMOLITION ASSOCIATED WITH THE BUILDING.
  - FOUNDATION WALLS/FOOTINGS SHALL BE REMOVED TO 18" BELOW PROPOSED SUBGRADE. BACKFILL TO SUBGRADE WITH SHAPING COURSE GRAVEL. COMPACT IN 6" LIFTS TO 95% STANDARD PROCTOR. COMPLETE WORK, AS SHOWN.
  - REFER TO UTILITY PLANS AND SPECIFICATIONS FOR ABANDONMENT OF EXISTING SEWER & WATER SERVICES.
  - CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF EXISTING ENTRY SLABS, UNLESS OTHERWISE NOTED.

- WINTER CONSTRUCTION GENERAL NOTES:**
- CONTRACTOR SHALL STORE SNOW ON PERIMETER OF WORK AREA. NO SNOW MAY BE STORED IN DIVERSION SWALES OR THE SEDIMENT TRAP. ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
  - MULCH USED FOR TEMPORARY STABILIZATION MUST BE APPLIED AT DOUBLE THE STANDARD RATE, OR A MINIMUM OF 3 INCHES WITH AN 80-90% COVER. EROSION CONTROL BLANKET MAY BE USED INSTEAD OF MULCH.
  - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
    - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
    - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
    - PRIOR TO STABILIZATION, SNOW OR ICE MUST BE REMOVED TO LESS THAN 1 INCH THICKNESS.
    - A MINIMUM OF 25 FOOT BUFFER SHALL BE MAINTAINED FROM PERIMETER CONTROLS SUCH AS SILT FENCE.



**STEVENS & ASSOCIATES, P.C.**  
 ARCHITECTS ENGINEERS  
 LANDSCAPE ARCHITECTS  
 95 MAIN ST. E.O. BOX 1586  
 BRATTLEBORO, VT 05302  
 TEL: 802-257-9009 F: 802-258-3892  
 WWW.STEVENS-ASSOC.COM



PURPOSE OF DRAWING:  
 OCTOBER 13, 2023  
 FOR ZONING PERMIT SUBMISSION  
 NOT FOR CONSTRUCTION

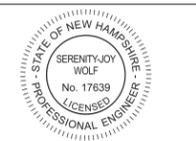
**661 MAIN STREET**  
 661 MAIN STREET  
 KEENE, NEW HAMPSHIRE  
 PREPARED FOR:  
**JAS WORKSHOP**  
 PO BOX 6114  
 BRATTLEBORO, VT 05302

DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_

**SITE PREP**

DES. BY	TES
DWN. BY	TES
CHKD. BY	SJW
SCALE	1" = 20'
DATE	10/13/2023
PROJECT NUM:	23-039
DWG. NO.	<b>C-2</b>
SHEET 2 OF 6	





**PURPOSE OF DRAWING:**  
 OCTOBER 17, 2023  
**FOR ZONING PERMIT SUBMISSION  
 NOT FOR CONSTRUCTION**

**661 MAIN STREET**

661 MAIN STREET  
 KEENE, NEW HAMPSHIRE

PREPARED FOR:  
**JAS WORKSHOP**

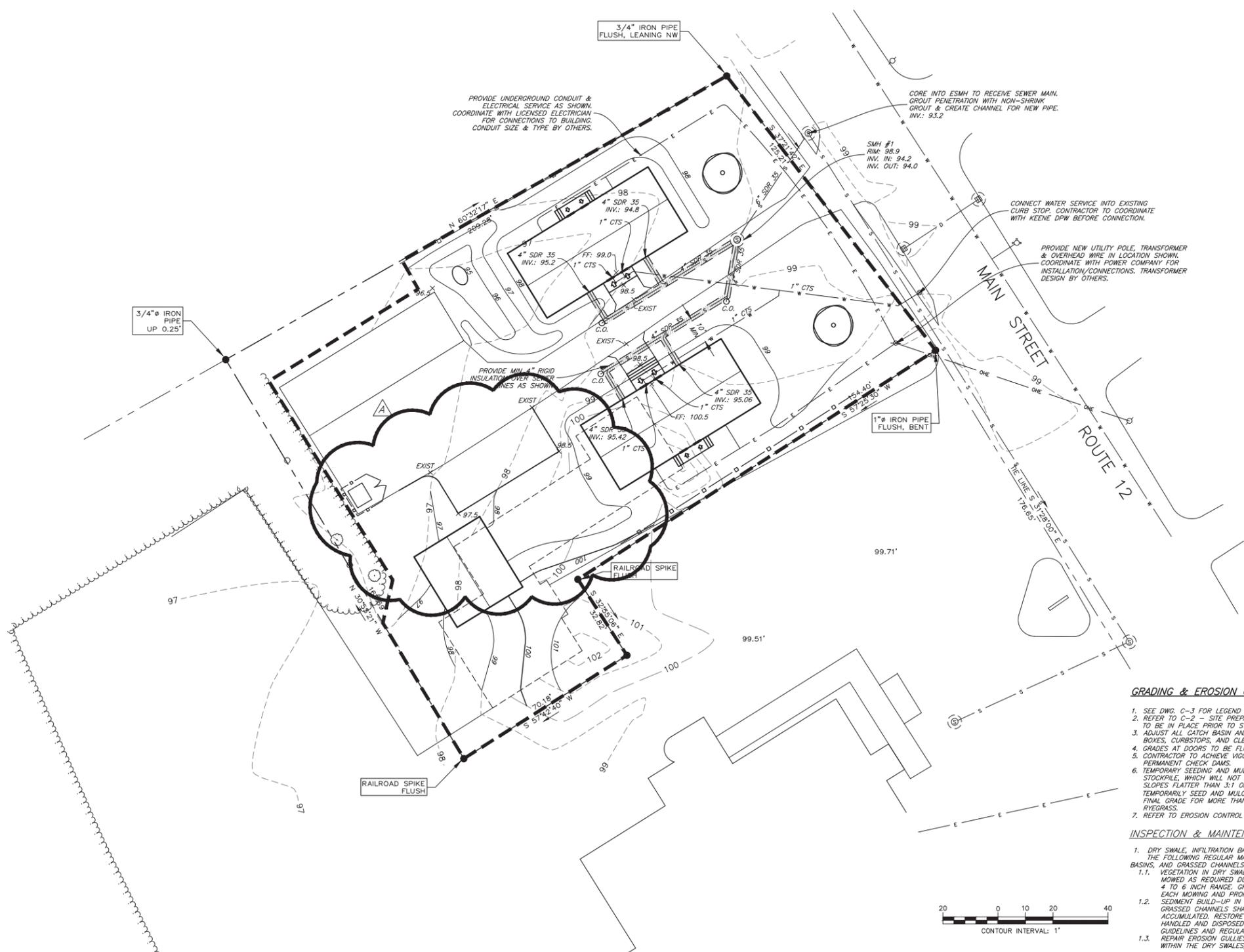
PO BOX 6114  
 BRATTLEBORO, VT 05302

DATE:  
 REVISION:  
 A 10/17/2023  
 LAYOUT CHANGES

**GRADING,  
 DRAINAGE &  
 UTILITIES PLAN**

DES. BY	TES
DWN. BY	TES
CHKD. BY	SJW
SCALE	1" = 20'
DATE	10/13/2023
PROJECT NUM:	23-039
DWG. NO.	

**C-4**  
 SHEET 4 OF 6



- GRADING & EROSION CONTROL NOTES:**
- SEE DWG. C-3 FOR LEGEND
  - REFER TO C-2 - SITE PREPARATION PLAN FOR EROSION CONTROL MEASURES THAT NEED TO BE IN PLACE PRIOR TO START OF CONSTRUCTION.
  - ADJUST ALL CATCH BASIN AND AREA DRAIN RIMS TO FINISH GRADE. ADJUST ALL GATE BOXES, CURBSTOPS, AND CLEANOUT COVERS TO FINISH GRADE.
  - GRADES AT DOORS TO BE FLUSH AT THRESHOLD AND TO SLOPE AWAY AT 1/4" PER FOOT.
  - CONTRACTOR TO ACHIEVE VIGOROUS VEGETATION IN ALL SWALES PRIOR TO INSTALLATION OF PERMANENT CHECK DAMS.
  - TEMPORARY SEEDING AND MULCHING: TEMPORARILY MULCH DISTURBED AREAS, INCLUDING STOCKPILE, WHICH WILL NOT BE WORKED FOR 7 TO 21 DAYS WITH USE CHOPPED HAY ON SLOPES FLATTER THAN 3:1 OR EROSION CONTROL BLANKET ON SLOPES EXCEEDING 3:1. TEMPORARILY SEED AND MULCH/ECB DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR MORE THAN 21 DAYS. USE A MIX OF ANNUAL RYEGRASS AND PERENNIAL RYEGRASS.
  - REFER TO EROSION CONTROL DETAILS ON SHEET C-5.
- INSPECTION & MAINTENANCE NOTES:**
- DRY SWALE, INFILTRATION BASINS, AND GRASSED CHANNELS:  
 THE FOLLOWING REGULAR MAINTENANCE SHALL OCCUR IN THE DRY SWALES, INFILTRATION BASINS, AND GRASSED CHANNELS.  
 1.1. VEGETATION IN DRY SWALES, INFILTRATION BASINS, AND GRASSED CHANNELS SHALL BE MOWED AS REQUIRED DURING THE GROWING SEASON TO MAINTAIN GRASS HEIGHTS IN THE 4 TO 6 INCH RANGE. GRASS CLIPPINGS, LEAVES AND DEBRIS SHALL BE REMOVED AT EACH MOWING AND PROPERLY DISPOSED OF OFF-SITE.  
 1.2. SEDIMENT BUILD-UP IN THE BOTTOM OF THE DRY SWALES, INFILTRATION BASINS, AND GRASSED CHANNELS SHALL BE REMOVED WHEN ONE INCH OF SEDIMENT HAS ACCUMULATED. RESTORE VEGETATION AS REQUIRED. ALL SEDIMENTS SHOULD BE PROPERLY HANDLED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.  
 1.3. REPAIR EROSION GULLIES AS NEEDED TO MAINTAIN A HEALTHY STAND OF VEGETATION WITHIN THE DRY SWALES, INFILTRATION BASINS, AND GRASSED CHANNELS.

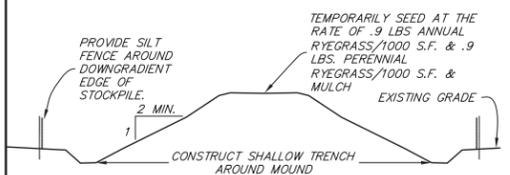


**EROSION CONTROL GENERAL NOTES:**

- TEMPORARY EROSION CONTROL SHALL BE ACCOMPLISHED THROUGH THE USE OF SILT FENCES, HAY OR STRAW MULCH, EROSION CONTROL BLANKET (ECB), CHECK STRUCTURES, INLET & OUTLET PROTECTION, A STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY AND PERMANENT SEEDING. THE EROSION CONTROL SPECIFIED AND DETAILED ON THE PLANS SHALL BE CONSIDERED THE MINIMUM REQUIRED AND IS TO BE USED AS A GUIDELINE ONLY. ADDITIONAL MEASURES MAY BE DICTATED BY FIELD CONDITIONS. PROVIDE ADDITIONAL EROSION CONTROL AS REQUIRED BY THE TOWN, STATE, OR THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DURING CONSTRUCTION & UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EXTRA EROSION CONTROL MATERIALS (SILT FENCE, CRUSHED STONE, MULCH HAY, ROLLED EROSION CONTROL PRODUCT (RECP)) ARE PRESENT ON SITE AT ALL TIMES FROM THE COMMENCEMENT OF EARTHWORK THROUGH FINAL STABILIZATION TO ENABLE RAPID RESPONSE TO PROBLEM SITUATIONS.
- ALL EROSION CONTROL PROCEDURES SHALL CONFORM TO APPLICABLE SECTIONS OF THE "EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED FOR THE SHORTEST PRACTICAL PERIOD AT ANY GIVEN TIME DURING THE DEVELOPMENT. EXPOSED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 48 HOURS OF FINISH GRADING. AREAS THAT WILL NOT BE BROUGHT TO FINISH GRADE FOR 7 TO 21 DAYS WILL BE TEMPORARILY MULCHED/ECB. AREAS THAT WILL NOT BE BROUGHT TO FINISH GRADE FOR 21 DAYS OR LONGER WILL BE TEMPORARILY SEEDED AND MULCHED/ECB.
- SILT DEPOSITED ON SITE SHALL BE COLLECTED AND REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR WATER CONTROL DURING ALL PHASES OF CONSTRUCTION. NO WORK SHALL BE PERMITTED IN FLOWING WATER. DIVERSION SHALL BE ACCOMPLISHED BY THE USE OF SAND BAGS, BERMS, TEMPORARY CULVERTS OR BY PUMPING. ALL DIVERTED WATER SHALL BE DISCHARGED TO SEDIMENT CONTAINMENT FILTER BAGS, STONE FILL OR OTHER SUITABLE ENERGY DISSIPATER SURROUNDED BY A CONTAINMENT BERM.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

**EROSION CONTROL MATERIALS:**

- SILT FENCE:** SILT FENCE SHALL BE MARAFI WITH PREFABRICATED 36-INCH POSTS OR APPROVED EQUIVALENT. IT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLAN DETAILS.
- MULCH:** MULCH SHALL BE DRY MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS. NO SALT HAY SHALL BE USED.
- MULCH NETTING:** NETTING USED TO HOLD MULCH IN PLACE SHALL BE AN APPROVED PAPER, TWINE, PLASTIC OR PLASTIC AND WOOD FIBER NETTING.
- EROSION CONTROL MATTING (BLANKET):** MATTING SHALL BE INSTALLED ON ANY SLOPES STEEPER THAN 3(H) TO 1(V) MAY 1ST TO SEPTEMBER 15TH. AFTER SEPTEMBER 15TH, MATTING SHALL BE USED ON ALL SLOPES GREATER THAN 5%. MATTING SHALL NORTH AMERICAN GREEN S75 OR APPROVED EQUIVALENT.



**STOCKPILE MOUND**  
NTS

**MAINTENANCE OF EROSION CONTROL STRUCTURES:**

- SILT FENCES ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS. WHEN SEDIMENT ACCUMULATION REACHES A DEPTH OF 12" BEHIND THE SILT FENCE, THE SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF. OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO REMOVAL.
- KEEP ALL DRAINAGE ENTRANCES FREE OF DEBRIS DURING CONSTRUCTION. SWEEP ROADS AS REQUIRED OR DIRECTED BY THE ENGINEER.
- REINFORCE NETTING, MATTING, AND BLANKETS WITH ADDITIONAL STAPLES IF THEY HAVE MOVED. REPAIR DAMAGE CAUSED BY WATER EROSION OR WIND AT THE END OF EACH DAY.
- REPAIR ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION ACTIVITIES AT OR BEFORE THE END OF EACH WORKING DAY. DAMAGE TO ANY EROSION CONTROL MEASURE AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.

**WINTER EROSION CONTROL:**

- ALL EROSION CONTROL FEATURES SUCH AS SILT FENCE AND STONE CHECK DAMS MUST BE IN PLACE PRIOR TO GROUND FREEZING.
- ALL DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED FROM SEPTEMBER 15 TO MAY 1 REGARDLESS OF WHETHER FINISHED GRADING HAS BEEN COMPLETED. WORK MAY CONTINUE THROUGH THIS PERIOD WITH WRITTEN PERMISSION FROM THE ENGINEER AND PROVIDED THE FOLLOWING WINTER EROSION CONTROLS ARE IMPLEMENTED:
  - WINTER RYE SEEDS SHALL BE SUBSTITUTED FOR ANY OTHER TEMPORARY ANNUAL GRASS SEEDS.
  - ALL EXPOSED EARTH SHALL BE MULCHED WITH 6 INCHES OF HAY OR STRAW. SLOPES GREATER THAN 5% SHALL BE COVERED WITH STAKED EROSION CONTROL MAT (NORTH AMERICAN GREEN S75 OR APPROVED EQUIVALENT).
  - EARTHWORK SHALL ONLY TAKE PLACE DURING SUITABLE CONDITIONS, I.E. THERE SHALL BE NO EARTHWORK DURING MODERATE OR HEAVY RAINS, WET SNOW, OR THAWS.
  - PROVIDE 20' OF STABILIZED ACCESS AROUND BUILDINGS BY INSTALLING A 6" LAYER OF 4" DIA. OR SMALLER STONE.

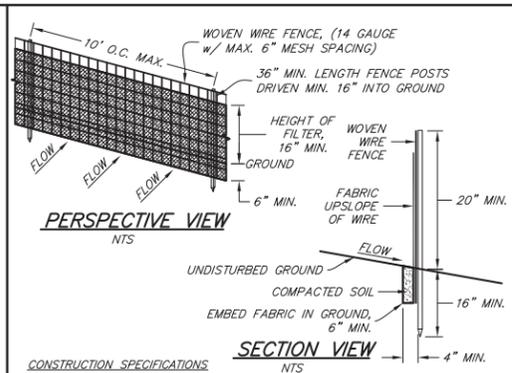
**Maintenance Chart**  
Erosion Control Devices

Control Device*	Action	Frequency		
		Weekly	After Storm Event**	When Necessary***
Vegetation	Visual inspection Re-seed an implement weed control	△	△	△
Dry/Dry/Dry Mats	Visual inspection Replace mat on areas where original mat has been lost Remove mat where application is too heavy-seed cannot establish	△	△	△
Marking, Staking and/or Barriers	Visual inspection Add stakes if material has moved. Repair water erosion/damage.	△	△	△
Channel Protection	Visual inspection Add stakes if material has moved. Repair water erosion/damage.	△	△	△
Sediment Trap	Visual inspection Remove silt and soil when accumulation is 50% of capacity.	△	△	△
Silt Fence	Visual inspection Remove any collected sediment when it has reached 1/2 the height of fence or when heavy runoff or siltation is expected	△	△	△
Stone Check Dam	Visual inspection Remove silt and soil from upstream face after each major storm event or when accumulated sediment reaches 1/2 the height of the check dam. Remove damaged check dam areas or areas showing signs of obvious erosion. Supplement with additional stone check dams when it becomes obvious that the existing one is inadequate.	△	△	△
Hair Protection	Visual inspection Repair and reduce root. Remove sediment. Remove root.	△	△	△
Drainage Swales	Visual inspection Remove blockages	△	△	△
Slope Drains	Visual inspection Repair or replace slope drain. Replace strip. Repair breached section of surface berm.	△	△	△
Curb & Gutter Containment	Visual inspection Repair and reduce bags Remove sediment	△	△	△

**Winter Maintenance Schedule**  
Erosion Control Devices

Control Device*	Action	Frequency		
		Weekly	Before/After Predicted Thaw or Risky Period**	When Necessary***
Dry/Dry/Dry Mats	Visual inspection - weekly and before/after thaws and risky periods Replace mat on areas where original mat has been lost Remove mat where application is too heavy-seed cannot establish	△	△	△
Marking, Staking and/or Barriers	Visual inspection Add stakes if material has moved. Repair water erosion/damage.	△	△	△
Channel Protection	Visual inspection Add stakes if material has moved. Repair water erosion/damage.	△	△	△
Sediment Trap	Visual inspection Remove silt and soil from upstream face when accumulation is 50% of capacity.	△	△	△
Silt Fence	Visual inspection Remove any collected sediment before predicted thaws or risky period or when it has reached 1/2 the height of fence	△	△	△
Stone Check Dam	Visual inspection Remove silt and soil from upstream face when accumulation is noticeable. Remove damaged check dam areas or areas showing signs of obvious erosion or other damage. Supplement with additional stone check dams when it becomes obvious that the existing one is inadequate by themselves.	△	△	△
Hair Protection	Visual inspection Repair and reduce root. Remove sediment. Remove root.	△	△	△
Drainage Swales	Visual inspection Remove blockages caused by ice and sediment	△	△	△
Slope Drains	Visual inspection Repair or replace slope drain. Replace strip. Repair breached section of surface berm.	△	△	△
Curb & Gutter Containment	Visual inspection Repair and reduce bags Remove sediment	△	△	△

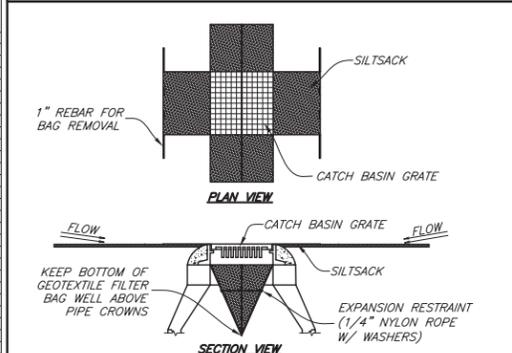
\* Control devices as shown on plans are to be considered a minimum and may be supplemented by request of engineer.  
\*\* Repeat all erosion control measures as soon as possible but no later than 24 hours after any storm event that generates runoff from the site.  
\*\*\* Practically constant maintenance of critical control measures may be necessary during winter and early spring to prevent failure or overloading of control measures.



**CONSTRUCTION SPECIFICATIONS**  
NTS

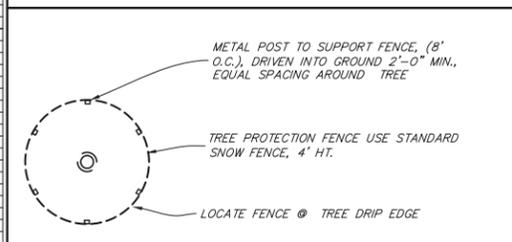
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100' UPSLOPE OF RECEIVING WATERS.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN 2 SECTIONS OF THE FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE MIRAFI 100X OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT REACHES HALF OF HEIGHT.

**SILT FENCE**  
NTS

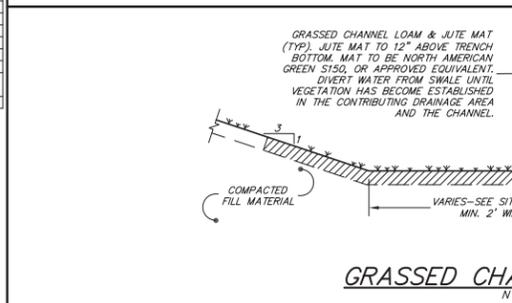


- NOTES**
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILTSACK.
  - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.
  - INSTALL AND MAINTAIN GEOTEXTILE FILTER BAG IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - INSPECT GEOTEXTILE FILTER BAG AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT AS RECOMMENDED BY MANUFACTURER.

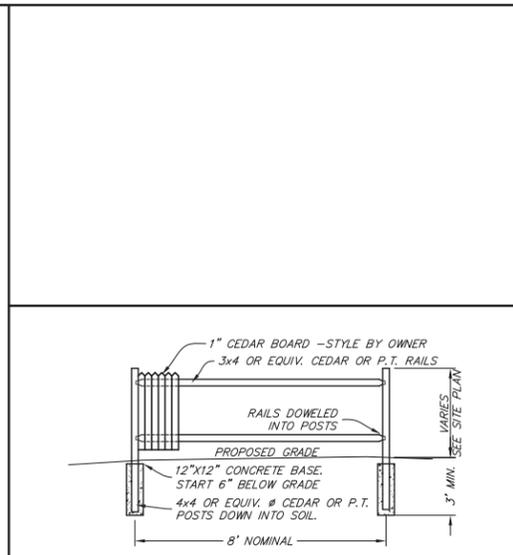
**INLET PROTECTION - SILT SACK**  
NTS



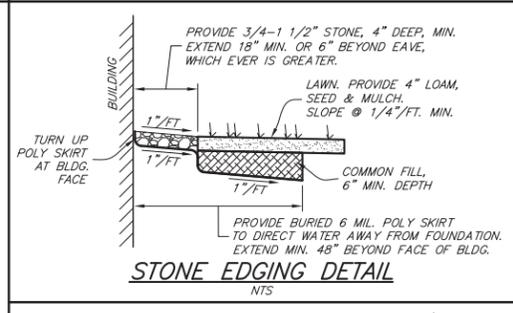
**EXISTING TREE PROTECTION**  
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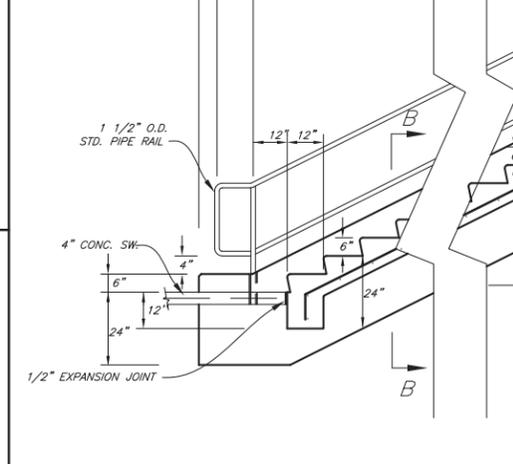
**GRASSED CHANNEL DETAIL**  
NTS



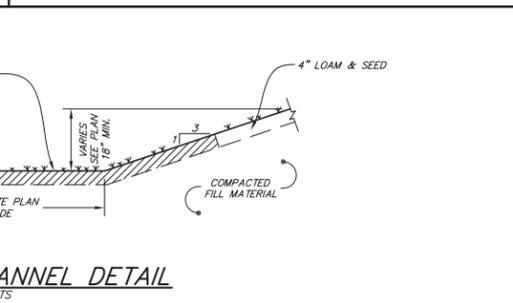
**STOCKADE FENCE DETAIL**  
NTS



**STONE EDGING DETAIL**  
NTS



**CONCRETE SITE STAIRS**  
N.T.S.

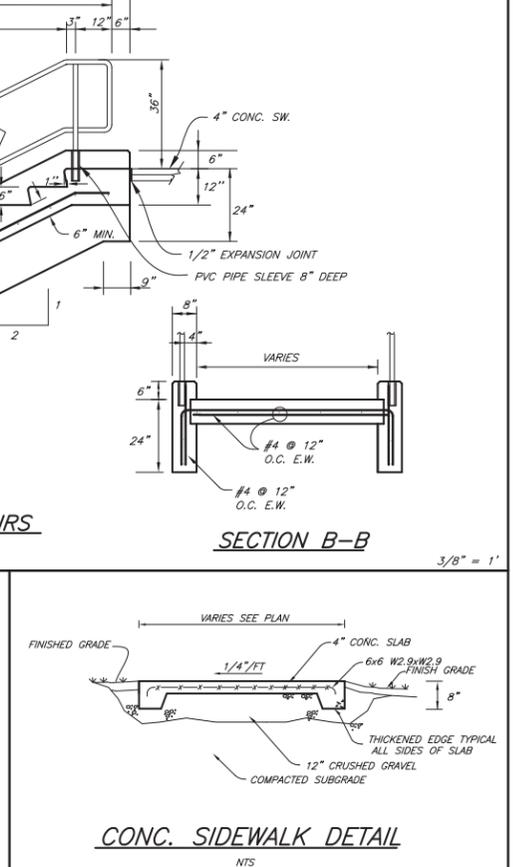


**CONC. SIDEWALK DETAIL**  
NTS

**SITE CONCRETE GENERAL NOTES:**

- ALL FOOTINGS SHALL BE CARRIED DOWN TO FIRM UNDISTURBED BEARING SOIL. IRRESPECTIVE OF ANY GRADES OR DIMENSIONS GIVEN ON THE PLANS. SOIL-BEARING CAPACITY ASSUMED TO BE 2 TONS PER SQUARE FOOT MINIMUM.
- NO FOOTING SHALL BE PLACED ON FROZEN SOIL. EXTERIOR FOOTINGS SHALL NOT BE LESS THAN 4-6" BELOW FINISH GRADE, EXCEPT WHERE FOUNDED ON LEDGE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL CONDUIT, SLOTS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED FOR THE TRADES BEFORE CONCRETE IS POURED.
- ALL SLABS POURED ON GROUND SHALL BE REINFORCED WITH WELDED WIRE MESH 6X6 W2 3XW2.9 MINIMUM UNLESS SHOWN OTHERWISE. MESH TO BE LAPPED MINIMUM 6" ON SIDES AND 6" ON ENDS. NO ROLLS, SHEET FABRIC ONLY.
- ALL CONCRETE WALLS, FOOTINGS, SLABS ON GROUND AND FRAMED SLABS TO BE FC-4000 PSI @ 28 DAYS AND AIR-ENTRAINED.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DIMENSIONS AND SHALL STAKE OUT THE WORK PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY DEPTH TO LEDGE FOR FTG ELEVATION PRIOR TO REINFORCEMENT FABRICATION.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETED.
- REINFORCEMENT SHALL BE ASTM A615 GRADE 60 (YIELD STRESS 60,000 PSI).
- INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO SCHEDULED CONCRETE PLACEMENT. NOTIFY ARCHITECT OF COMPLETION 24 HOURS PRIOR TO THE SCHEDULED COMPLETION OF THE INSTALLATION OF THE REINFORCEMENT.
- CLEAR CONCRETE PROTECTION SHALL BE 3" ON FTGS AND WALLS POURED AGAINST EARTH OR WATER AND 2" WHEN POURED AGAINST FORMS AND WEATHER. REINFORCEMENT IN OPPOSITE SIDE FROM EARTH (INSIDE) SHALL BE 1-1/2" MINIMUM. OTHER CLEARANCES TO MEET JOB CONDITIONS.
- PROVIDE BAR SUPPORTS, SPACERS AND ACCESSORIES RECOMMENDED BY THE ACI DETAILING MANUAL. ALL DETAILING NOT COVERED BY THESE DRAWINGS OR THESE NOTES SHALL BE IN ACCORDANCE WITH THIS SAME MANUAL.
- ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED 30 DIAMETERS AT SPLICES AND AT CORNERS UNLESS OTHERWISE SHOWN. TERMINATE CONTINUOUS BARS AT NON-CONTINUOUS ENDS WITH STANDARD HOOKS. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS AT SUPPORTS AS REQUIRED.
- PROVIDE 3/4" CHAMFER ON ALL EXPOSED CORNERS.
- EXPOSED FACES OF ALL SITE CONCRETE TO BE "SMOOTH FORMED" AND "SMOOTH RUBBED" FINISHED UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL SUBMIT CHECKED SHOP DRAWINGS AND PLACING PLANS IN TRIPPLICATE FOR ALL REINFORCEMENT TO THE ARCHITECT BEFORE FABRICATION.
- CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL OR VERTICAL CONSTRUCTION JOINTS EXCEPT WHERE SHOWN OR NOTED. CONSTRUCTION JOINTS SHALL BE 60" APART AND KEYS. CONTROL JOINTS SHALL BE A MAX. OF 30' APART.
- ALL SPECIFICATIONS NOT COVERED BY THESE DRAWINGS OR NOTES SHALL BE IN ACCORDANCE WITH ACI 301-89, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PREVENT FLOTATION OF STRUCTURES DURING CONSTRUCTION, AND SHALL MAINTAIN EXCAVATIONS SUFFICIENTLY FREE OF WATER BY PUMPING DRY TO ALLOW PLACING AND CURING CONCRETE.
- CONTROL SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SO THAT FOUNDATION WORK IS DONE ON DRY AND UNDISTURBED SUBGRADE MATERIAL.
- TRIM AND FINISH BOTTOM OF EXCAVATION WITH HAND SHOVEL.
- BACKFILL AND COMPACT UNDER STRUCTURAL ELEMENTS IN 6" LIFTS.
- MIX AND PLACE CONCRETE ONLY WHEN TESTING AGENCY TECHNICIANS IS PRESENT.
- DO NOT TACK WELD REINFORCEMENT.
- CONCRETE FINISHES:  
TOP OF WALLS - STEEL TROWEL  
VERTICAL SURFACES - BURLAP RUBBED  
WALKING SURFACES - BROOM

NOTE: ADD ADDITIONAL POST IF STAIRS HAVE MORE THAN 7 RISERS.



**CONC. SIDEWALK DETAIL**  
NTS

**STEVENS & ASSOCIATES P.C.**  
ARCHITECTS | ENGINEERS  
LANDSCAPE ARCHITECTS

85 WADEN ST., P.O. BOX 1586  
BRATTLEBORO, VT 05302  
PH: 802-257-9229 | F: 802-255-3992  
WWW.STEVENS-ASSOCIATES.COM

**S&A**

ARCHITECTS | ENGINEERS  
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STATE OF NEW HAMPSHIRE  
SERENITY JOY WOLF  
No. 17639  
LICENSED PROFESSIONAL ENGINEER

**PURPOSE OF DRAWING:**  
OCTOBER 13, 2023

**FOR ZONING PERMIT SUBMISSION  
NOT FOR CONSTRUCTION**

**661 MAIN STREET**  
661 MAIN STREET  
KEENE, NEW HAMPSHIRE

PREPARED FOR:  
**JAS WORKSHOP**  
PO BOX 6114  
BRATTLEBORO, VT 05302

**DATE:**  
REVISION:

**DRAINAGE,  
EROSION  
CONTROL & SITE  
DETAILS**

DES. BY TES  
DWN. BY TES  
CHKD. BY SJW  
SCALE NTS  
DATE 10/13/2023  
PROJECT NUM: 23-039  
DWG. NO. C-5  
SHEET 5 OF 6

**SEWER SYSTEM GENERAL NOTES:**

- CONSTRUCTION: PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE. THE PIPE SHALL BE LAID AT CONTINUOUS AND CONSTANT GRADE AT THE SLOPES SHOWN ON THE PLAN.
- LEAKAGE TESTING: THE LEAKAGE INWARD AND OUTWARD OF A GRAVITY SEWER INCLUDING MANHOLES SHALL NOT EXCEED 200 GAL. IN DIAMETER DAY. UPON COMPLETION OF CONSTRUCTION, A SEWER LINE SHALL BE TESTED IN ACCORDANCE WITH ONE OF THE FOLLOWING PROCEDURES:

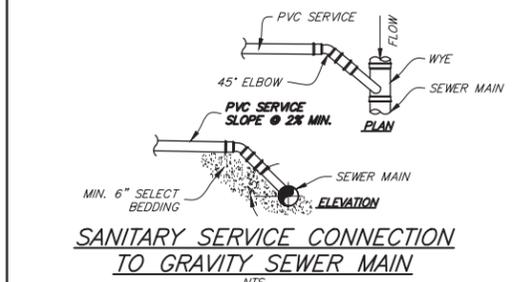
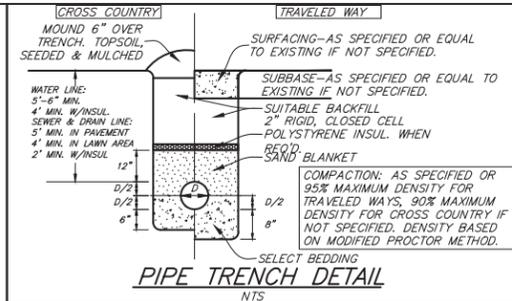
- A) WATER TESTING:**
- PLUG OR CAP ALL SERVICE LATERALS, STUBS AND FITTINGS. PLACE ADEQUATE BRACING TO WITHSTAND THRUST FORCES.
  - A TAPPED PLUMBER'S PLUG SHOULD BE INSERTED IN THE DOWNSTREAM MANHOLE INLET SEWER. THE WATER SUPPLY CONNECTION IS MADE AT THIS POINT, BUT NEVER DIRECTLY FROM A PUBLIC WATER SUPPLY SYSTEM OR HYDRANT UNLESS A BACK FLOW PREVENTER IS USED.
  - A STANDPIPE IS TIGHTLY CONNECTED AT THE UPSTREAM END OF THE SEWER. THE HEIGHT OF THE STAND PIPE SHALL BE AT LEAST TWO FEET HIGHER THAN ANY POINT IN THE SEWER OR TWO FEET HIGHER THAN THE HIGHEST GROUND WATER TABLE, WHICHEVER IS HIGHER. A MANHOLE MAY BE USED AS A STANDPIPE.
  - WATER IS ADDED AT THE DOWNSTREAM CONNECTION IN ORDER TO AVOID TRAPPING AIR BUBBLES OR POCKETS. THE LINE SHALL BE FILLED TO THE ELEVATION DESIGNATED IN THE STANDPIPE.
  - ALLOW THE LINE TO STAND WITH WATER FOR AT LEAST A TWO HOUR STABILIZATION PERIOD OR SUCH SHORTER PERIOD AS MAY BE REQUIRED TO ACHIEVE STABILIZED READINGS OF WATER LOSS OVER THREE CONSECUTIVE 15 MINUTE PERIODS. THIS ALLOWS AIR TO ESCAPE AND ABSORPTION TO TAKE PLACE.
  - FILL THE SEWER LINE TO THE REFERENCE MARK AND CONTINUE THE TEST FOR AT LEAST ONE HOUR. MAINTAIN THE MINIMUM HEAD THROUGHOUT THE TEST, ADDING ANY VOLUME OF WATER REQUIRED AND INCLUDING THAT VOLUME IN THE LEAKAGE.
  - CONVERT THE LEAKAGE TO THE UNITS SPECIFIED.

**MATERIALS:**

- SELECT BEDDING - SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM AND ORGANIC MATTERING. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, USE GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCHES.

100% PASSING	1-INCH SCREEN
90-100 PASSING	3/4-INCH SCREEN
20-55% PASSING	3/8-INCH SCREEN
0-10% PASSING	#4 SIEVE
4% PASSING	#8 SIEVE

- SAND BLANKET - CLEAN SAND FREE FROM ORGANIC MATTER GRADED SO THAT 90-100% WILL PASS A 1/2-INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- COMMON FILL MATERIAL SHALL BE THE NATURAL EXCAVATED MATERIAL EXCLUDING DEBRIS, ORGANIC MATTER AND CLAY & STONES LARGER THAN 6 INCHES. THE CONTRACTOR SHALL COMPACT THE TRENCH BACKFILL TO 95% MODIFIED PROCTOR MAXIMUM DENSITY.
- PVC - POLYVINYL CHLORIDE PIPE; ASTM D1785; SCH 40; SOLVENT WELDED PER MANUFACTURER'S SPECIFICATIONS.
- PVC - POLYVINYL CHLORIDE PIPE; ASTM F-891; SDR 35; GASKET JOINT PER MANUFACTURER'S SPECIFICATIONS.
- PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE. THE PIPE SHALL BE LAID AT CONTINUOUS AND CONSTANT GRADE AT THE SLOPES SHOWN ON THE PLAN.
- MATERIALS OR EQUIPMENT IDENTIFIED ON THE PLANS BY REFERENCE TO MANUFACTURER'S NAMES AND NUMBERS ARE INTENDED TO ESTABLISH A STANDARD. MATERIALS AND EQUIPMENT OF OTHER MANUFACTURERS THAT ARE, IN THE OPINION OF THE ENGINEER, OF EQUAL QUALITY AND FUNCTION WILL BE ACCEPTABLE. THE CONTRACTOR SHALL SUBMIT SUPPORTING DATA TO THE ENGINEER TO DETERMINE EQUALITY AND WILL BE RESPONSIBLE FOR ALL INCIDENTAL COORDINATION AND/OR FITTING TOGETHER AS REQUIRED.



**WATER DISTRIBUTION SYSTEM NOTES:**

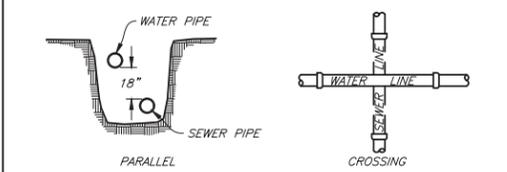
- COPPER SERVICE PIPE: TYPE K RIGID COPPER TUBING CONFORMING TO ASTM B-88. TUBING WILL BE STRAIGHT PIPE

**CONSTRUCTION NOTES:**

- PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE.
- VERIFY THAT ALL COMPONENTS MAY BE INSTALLED AT THE LOCATIONS INDICATED AT THE LOCATIONS INDICATED ON THE DRAWINGS, OR WHERE REQUIRED, AND THAT PROPER OPERATION OF THE VALVES WILL BE POSSIBLE AFTER INSTALLATION. IN THE EVENT OF INTERFERENCE, IMMEDIATELY NOTIFY ENGINEER. DO NOT PROCEED WITH INSTALLATIONS UNTIL CONDITIONS ARE SATISFACTORY.
- WATER SERVICE CONNECTION RECORD:
  - HORIZONTAL TIES: MEASURE AND RECORD 3 TIES TO ALL VALVES AND STOPS AND TO THE END OF EACH WATER SERVICE. WHEN POSSIBLE, THESE TIES SHALL BE TO THE BUILDING TO BE SERVED BY THE SERVICES; OTHERWISE, TO PERMANENT, PHYSICAL OBJECTS ON THE SAME SIDE OF THE STREET AS THE END OF THE WATER SERVICE.
  - VERTICAL TIES: MEASURE THE DEPTH OF EACH WATER SERVICE AND RECORD. DEPTHS SHALL BE MEASURED FROM THE PIPE CENTERLINE TO GROUND SURFACE. ALSO, PROVIDE CENTERLINE ELEVATIONS, USING THE SAME DATUM AS THAT USED ON THE DRAWINGS. ACCURACY OF VERTICAL MEASUREMENTS SHALL BE PLUS OR MINUS 1/8 INCH.
  - OTHER RECORDINGS: RECORD LENGTH OF EACH WATER SERVICE AND OTHER PERTINENT INFORMATION, AS REQUIRED ON THE SKETCH OF WATER SERVICE CONNECTION, TO BE PROVIDED BY THE CONTRACTOR.
- AFFORD ENGINEER ACCESS TO THE WORK SO THAT HE MAY SPOT-CHECK THE INSTALLATIONS, OR CHECK EACH LENGTH OF PIPE IMMEDIATELY AFTER IT HAS BEEN INSTALLED, OR CHECK IT AT ANY TIME AFTER INSTALLATION. CALL ENGINEER 24 HOURS BEFORE BACK FILLING OPERATION IS TO BEGIN.

**DISINFECTION:**

- DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C-651, 1993 REVISION. NOTIFY ENGINEER AND TOWN OR WATER UTILITY OWNER OF INTENT TO DISINFECT.
- PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION OR REPAIR.
- FILL THE MAIN COMPLETELY WITH POTABLE WATER TO REMOVE ALL AIR. FLUSH THE PIPE AT A MINIMUM VELOCITY OF 2.5 FT/S. TO REMOVE THOSE MATERIALS THAT MAY HAVE ENTERED THE PIPE.
- CHLORINATE ANY RESIDUAL CONTAMINATION BY THE CONTINUOUS FEED OR SLUG METHOD INSERTING THE CHLORINE NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE MAIN. DO NOT USE THE TABLET METHOD. RETAIN THE CHLORINATED WATER IN THE MAIN FOR THE SPECIFIED CONTACT TIME. FLUSH THE CHLORINATED WATER FROM THE MAIN.
- PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACK FLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
- DETERMINE THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION. REPEAT DISINFECTION IF TEST RESULTS ARE UNACCEPTABLE.
- CONNECT THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM.
- DISINFECT STORAGE TANK IN ACCORDANCE W/ AWWA C 652-92



**WATER AND SEWER SEPARATION**

- PARALLEL INSTALLATION: WATER MAINS AND WATER SERVICES SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER OR MANHOLE. THIS DISTANCE CAN BE REDUCED TO FIVE (5) FEET FOR STORM SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- CROSSINGS: WATER MAINS OR WATER SERVICES CROSSING SANITARY OR STORM SEWER PIPES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF THE SEWER MAIN IS OVER THE WATER MAIN, THE FIRST SEWER PIPE JOINTS ON EITHER SIDE OF THE WATER MAIN OR WATER SERVICE MUST BE CONCRETE ENCASED. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED.

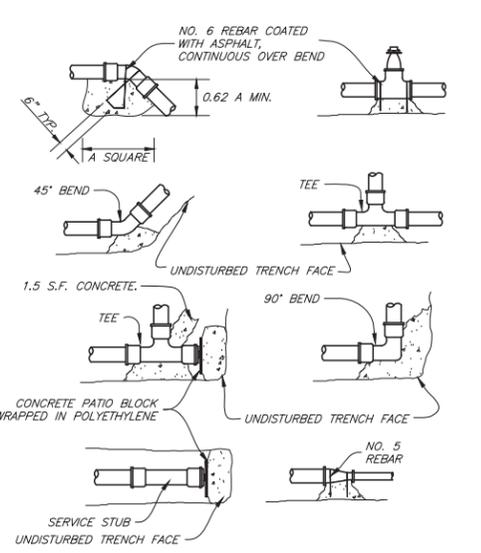
**SEWER-WATER LINE CROSSING DETAIL**

**SCHEDULE:**

- NOTIFY OWNER, ENGINEER AND TOWN UTILITY DEPARTMENT THAT CONSTRUCTION IS TO BEGIN ON WATER SYSTEM. FIVE DAYS NOTICE TO THE TOWN IS REQUIRED.
- TOWN WILL PROVIDE TEMPORARY SERVICE TO EFFECTED AREAS BEFORE CONSTRUCTION IS TO BEGIN AND WILL OPERATE ALL WATER MAIN VALVES.
- IN THE EVENT THAT A WATER MAIN OR WATER SERVICE MUST BE SHUT OFF BECAUSE OF AN ACCIDENTAL INTERRUPTION, IMMEDIATELY NOTIFY ENGINEER AND WATER UTILITY OR PRIVATE OWNER, AS APPLICABLE, TO MAKE ARRANGEMENTS TO RESTORE SERVICE AND TO PROVIDE TEMPORARY SERVICE, IF REQUIRED.
- THE DRAWINGS INDICATE THE REQUIRED PIPE SIZES AND LOCATIONS OF ALL PIPING, MANHOLES, STRUCTURES AND APPURTENANCES. VERIFY ALL LOCATIONS AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- APPROVAL OF ENGINEER IS REQUIRED PRIOR TO CHANGING THE LOCATION OF ANY OF THE WORK DUE TO FIELD CONDITIONS. CHANGES IN PIPE SIZES ARE PROHIBITED WITHOUT A WRITTEN CONSENT FROM ENGINEER.
- ALL INSTALLED PIPING SHALL FORM COMPLETELY CONNECTED SYSTEMS INCLUDING CONNECTIONS TO VALVES, EQUIPMENT, STRUCTURES, EXISTING FACILITIES AND APPURTENANCES SPECIFIED IN OTHER SECTIONS TO RESULT IN A SATISFACTORY OPERATING INSTALLATION.

**PRESSURE TESTING:**

- CONTACT ENGINEER TO WITNESS LEAKAGE TESTING. 24-HOUR ADVANCE NOTICE REQUIRED.
- VALVES WHICH CARRY WATER OR LIQUID UNDER PRESSURE SHALL BE FILLED WITH WATER AND SUBJECT TO A PRESSURE OF 150 PSI OR 1-1/2 THE NORMAL WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO HOURS OR LONGER AS MAY BE NECESSARY TO EXAMINE THE VALVE FOR LEAKS. TEST PRESSURE SHALL NOT BE MORE THAN +/- 3 PSI FOR DURATION OF TEST.
- ALL AIR SHALL BE EXPELLED FROM THE LINE.
- ALLOWABLE LEAKAGE: NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:  
(RESULTS IN INCH-POUND UNITS)  
 $L = ((SD)(SQRP)) / (48,000)$   
WHERE:  
L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR  
S = LENGTH OF PIPE TESTED, IN FEET  
D = NOMINAL DIAMETER OF THE PIPE, IN INCHES  
P = AVERAGE TEST PRESSURE DURING THE LEAKAGE TEST, IN POUNDS PER SQUARE INCH (GAUGE)
- SHOULD LEAKS GREATER THAN ALLOWED BY AWWA C600 BE FOUND, FAULTY JOINTS SHALL BE REPAIRED, EVEN TO THE EXTENT OF DISASSEMBLING AND REMAKING THE JOINT. CAULKING OF THREADS OR THE USE OF CHEMICAL COMPOUNDS TO CORRECT LEAKS WILL NOT BE PERMITTED. THE CONTRACTOR SHALL REPLACE DEFECTIVE VALVES AND THE TESTS SHALL BE REPEATED UNTIL TEST REQUIREMENTS ARE MET TO THE SATISFACTION OF THE ENGINEER.
- PIPE SHALL BE GIVEN PRESSURE AND LEAKAGE TESTS IN SECTIONS OF APPROVED LENGTH IN ACCORDANCE WITH AWWA C600. FOR THESE TESTS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS OR CAPS FOR THE PIPELINE. ALL NECESSARY EQUIPMENT, PUMPS, PIPE CONNECTIONS AND ALL LABOR REQUIRED WITHOUT ADDITIONAL COMPENSATION.

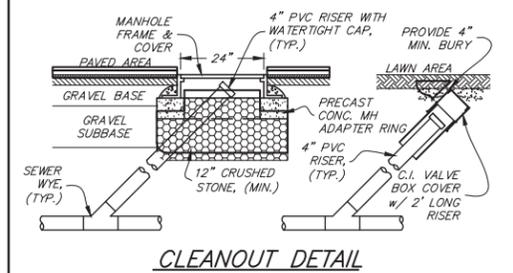
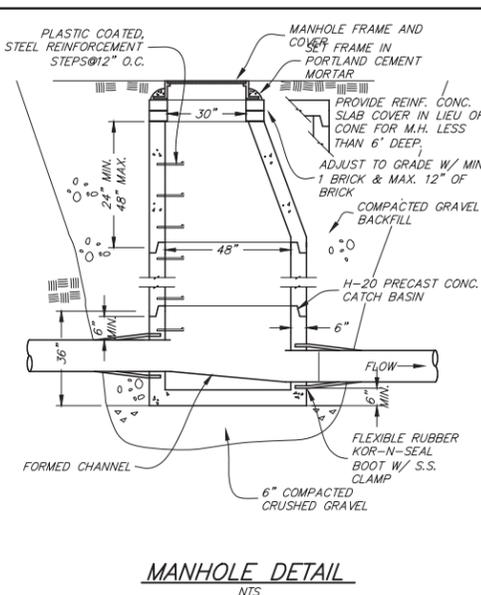


**THRUST BEARING REQUIREMENTS:**

PIPE SIZE, INCHES	IN SOIL					IN BEDROCK				
	2"	4"	6"	8"	10"	2"	4"	6"	8"	10"
VALVE, TEE	0.45	1.3	2.9	5.1	7.2	0.06	0.18	0.39	0.68	1.06
HEAD END, & REDUCER	0.45	1.3	2.9	5.1	7.2	0.06	0.18	0.39	0.68	1.06
90° ELBOW	0.64	1.8	4.0	7.2	11.2	0.10	0.24	0.54	0.96	1.50
45° ELBOW	0.35	1.1	2.3	4.1	6.3	0.05	0.15	0.37	0.55	0.84
22 1/2° ELBOW	0.13	0.50	1.11	1.8	3.1	0.17	0.07	0.15	0.27	0.41
11 1/4° ELBOW	0.07	0.25	0.56	1.0	1.6	0.01	0.04	0.08	0.14	0.21

- FIGURES ARE MINIMUM SQUARE FEET OF BEARING AREA REQUIRED.
- BEARING AREAS BASED ON SANDY SOILS AT 2000 PSF AND BEDROCK AT 15,000 PSF AND MAY VARY IF DIRECTED BY ENGINEER TO MEET OTHER CONDITIONS ENCOUNTERED.
- CONCRETE TO BE 3000 PSI POURED ON UNDISTURBED FACE, AND SHALL BE A MINIMUM THICKNESS OF 12".
- BEARING AREAS BASED ON HYDROSTATIC PRESSURE OF 200 PSI.
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- THREADED ROD SHALL BE ANSI A242 F150 PIPE RESTRAINT NUTS TO MATCH AWWA C111. THREADED RODS AND NUTS TO BE FIELD COATED WITH PAINT.
- THRUST RESTRAINT IS REQUIRED FOR ALL TEES, BENDS, REDUCERS, CAPS, PLUGS, OR CROSSES.
- INSTALL LIFT HOOKS INTO THRUST BLOCKS AT END CAPS AND PLUGS.
- PLACE CONCRETE PATIO BLOCKS IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.
- MEGA-LUG RETAINER GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REDUCE THE REQUIREMENTS FOR THRUST RESTRAINT.
- ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BUILDING PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.

**THRUST BLOCK DETAILS**



**STEVENS & ASSOCIATES, INC.**  
ARCHITECTS | ENGINEERS  
LANDSCAPE ARCHITECTS  
95 MAIN ST. | 80, BOX 1386  
BRATTLEBORO, VT 05702  
TEL: 802-257-9329 | FAX: 802-258-3892  
WWW.STEVENS-ASSOC.COM

STATE OF NEW HAMPSHIRE  
SERENITY JOY WOLF  
No. 17839  
LICENSED PROFESSIONAL ENGINEER

PURPOSE OF DRAWING:  
OCTOBER 13, 2023  
FOR ZONING PERMIT SUBMISSION  
NOT FOR CONSTRUCTION

661 MAIN STREET  
KEENE, NEW HAMPSHIRE

PREPARED FOR:  
JAS WORKSHOP  
PO BOX 6114  
BRATTLEBORO, VT 05302

DATE: \_\_\_\_\_  
REVISION: \_\_\_\_\_

**WATER & SEWER DETAILS**

DES. BY	TES
DWN. BY	TES
CHKD. BY	SWJ
SCALE	NTS
DATE	10/13/2023
PROJECT NUM:	23-039
DWG. NO.	C-6
SHEET 6 OF 6	

THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

# BROWN

661 MAIN ST.  
KEENE, NH 03431  
CHESHIRE COUNTY

BUILDER:

# THE HOME STORE

CHAMPION FACTORY 041  
CHAMPION MODULAR, INC.  
10642 S. SUSQUEHANNA TRAIL  
LIVERPOOL, PA 17045



BRAND:



BUILDER:

THE HOME STORE

CUSTOMER/PROJECT:

BROWN

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

**Harold Raup**  
Digitally signed by Harold Raup  
DN: cn=Harold Raup, o=Harold Raup, ou=PFS-TECO, email=harold.raup@pfsteco.com, c=US  
Date: 2023.08.23 15:16:44 -04'00'

MODIFICATIONS

FN	5/8/23	MAB
FN2	6/26/23	MAB
SN	8/9/23	ATT

PROJECT:

44499 RANCH DUPLEX

TITLE:

COVER SHEET

DRAWN BY: DLN

DATE: 04-18-23

SCALE: N.T.S.

FILENAME: 44499 FN2

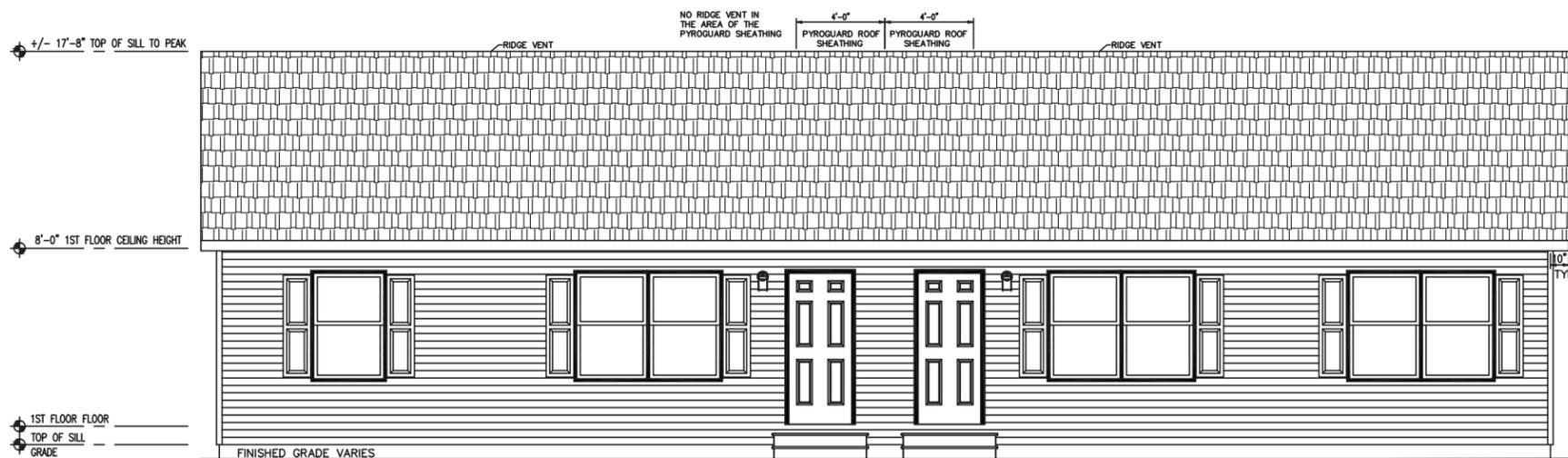
SHEET:

COVER

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**PFS CORPORATION**  
**Approval Limited to Factory Built Portion Only**

State: New Hampshire  
Signature: *Harold Raup*  
Title: Staff Plan Reviewer  
Date: 8/23/23



FRONT ELEVATION

**SITE CONDITIONS:**

GROUND SNOW LOAD:	70	PSF
WIND SPEED:	115	
EXPOSURE:	B	
SEISMIC CATEGORY:	B	
USE GROUP:	MULTI-FAMILY	
CONSTRUCTION TYPE:	WOOD FRAME PROTECTED	

**SQUARE FOOTAGE:**

FIRST FLOOR:	825	SQ. FT. PER UNIT
SECOND FLOOR:	NA	SQ. FT.
BONUS ROOM:	NA	SQ. FT.
GARAGE:	NA	SQ. FT.
TOTAL:	825	SQ. FT. PER UNIT
OVERALL SIZE	27'-6"x60'-0"	
MODEL:	RANCH DUPLEX	

**NOTES:**

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

**BUILDER / OWNER SIGNATURES:**

ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

TITLE: \_\_\_\_\_

CHAMPION FACTORY 041  
 CHAMPION MODULAR, INC.  
 10642 S. SUSQUEHANNA TRAIL  
 LIVERPOOL, PA 17045



BRAND:



BUILDER:

THE HOME STORE

CUSTOMER/PROJECT:

BROWN

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

PFS Corporation  
 Northeast Region  
 APPROVED  
 H Raup - 3  
 8/23/23  
 Approval limited to  
 Factory Built Portion

MODIFICATIONS

PROJECT:

44499  
 RANCH  
 DUPLEX

TITLE:

ELEVATIONS

DRAWN BY: DLN

DATE: 04-18-23

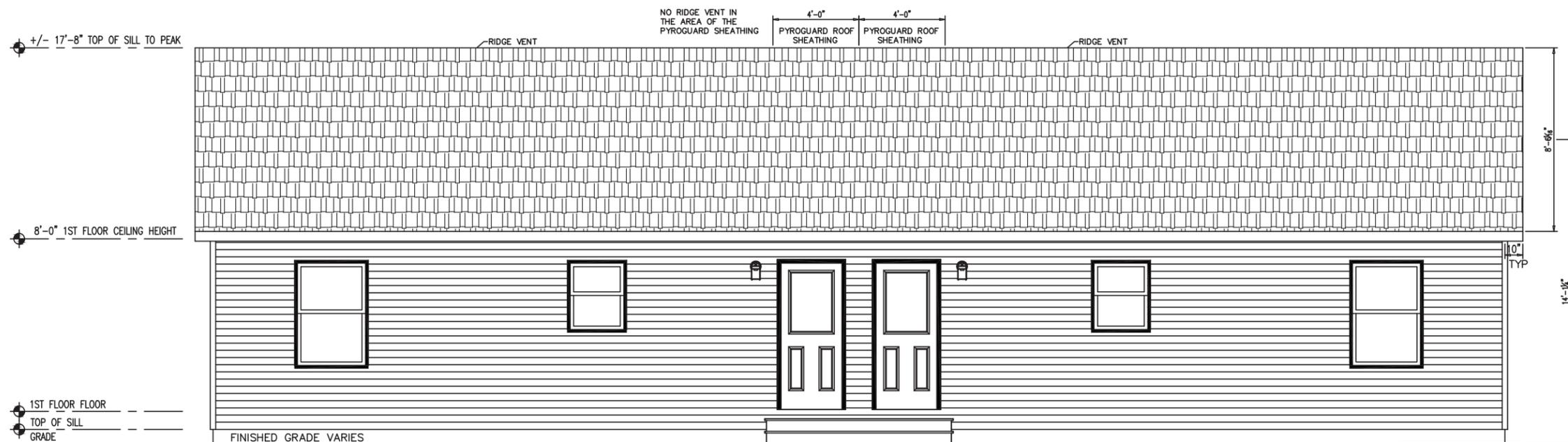
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FILENAME: 44499 FN2

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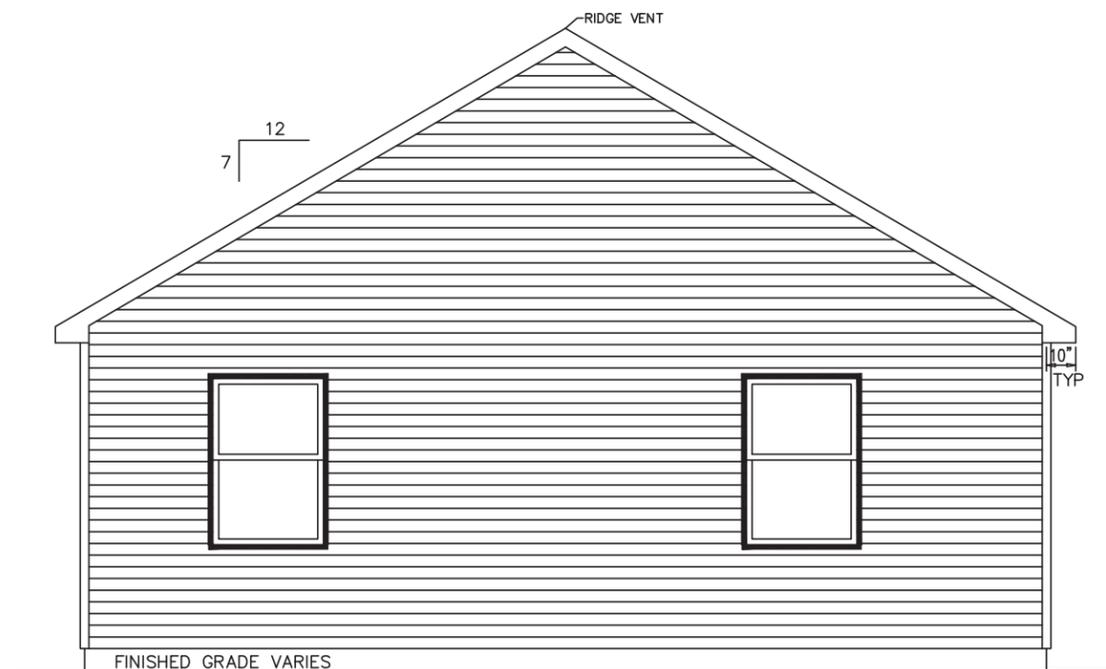
ELEVATIONS

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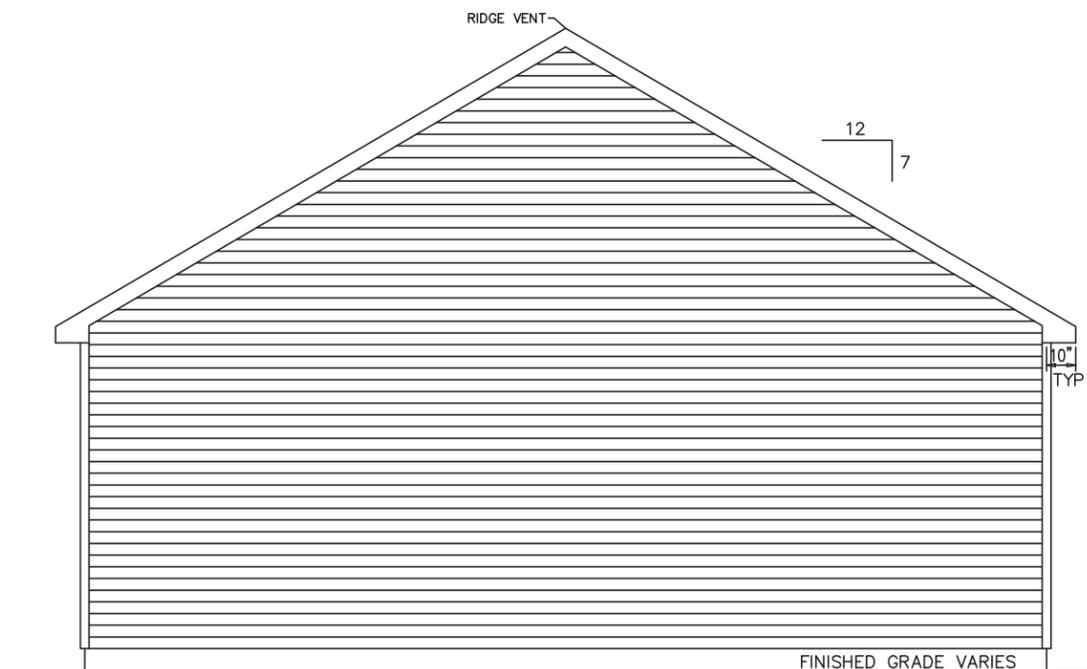


ACCESS TO GRADE PROVIDED  
 AND INSTALLED ON-SITE BY  
 BUILDER

REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

BUILDER / OWNER SIGNATURES:

ACCEPTED BY:	DATE:
TITLE:	

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

# VISUAL COMFORT & Co.

## 8637401EN3-12: Medium One Light Outdoor Wall Lantern



### Dimensions:

**Diameter:** 12.0"  
**Width:** 12.0"  
**Height:** 10.62"  
**Weight:** 1.8 lbs.

**Extends:** 17.125'  
**Extends Max:** 23.125'  
**Wire:** 6.5" (color,Black/White)  
**Mounting Proc.:** Cap Nuts  
**Connection:** Mounted To Box  
**Watts:** 9  
**Lumens:** 800

### Bulbs:

1 - LED Medium A19 9.0w Max. 120v included

### Features:

- ENERGY STAR® Qualified
- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
- LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
- Meets Title 24 energy efficiency standards
- Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

**Collection:** Barn Light

Featured in the decorative Barn Light collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

ENERGY STAR® Qualified

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.

UPC #:785652071218

Finish: Black (12)

### Material List:

1 Body - Aluminum - Black

### Safety Listing:

Safety Listed for Wet Locations

### Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8\_37401-BRL)

### Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1.25	5.0	4.12	6.5

### Replacement Bulb Data:

Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI

### Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	8537401EN3-12	1	785652071218	16.75	14.58	13.25	1.87	4.1	250	Yes
NJ Pallet		45		48.0	40.0	75.0	83.33	184.5		No
NV Pallet		40		48.0	40.0	75.0	83.33	160.0		No



Reduce your energy costs by replacing 60W standard household bulbs with these more efficient 9W LED A19 bulbs.

**FEATURES**

- Standard household medium (E26) base
- Frosted lens helps reduce glare
- Dimmable; see dimmer compatibility sheet for a full list of dimmers

**LISTINGS**

- UL Listed for damp locations
- FCC
- RoHS
- Rated for use in enclosed fixtures

**PERFORMANCE**

- CRI: 80
- CCT: 2700K
- Rated Lifetime L70: 10,000 hours

**WARRANTY**

- 1 year limited warranty; see pltsolutions.com for warranty details

**APPLICATIONS**

- Table and Floor Lamps
- Ceiling Fans
- Pendants

project name	type
catalog number	
comments	voltage
approved by	date



<b>PERFORMANCE</b>	Power Consumption	9 Watt
	Lumens	750
	Efficacy (LPW)	83
	CRI	80
	Beam Angle	220
	CCT	2700K
	Life (L70)	10000
<b>ELECTRICAL</b>	Input Voltage	120V
	Shape	A19
<b>CONSTRUCTION</b>	Base	E26
	Finish	Frosted
	Certifications	UL Listed; FCC
<b>LISTINGS</b>	Material Usage	RoHS – No mercury or lead
	Environment	Enclosed Fixture Rated



## NOTICE OF DECISION

### **ZONING BOARD OF ADJUSTMENT**

**CASE NUMBER:** ZBA 23-17  
**Property Address:** 661 Main St.  
**Zone:** Low Density District  
**Owner:** Wayne E. Brown Revocable Trust  
**Petitioner:** Wayne E. Brown Revocable Trust  
**Date of Decision:** June 5, 2023

#### **Notification of Decision:**

Petitioner, Wayne E. Brown Jr. Revocable Trust of 28 Village Rd. Surry, requested a Variance for property located at 661 Main St., Tax Map #120-056-000-000-000 and is in the Low Density District. The Petitioner requested two buildings on a single lot containing two independent dwelling units, which are designed, occupied or intended for occupancy by separate families and a non-conforming use shall not be changed to a different non-conforming use, per Chapter 100, Articles 8.3.1.E.1 and 18.2.4 of the Zoning Regulations.

The motion to approve ZBA 23-17 was approved by a vote of 5-0 according to the Variance Findings of Fact listed below and as further specified in the minutes of the meeting.

**Criteria 1:** The proposed use will be more conforming with a residential feel and an improvement to the lost four units, 5-0.

**Criteria 2:** The proposed use will be a benefit to the community that won't alter the neighborhood, 5-0.

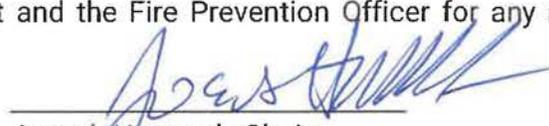
**Criteria 3:** The proposed use will be a loss to the public if denied, will be an improvement to the area and not a detriment to the public, 5-0.

**Criteria 4:** The proposed use will remove the burnt building, improving the area and not diminish surrounding property values, 5-0.

**Criteria 5:** The proposed use improves the area due to an exceptional situation with the accident, which will create something better and be less of a hardship for the property owner, 5-0.

**Condition:** None

NOTE: Contact the Community Development Department and the Fire Prevention Officer for any applicable permits that may be needed.

  
Joseph Hoppock, Chair

Any person directly affected has a right to appeal this Decision. The necessary first step, before any appeal may be taken to the courts, is to apply to the Board of Adjustment for a rehearing. The Motion for Rehearing must be filed not later than 30 days after the first date following the referenced Date of Decision. The Motion must fully set forth every ground upon which it is claimed that the decision is unlawful or unreasonable. See New Hampshire RSA Chapter 677, et seq.

cc: Planning Technician

City Attorney

City Appraiser

File Copy



**Minor Project Review Committee**  
**2024 Meeting Schedule**

Meetings are generally held on the 1<sup>st</sup> and 3<sup>rd</sup> Thursday of each month at 10:00 am in the 2<sup>nd</sup> floor Council Chambers of City Hall.

1 <sup>st</sup> Monthly Meeting	2 <sup>nd</sup> Monthly Meeting	Application Submission Deadline
January 4, 2024	January 18, 2024	December 15, 2023
February 1, 2024	February 15, 2024	January 12, 2024
March 7, 2024	March 21, 2024	February 16, 2024
April 4, 2024	April 18, 2024	March 15, 2024
May 2, 2024	May 16, 2024	April 12, 2024
June 6, 2024	June 20, 2024	May 17, 2024
<b><u>Wednesday</u></b> , July 3, 2024	July 18, 2024	June 13, 2024
August 1, 2024	August 15, 2024	July 12, 2024
September 5, 2024	September 19, 2024	August 16, 2024
October 3, 2024	October 17, 2024	September 13, 2024
November 7, 2024	November 21, 2024	October 18, 2024
December 5, 2024	December 19, 2024	November 15, 2024
<b><u>Friday</u></b> , January 3, 2025	January 16, 2025	December 13, 2024