



Historic District Commission

AGENDA

Wednesday, July 19, 2023

4:30 PM City Hall, 2nd Floor Council Chambers

1. Call to Order and Roll Call

2. Minutes of April 19, 2023

3. Public Hearing

- a) **COA-2023-03 – 18 Summer St – Addition** - Applicants and owners Michael & Jennifer Zoll, propose to construct an ~220 sf addition to the existing ~2,272 sf house on the property at 18 Summer St (TMP #568-024-000). A waiver is requested from Section 21.6.3.C.1 of the Land Development Code regarding the requirement that historic rooflines shall not be altered. The property is 0.18 ac and is ranked as a Contributing Resource in the Downtown Transition District.

4. Staff Updates

5. New Business

6. Upcoming Dates of Interest:

- a) Next HDC Meeting: August 16, 2023 – 4:30 pm, TBD
b) HDC Site Visit: August 16, 2023 – 3:30 pm (To be confirmed)

7. Adjourn

1 **City of Keene**
2 **New Hampshire**

3
4
5 **HISTORIC DISTRICT COMMISSION**
6 **MEETING MINUTES**
7

Wednesday, April 19, 2023

4:30 PM

**Council Chambers,
City Hall**

Members Present:

Russ Fleming, Chair
Sophia Cunha-Vasconcelos, Vice Chair
Councilor Catherine Workman
Anthony Ferrantello, Alternate (Voting)

Staff Present:

Evan Clements, Planner

Members Not Present:

Hope Benik
Gregg Kleiner
David Bergeron, Alternate
Peter Poanessa, Alternate

8 **1) Call to Order and Roll Call**
9

10 Chair Fleming called the meeting to order at 4:30 PM. Mr. Clements called the roll. Chair
11 Fleming asked Mr. Ferrantello, alternate, to serve as a voting member for this meeting. Mr.
12 Ferrantello accepted.
13

14 **2) Minutes of January 18, 2023**
15

16 Councilor Workman made a motion to approve the minutes of the January 18, 2023 meeting.
17 Vice Chair Cunha-Vasconcelos seconded the motion. The motion passed unanimously.
18

19 **3) Adoption of 2023 Meeting Schedule**
20

21 Chair Fleming confirmed the 2023 meeting schedule called for the Commission to meet at 4:30
22 PM on the third Wednesday of each month in Council Chambers.
23

24 Vice Chair Cunha-Vasconcelos made a motion to adopt the 2023 meeting schedule as presented.
25 Councilor Workman seconded the motion. The motion passed unanimously.
26

27 **4) Advice & Comment**
28

29 **A) Apartments – 104 Emerald Street**
30

31 Mr. Clements advised that the applicant was not present. In response to a question from Chair
32 Fleming, Mr. Clements stated that the application provided information about proposed changes
33 to the interior of the building but little information on proposed changes to the exterior of the
34 building. At Mr. Clements' recommendation, Chair Fleming declined to have the Commission
35 discuss the application without the applicant present to provide more information. He did,
36 however, ask Mr. Clements for clarification about whether the existing building is a two-story or
37 three-story building. Mr. Clements speculated the roof would have to be raised to make the third
38 floor usable as apartments.

39

40 **5) Public Hearing**

41

42 **A) COA-2016-01, Modification #2 – 85 Emerald Street – Exterior Renovations:**
43 **Applicant and owner 85 Emerald Street LLC, proposes exterior renovations to the building**
44 **at 85 Emerald St (TMP #584-072-000), including residing the building, renovating the**
45 **existing entrances, and replacing the existing windows with new larger windows. The**
46 **property is ranked as a Non-Contributing Resource and is located in the Downtown**
47 **Growth District.**

48

49 Chair Fleming read the above summary into the record and asked Mr. Clements if the application
50 was complete. Mr. Clements responded that the applicant requested an exemption from
51 submitting a proposed conditions plan. Staff concluded that exempting the plan has no bearing
52 on the merits of the application and recommended the Commission grant the exemption and
53 accept the application as complete.

54

55 Ms. Cunha-Vasconcelos made a motion to grant the exemption and accept the application as
56 complete. Mr. Ferrantello seconded the motion. The motion passed unanimously.

57

58 Chair Fleming commenced the public hearing and invited the applicant to introduce herself and
59 discuss the project. Debra Rivest stated that she has owned the building for about six years.

60

61 It was originally used for coal storage, and before or during the 1950s, the building was
62 expanded using cinder block construction. Over the years, upgrades have been made. It has been
63 used for office space, including for doctors, lawyers, a plumbing and heating business, and a
64 drug testing business. The building still has single pane windows from the 1970s. Not much has
65 been done to the building since then, although she has replaced the roof and installed solar panels
66 and a new heating system. The building needs more natural light, so she would like to replace the
67 small windows with larger ones, especially on the southern and western sides of the building.
68 This will help reduce electricity costs. She wants to replace the siding on the building. She wants
69 to pave the hard pack parking lot to reduce ongoing maintenance costs. She wants to renovate the
70 exterior so she can lease out units to different businesses.

71

72 Chair Fleming asked about the second floor with small windows. Ms. Rivest responded that it is
73 office space. She has already replaced the fluorescent lights with LED lights to reduce energy

74 use. Chair Fleming noted how fortunate it is that the building has ample parking. He asked about
75 the proposed garage door on the west side of the building. She responded that it is an existing
76 garage door, noting there is not a lot of ceiling height, and she wants to keep a wide doorway as a
77 selling point to potential tenants needing a wide doorway, like contractors, appliance stores, or
78 furniture stores.

79
80 There being no questions for Ms. Rivest from the Commission, at Chair Fleming's invitation,
81 Mr. Clements provided a staff report on the application. He noted that the building is currently
82 utilized as a mixed-use tenant space. The applicant is proposing to upgrade the existing façade
83 with cement clapboard, replace the windows with energy efficient options, and enlarge the
84 window openings to allow more light into the spaces. The existing parking lot will be repaved in
85 the same configuration. There are existing mechanical units located at the northwest corner of
86 the building. The mechanicals will be moved to the eastern side of the building and screened
87 from view using the same materials as the proposed facade.

88
89 Mr. Clements noted the building is a noncontributing resource, so the regulations are not as
90 strict. He stated HDC Regulation 21.6.2.A, which provides, "Materials used for siding shall be
91 those that are common in the district. Acceptable materials include brick, stone, terra cotta,
92 wood, metal and cement clapboard," is relevant. Ms. Rivest is proposing to use cement clapboard
93 siding and metal awnings. Mr. Clements concluded that it appears the project meets the standard.

94
95 He further reported that HDC Regulation 21.6.2.D, which provides, "Alterations shall not further
96 disrupt or detract from the established historic architectural character of the surrounding area, nor
97 to the relationship of any existing historical resources, including site features, on the site," is
98 relevant. He noted the surrounding buildings include commercial strip malls and residential
99 mixed-use buildings and use a variety of materials, including cinder block and brick
100 construction. He noted the building across the street at 80 Emerald Street is currently an
101 unranked brick construction apartment building with a notable façade with many large windows.
102 He asked the Commission to deliberate and determine whether the proposed façade meets the
103 standard.

104
105 Mr. Clements indicated it might be appropriate to condition approval on Ms. Rivest providing
106 more information on the lighting fixtures she proposes to use. She responded that she could
107 return when she is able to obtain the cut sheets for them but before she starts work on the project.
108 He told her including the condition would mean she would not have to do so; she would just
109 have to provide the cut sheets to him to make sure they meet the City's Site Development
110 Standards. Ms. Rivest also noted that the metal beam across the second floor of the building has
111 to stay for structural purposes, so she decided to include large windows above and below the
112 beam.

113
114 Chair Fleming sought questions from the public. There were no questions. He therefore closed
115 the public hearing, so the Commission could deliberate.

116

117 Mr. Ferrantello expressed his opinion that the proposed project does not fit into the
118 neighborhood but that the regulations allow the use of cement clapboards and large windows
119 because the building is noncontributing resource. He does not believe it detracts from the area,
120 though. Chair Fleming commented on the wood brackets Ms. Rivest is proposing to add to the
121 exterior of the building, which seem to correspond with the large wooden silos nearby.
122

123 Ms. Cunha-Vasconcelos made a motion to approve COA-2016-01, Mod. 2, exterior renovations
124 including residing the building, renovating the existing entrances, and replacing the existing
125 windows with new larger windows on the property located at 85 Emerald Street, as presented in
126 the plan set titled “Exterior Renovations for 85 Emerald St” prepared by kcs Architects, with a
127 scale of ¼” = 1’, and application and supporting materials received February 10, 2023 with the
128 following condition subsequent: Prior to the issuance of a building permit, a cutsheet of the
129 proposed lighting fixture, that meets the City’s lighting site development standards, shall be
130 submitted to the Community Development Department for review and approval. Councilor
131 Workman seconded the motion. The motion passed unanimously.
132

133 Ms. Rivest thanked the Commission. She said she hopes to complete the project by fall, but the
134 dearth of available contractors could delay completion. In response to Chair Fleming’s inquiry,
135 Mr. Clements stated the approval is good for at least one year and can be easily extended, if
136 necessary. He advised Ms. Rivest that he would send her more information with the Certificate
137 of Appropriateness.
138

139 **A) COA-2009-24, Modification #2 – 24 Vernon Street – Monadnock Peer**
140 **Support – Exterior Renovations: Applicant and owner Monadnock Area Peer Support**
141 **Agency, proposes exterior renovations to the building at 24 Vernon St (TMP #568-058-**
142 **000), including changes to the exterior siding, the creation of a new primary entrance, the**
143 **replacement of all existing windows, the installation of a rooftop solar array, and a rooftop**
144 **garden space. The property is 0.28 ac and is ranked as a Primary Resource in the**
145 **Downtown Core District.**
146

147 Chair Fleming read the above summary into the record and asked Mr. Clements if the application
148 was complete. Mr. Clements responded that the applicant requested an exemption from
149 submitting product specification sheets. Staff concluded that exempting such sheets have no
150 bearing on the merits of the application and recommended the Commission grant the exemption
151 and accept the application as complete.
152

153 Councilor Workman made a motion to accept the application as complete with the requested
154 exemption. Mr. Ferrantello seconded the motion. The motion passed unanimously.
155

156 Chair Fleming opened the public hearing and invited the applicant representatives to introduce
157 themselves and discuss the project. Christine Allen, executive director of Monadnock Peer
158 Support Agency (“the Agency”), and Timothy Samson, Samson Architects, introduced
159 themselves. They distributed some handouts to the Commission.

160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201

Ms. Allen explained that the Agency’s 13,000-square-foot building includes a peer support agency and crisis center. The Agency received a \$750,000 Community Development Block Grant (CDBG) to make improvements to the building to comply with the Americans with Disabilities Act (ADA). The Agency was invited to apply for a \$1,000,000 Community Development Finance Authority (CDFA) grant, as well. It plans to submit a CDFa grant application the next day. Ms. Allen is confident the Agency will receive the grant.

Ms. Allen stated the building is a historic building. In meeting with Commission about three months prior, there was a recommendation for the Agency to bring the façade of the building back to its original appearance. The Agency was unable to find any photographs of the original building, though. The building is across from the Keene Fire Department. White vinyl clapboard covers the brick underneath. Keene Housing and 911 dispatch are adjacent to the building. The Agency wants to match those buildings’ brick façades, so the three buildings look like one building again, as it was in the past.

Mr. Samson stated the Agency initially planned to cover the building with a new brick façade and install new windows. The Agency submitted a sample brick that is a close match to the brick on the other buildings. At that time, the Agency did not know there was brick under the clapboards. He noted that the grey area below the clapboards appears to be constructed of 8-inch-by 16-inch concrete masonry units (CMUs). Per Ms. Allen, the Agency received a quote from Bergeron Construction to reface the entire building with brick, but doing so may not be necessary. She noted that the Agency plans to replace the door with a door similar to that of Keene Housing, so the three adjacent buildings look uniform. Mr. Sampson noted the Agency is hoping the original lintels and sill blocks are salvageable. In response to Chair Fleming’s inquiry, Ms. Allen responded that the Agency wants to save as much brick as possible. She is not certain about the condition of the bricks underneath the clapboard, although they appear the same as the brick on the adjacent buildings and in good condition overall. She noted, however, that there might be damage from wood being nailed into some of the bricks. The Agency plans to preserve as much original brick as possible and make sure the building looks continuous with the adjacent buildings.

Chair Fleming asked if there were any questions for the Agency representatives. Mr. Ferrantello opined that the brick might be in decent condition, since it has been covered with clapboards, but noted it would take some discovery to determine the condition of the 100-year-old bricks. Ms. Allen noted that the quote the Agency received assumed that all the brick would be replaced, but the Agency now plans to keep as much of the original brick as possible and match any new brick to the old brick.

Chair Fleming asked about the CDBG the Agency received. Ms. Allen responded that the project is shovel ready. The Agency did a lot of work for the CDBG application, including an environmental assessment, energy audit, and traffic study. This will help with getting the CDFa

202 grant. Indeed, the Agency is using the CDBG grant as the match for the CDFA grant. Ms. Allen
203 expressed great confidence about the Agency receiving the CDFA grant.

204
205 Mr. Clements gave a staff report on the project. The Agency proposes to remove the vinyl siding
206 and either repair the existing brick or veneer it with new brick, if necessary. It proposes to install
207 a 3-foot-6-inch parapet wall with a grey concrete façade on the roof. The Agency proposes to
208 remove and fill in the second-floor entrance on Vernon Street. It proposes to install a window in
209 place of the door. It proposes to replace existing windows with energy-efficient windows that
210 match the existing window style. The Agency proposes to build an elevator bulkhead and stair
211 tower on the roof with a brick façade. It proposes to install a garden area and solar panels on the
212 roof, which will be screened from view by the parapet wall.

213
214 Mr. Clements continued that HDC Regulation 21.6.3.A.3, which provides, “All architectural
215 changes shall be appropriate either to the original style or appearance of the building or structure
216 (if it has not been significantly altered) or to its altered style or appearance (if it has been altered
217 within the Period of Significance and those alterations have attained significance),” is applicable.
218 He stated that it appears the project meets the standard, as it would bring the building’s façade in
219 line with the appearance of adjacent buildings.

220
221 Mr. Clements stated that HDC Regulation 21.6.2.A.4, which provides, “Alterations shall not
222 disrupt or detract from the established historic architectural character of the surrounding area, nor
223 to the relationship of any existing historical resources, including site features, on the site,”
224 applies. He noted that it appears the project’s exterior changes would be consistent with
225 surrounding buildings and that the proposed rooftop mechanicals and solar panels would be
226 screened from view. He asked the Commission to deliberate and determine whether the project
227 meets this standard.

228
229 He further stated that HDC Regulation 21.6.3.E.1, which provides, “Historic doors, entrances
230 and porches, including their associated features, shall be retained or replaced in kind. If repair is
231 necessary, only the deteriorated element shall be repaired, through patching, splicing,
232 consolidating, or otherwise reinforcing the deteriorated section. If replacement is necessary, the
233 new feature shall match the original in size, design, texture, color, and, where possible, materials.
234 The new feature shall maintain the same visual appearance as the historic feature,” applies. He
235 noted that the main entryway and door the Agency proposes to remove is a covered stairwell
236 with a vinyl-clad covering and faux Greek columns that does not match the surrounding
237 buildings. He asked the Commission to deliberate and determine whether the entrance is historic
238 in nature, provides value to the district, and is worth preserving.

239
240 Mr. Clements stated he does not believe any conditions need to be placed on approval. He had
241 some concerns about the brick, but he is satisfied that the intent is to bring the façade back to its
242 original character, consistent with the adjacent buildings.

243

244 Chair Fleming sought questions for staff and then from the public. There were none. He
245 therefore closed the public hearing, so the Commission could deliberate.

246
247 Ms. Cunha-Vasconcelos stated that the door and window changes appear consistent with the
248 character of the surrounding neighborhood. Mr. Ferrantello expressed that he likes the efforts to
249 make the building's facade match the adjacent buildings' brick facades, so they look consistent.
250 He commended the proposed parapet wall to hide the roof from view. He stated he believes the
251 project meets the HDC Regulation 21.6.3.A.3 standard. Chair Fleming noted the current building
252 sticks out like a sore thumb.

253
254 Mr. Ferrantello asked dubiously whether there is any historicity to the main entry area and stairs,
255 as he thinks it is high time to remove them. Ms. Allen responded that the building's entrances are
256 not currently ADA compliant, although the back entrance is handicap accessible. She noted there
257 is an external Limited Use/Limited Application (LULA) elevator/wheelchair lift, but accessing it
258 is not user friendly. She noted the Agency has quadrupled its volume of visitors since it moved
259 from Beaver Street, and it could serve more of the community if the building were more
260 accessible. Ms. Allen indicated the internal elevator and stairs would be more accessible with the
261 change.

262
263 Chair Fleming asked about the parking situation. Ms. Allen responded that it is not good. She
264 noted, however, that most of the Agency's members do not have cars, but most of their staff do.
265 Councilor Workman noted that eliminating the stairs could open up more parking. Ms. Allen
266 noted the Agency had an accessibility audit performed, which recommended installing a not-too-
267 steep 15-foot ramp matching the pavement.

268
269 Ms. Cunha-Vasconcelos made a motion to approve COA-2009-24, Mod. 2, exterior renovations
270 including changes to the exterior siding, the creation of a new primary entrance, the replacement
271 of all existing windows, the installation of a rooftop solar array, and a rooftop garden space on
272 the property located at 24 Vernon Street, as presented in the plan set titled "Facility
273 Improvements" prepared by Sampson Architects, with a scale of 1/4" = 1', dated February 27,
274 2023 and application and supporting materials received February 27, 2023 with no conditions.
275 Councilor Workman seconded the motion. The Commission briefly discussed whether to
276 condition approval on the Agency providing brick samples and noted the Agency had already
277 done so. The motion passed unanimously.

278
279 Responding to Ms. Allen's inquiry, Mr. Clements stated he would try to get her written
280 confirmation of the approval the next day for purposes of the Agency's CDFR grant application.

281
282 **6) Staff Updates**

283
284 Mr. Clements reported that budget season is underway.

285

286 He further reported that the grant application for the Gilbo Avenue Inventory project is due in
287 June. He has submitted a letter of intent for the grant. He has met with the New Hampshire
288 Division of Historic Resources. He is working on getting bids for the project.

289

290 **7) New Business**

291

292 There was no new business.

293

294 **8) Upcoming Dates of Interest**

295

296 **A) Next HDC Meeting: May 17, 2023 – 4:30 PM, TBD**

297

298 Mr. Clements stated that he received no applications for the meeting, so it most likely will not
299 take place. If it does, it will be at the Recreation Center, as the Budget Committee will be using
300 Council Chambers then.

301

302 **B) HDC Site Visit: May 17, 2023 – 3:30 PM (To be confirmed)**

303

304 **9) Adjournment**

305

306 There being no further business, Chair Fleming adjourned the meeting at 5:33 PM.

307

308 Respectfully submitted by,
309 Wendy Chen, Minute Taker

310

311 Reviewed and edited by,
312 Evan J. Clements, AICP - Planner

STAFF REPORT

COA-2023-03 – 18 Summer Street – Bathroom/Closet Addition

Request:

Applicants and owners Michael & Jennifer Zoll, propose to construct an ~220 sf addition to the existing ~2,272 sf house on the property at 18 Summer St (TMP #568-024-000). A waiver is requested from Section 21.6.3.C.1 of the Land Development Code regarding the requirement that historic rooflines shall not be altered. The property is 0.18 ac and is ranked as a Contributing Resource in the Downtown Transition District.

Background:

The 18 Summer St. property is located on the south side of Summer St. between the Court St. and Middle St. intersections. The house is a gable-front style Greek Revival built in 1865 and is known as the Taft House. The architect and builder of the house was Henry Chapman and features a front gable roof, clapboard siding, and brick chimney. James S. Taft owned the home from 1865 to 1872. Taft is best known for pottery that he made with his uncle out of an old clothespin factory on Main St. The J.S. Taft & Co. produced Hampshire Pottery, now highly prized by collectors.

The request is to add an ensuite bathroom and closet to a converted bedroom located to the rear of the house to create a master bedroom. The proposed ~220 sf addition will create a “bump out” on the second floor of the house. There is an existing addition on the first floor that the proposed addition will sit on top of and fill in the architectural gap that was left by the older addition. The project also includes adding a pitch to the existing flat roof above the entry way.



Fig. 1: Aerial view of 18 Summer St. outlined in yellow

The applicant has submitted a waiver request from Section 21.6.3.C.1 of the Land Development Code regarding the requirement that historic rooflines shall not be altered.

Per Sections 21.4.2 this work is classified as a “Major Project” for review by the HDC.

Completeness:

The applicant requests an exemption from submitting a site plan and product specification sheets. After reviewing each request, staff has determined that exempting the applicant from submitting this information would have no bearing on the merits of the application and recommends that the Historic District Commission grant these exemptions and accept the application as “complete.”

STAFF REPORT

Application Analysis:

Included below is an analysis of the relevant standards of the HDC Regulations.

21.6.3 Specific Standards for Primary and Contributing Resources – C. Roof and Roof Structures

- 1. The original or historic roofline shall not be altered. Raising or lowering the existing roofline shall only be allowed for the purpose of restoring the roof to its original profile.** – The applicant states in their waiver request that the flat roof area is only a small portion of the entire roof and has contributed to maintenance issues such as ice dams and water leaks. The applicant also noted that they looked at various roofs within their neighborhood and only found one other house that had a flat roof. Other houses in the district with additions similar to their entry way all have pitched roofs. A recent home energy audit was completed for the home and there was significant loss of heating through the flat roof. When reviewing the waiver request, the Board should consider the following waiver criteria:



Fig. 2: Existing flat roof and area where addition is to be constructed – chimney no longer existing

- 1. Strict application of these regulations would result in a particular and exceptional difficulty or undue hardship upon the owner of the affected property; and*
- 2. An alternative design or materials meets the design objectives stated in the Historic District Regulations of this LDC equally well or better than would strict compliance with these regulations; and*
- 3. The waiver may be granted without substantial detriment to the intent of the Historic District Regulations and the public good.*

STAFF REPORT

21.8 Construction of New Additions – 21.8.1 Primary and Contributing Resources

- A. Additions shall not radically change, obscure, damage, or destroy character-defining features.** – The applicant states in their narrative that the new addition will blend with the existing ground floor addition. This will fill in the gap and allow the structure to appear more complete. The Board will need to determine if this standard has been met.



Fig. 3: Proposed addition highlighted in red circle

- B. Additions shall be designed to be compatible with, rather than imitative of the design of the historic building, so that they are clearly identified as new construction.** – The applicant states in their narrative that the proposed addition will be compatible with the historic design of the home by keeping with the same form and materials as the existing house but will also add a sense of completeness by smoothing and filling out the nonfunctional and “odd” gap that the entry way addition has left. The Board will need to determine if this standard has been met.
- C. Additions shall be compatible in size and scale with the main building.** – The applicant has stated in their narrative that the size and scale of the proposed addition will fit in with the form of the existing house and is compatible with the historic style of the building. It appears that this standard has been met.
- E. Whenever possible, additions shall be located at the rear or on an inconspicuous side of the building.** – The proposed addition is located on the rear and side of the existing house. It appears that this standard has been met.
- F. Additions shall take into account the historic relationships of existing buildings and site features on the site.** – The applicant states in their narrative that the proposed addition is historically consistent with the house and site features. The building footprint is not being expanded by the addition. It appears that this standard has been met.

STAFF REPORT

- G. Materials used for siding on additions shall be compatible with existing materials on the building and shall be those that are common in the Historic District. Acceptable materials include brick, stone, terra cotta, wood, metal and cement clapboard.** – The applicant states in their narrative that the existing house has cedar wood siding and that the addition will be sided and painted to match. It appears that this standard has been met.
- I. Additions shall reflect the context of surrounding historic buildings or structures and not detract from the overall character of the Historic District.** – The applicant states in their narrative that the proposed addition “...contemplates and echoes the historic nature of proximate historic houses and seeks to be compatible with their design.” The Board will need to determine if this standard has been met.

Waiver:

If the Board is inclined to approve the waiver request, the following motion is recommended:

“Approve the waiver request from Section 21.6.3.C.1 of the Land Development Code to allow for the alteration of an existing flat roof to be pitched where the requirement that historic rooflines shall not be altered is normally required.”

Recommendation:

If the Board is inclined to approve this request, the following motion is recommended:

“Approve COA-2023-03 to allow for the construction of a ~220 sf addition and alteration of an existing flat roof to a pitched roof on the property located at 18 Summer St., as presented in the plan set titled “Master Bedroom Remodel & New Master Bathroom Addition” prepared by Larkin Designs & Consulting LLC, dated 5/31/23, at a scale of 1/4” = 1’ and in the application and supporting materials dated 6/16/23 and 6/30/23 with no conditions.”



City of Keene, NH

Historic District Commission (HDC) Major Project Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keeneh.gov

SECTION 1: PROJECT INFORMATION

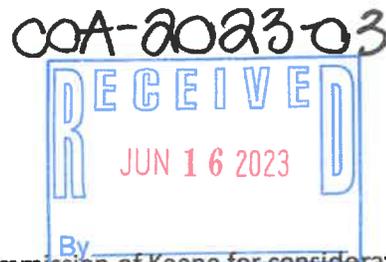
PROJECT NAME: Bathroom/Closet Addition

PROJECT ADDRESS(ES): 18 Summer Street, Keene, NH 03431

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER	APPLICANT
NAME/COMPANY: Michael/Jennifer Zoll	NAME/COMPANY: Michael Zoll
MAILING ADDRESS: 18 Summer St.	MAILING ADDRESS: 18 Summer St.
PHONE: 603-852-6942	PHONE: 603-852-6942
EMAIL: michaeljzoll23@gmail.com	EMAIL: michaeljzoll23@gmail.com
SIGNATURE: <i>Michael Zoll</i>	SIGNATURE: <i>Michael Zoll</i>
PRINTED NAME: Michael & Jennifer Zoll	PRINTED NAME: Michael Zoll
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:
NAME/COMPANY:	TAX MAP PARCEL #(s): 568-024-000000-000
MAILING ADDRESS:	-----
PHONE:	PARCEL SIZE: 0.73ac
EMAIL:	ZONING DISTRICT: Downtown Transition
SIGNATURE:	RESOURCE RANKING: Contributing
PRINTED NAME:	PROJECT #: COA-2023-03

RECEIVED
JUN 16 2023
By _____



NARRATIVE

It is a pleasure to submit this application to the Historic District Commission of Keene for consideration. We will weave in requested responses to the statements found in section 21.8.1 of the Land Development Code (noted below in bold italics).

We purchased this 1873 home because of our love for the history it provides as well as our commitment to ensuring it's future through careful upgrades and repairs allowing it to survive long into the future. After years of neglect, we have made it our mission to restore this home to it's grandeur and still allow it to be functional for us as residents. We take our residency in the Historic District seriously and consider it a responsibility to the community to maintain and improve upon what is already there. We are committed to making the home and its grounds extraordinary and an example of loving stewardship of the history of the property.

This application is to add an ensuite bathroom and closet to a converted back bedroom, therefore creating a Master. The current entrance to the bedroom is through a "mini-door" (narrower and shorter than normal; in fact you have to duck to get through it!) and the current closet is a make-shift afterthought and quite small. Additionally, the sole bathroom upstairs currently serves all three upstairs bedrooms; it is small and lacks a bathtub. Our goal is to create an ensuite bathroom/closet that relieves the existing upstairs bathroom capacity challenges.

The proposed addition of an ensuite bathroom and closet will serve to enhance the exterior appearance of the house (as well as interior functionality, as discussed) and will: ***a) not radically change, obscure, damage, or destroy character-defining features; b) be designed to be compatible with, rather than imitative of the design of the historic building, so that they are clearly identified as new construction; and c) be compatible in size and scale with the main building.*** The second-story bathroom/closet addition will organically "sit on top of" and nicely meld into a first floor "bump-out" section of the house that is clearly a post-construction add-on. As such, the proposed addition will serve to "fill-in" and complete an odd and isolated nook area that is currently home to the remnants of a long-retired chimney stack and is in the rear of the house--largely tucked out of way from the street site line. Not only is the proposed addition compatible with the historic design of the home, but it also serves to add a sense of completion to the historic design by smoothing and filling out this not functional and somewhat ugly empty space. As such, the size and scale of the addition fulfills and is wonderfully compatible with the design of the house.

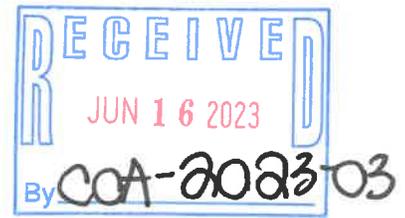
Since the addition is in the rear of the house and does not increase its height, section d) is not relevant to this project. ***d) Additions that alter the front of the building, or that substantially increase the building's height above adjacent or nearby rooflines, shall not be allowed, unless it can be documented that the addition is historically appropriate for the building. If it is necessary to design additions that are taller than the main building, the addition should be set back from the primary or character-defining facades.***

The project directly complies with section e) and f), as the location of the addition is in an inconspicuous, somewhat hidden area at the rear of the house and is historically consistent with site features. ***e) Whenever possible, additions shall be located at the rear or on an inconspicuous side of the building; f) Additions shall consider the historic relationships of existing buildings and site features on the site.***

The type of siding used on the addition will directly match that of the house. The house has recently been re-sided with wood (cedar) siding and the barn will soon also receive the same replacement wood (cedar) siding. **g) Materials used for siding on additions shall be compatible with existing materials on the building and shall be those that are common in the Historic District. Acceptable materials include brick, stone, terra cotta, wood, metal, and cement clapboard. h) Materials commonly referred to as “vinyl siding” are prohibited for use on additions except when the addition is to a building where the predominant existing siding type is vinyl. If the proposed addition is larger than the existing building, only materials that are appropriate to the Historic District shall be used.**

In summary, this project’s design contemplates and echoes the historic nature of proximate historic houses and seeks to be compatible with their design. **i) Additions shall reflect the context of surrounding historic buildings or structures and not detract from the overall character of the Historic District.**

**Request for Waiver
Section 21.6.3, Subsection C.1**



Section 21.6.3 (Specific Standards for Primary & Contributing Resources), Subsection C.1 reads:

“The original or historic roofline shall not be altered. Raising or lowering the existing roofline shall only be allowed for the purpose of restoring the roof to its original profile.”

We are requesting a waiver of this standard. We would like to add a slight pitch to the existing section(s) of our house’s flat roof—as illustrated and described in the project plan.

We are requesting that you consider and grant this waiver for the following reasons:

1. *“Strict application of these regulations would result in a particular and exceptional difficulty or undue hardship upon the owner of the affected property.”*

- The existing flat roof section(s) of our home—which constitutes a minority area of our total roofing area—is subject to significant buildup up of snow because:
 - the roof is flat and without pitch, so snow does not naturally slide off upon warmer temperatures or direct sunlight; and
 - the flat-roof sections face east, west, and north, respectively, and are totally or mostly blocked from the direct melting effect of the sun’s southern exposure.
- As a result, we have experienced water leaks into our interior walls/ceilings as the result of the formation of ice dams—exacerbated by the freeze/thaw process common in the spring. This serves to pond and pool water on the flat roof, eventually forcing the water through seals and joints. Much as we’ve tried to prevent this from occurring, the pooling and ponding of water is winning the battle no matter how hard we persist!
- Additionally, the build-up of snow—often heightened by the formation of snow drifts on the western-facing flat roof and lack of direct sunlight—has caused significant rotting to occur on the wooden fascia, dental molding, and siding of the house.
- We recently completed a home energy audit and discovered a significant loss of heat emanating from the areas of the house covered by the flat roof. We were told that the insulation value for the flat roof area was likely between R-5 and 10 (while the recommended R-value for a roof/attic in Keene’s climate is between R-49 and 60). A pitched roof will facilitate the installation of R-49-60 insulation and, as a result, provide significant heating and cooling efficiency and energy conservation.
- We request your consideration of replacing the flat roof sections of our home with a pitched roof—which would mitigate these issues that have been exceptionally difficult for us and caused an undue hardship.

2. *“An alternative design or materials meets the design objectives stated in the Historic District Regulations of this LDC equally well or better than would strict compliance with these regulations.”*

- We are committed to completing our proposed project of adding a bath and closet—as well as the tertiary task of adding a pitched roof to currently flat-roofed areas—with the highest quality design and materials that are consistent with the HDC regulations.

3. *The waiver may be granted without substantial detriment to the intent of the Historic District Regulations and the public good.*

- In studying the roofs of historic homes in our neighborhood (within the historic district), we were struck by the number of pitched roofs versus flat roofs covering similar “bump out” additions and/or bay windows. In fact, we could find just one other house with a flat roof like ours. We have shared the best pictorial example of a pitched roof on a “bump-out addition” (see next page; this house is located on School Street).
- Indeed, our own attached barn was constructed with a pitched roof! Notably, we’ve had no problems of the sort we’ve experienced with the flat-roofed sections detailed above.
- Because of the critical mass of pitched roofs on bump-out additions and bay windows already on homes in the historic district, we see no substantial detriment to either the HDC regulations or the public good by virtue of our request for waiver of the standard.

In summary, thank you for your consideration of this waiver request to add a pitched roof to our existing flat roof sections. We believe that your support of this waiver will enhance our home’s visual appeal consistent with other homes in the historic district, enhance energy efficiency consistent with recommended values, and result in resistance to the interior and exterior water damage we’ve experienced.



MASTER BEDROOM REMODEL & NEW MASTER BATHROOM ADDITION

PROJECT NOTES:

1. Existing master bedroom roof to be reframed & extended to encompass the new master bathroom 11'x20' addition (refer to plans for details) total new square feet of 220.
2. Remodel the existing master bedroom withj new flooring, wall trim, new transom window and cathedral ceiling (refer to plans for details).
3. extend existitng 1st floor roof over entry & pantry area from a flat to no less than a 4 pitch

- P1. COVER SHEET
- P2. FLOOR PLAN
- P3. ELEVATION PLAN
- P4. FRAMING PLAN
- P5. CROSS SECTION PLAN
- P6. ELECTRICAL/MECHANICAL PLAN
- P7. GENERAL INFORMATION PLAN & (FLAT ROOF PITCH CHANGE INFO.

NUMBER	DATE	REVISION BY	DESCRIPTION

3D VIEW / COVER SHEET

ZOLL PROJECT
18 SUMMER STREET
KEENE NH 03431

DRAWINGS PROVIDED BY:
Larkin Designs & Consulting
LLC
852 RT 12
Westmoreland NH 03467

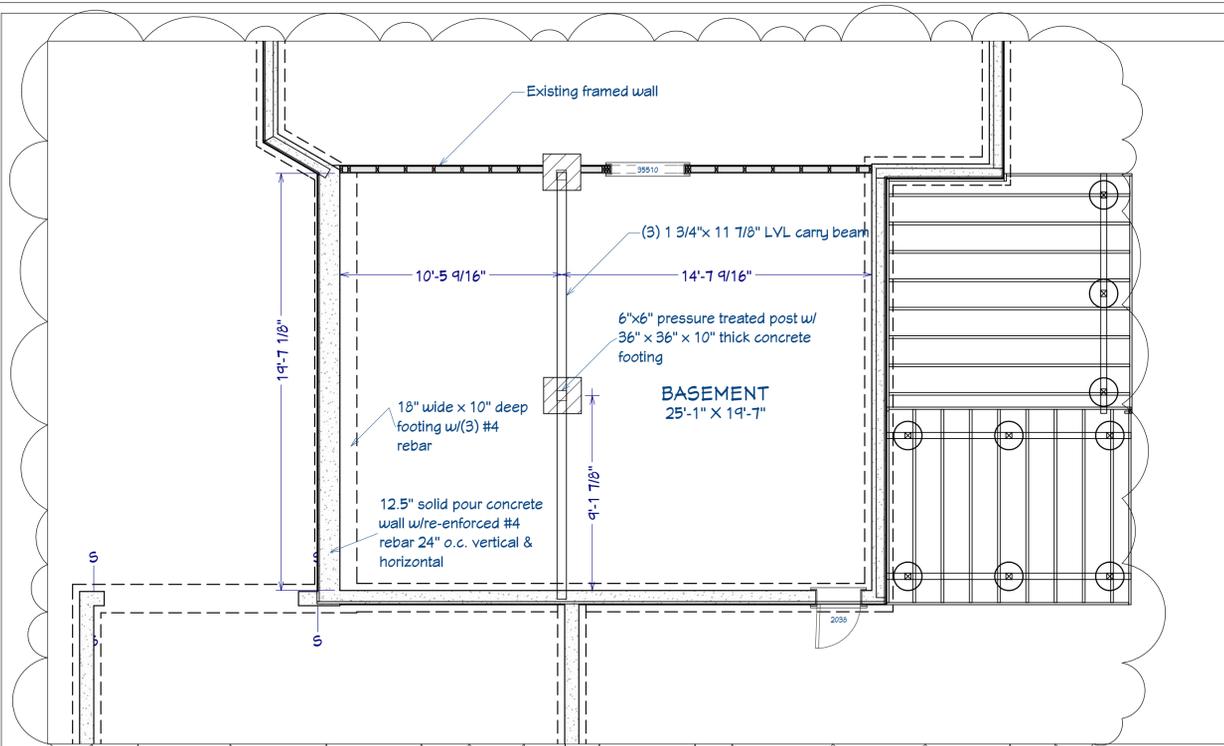
DATE:

5/31/23

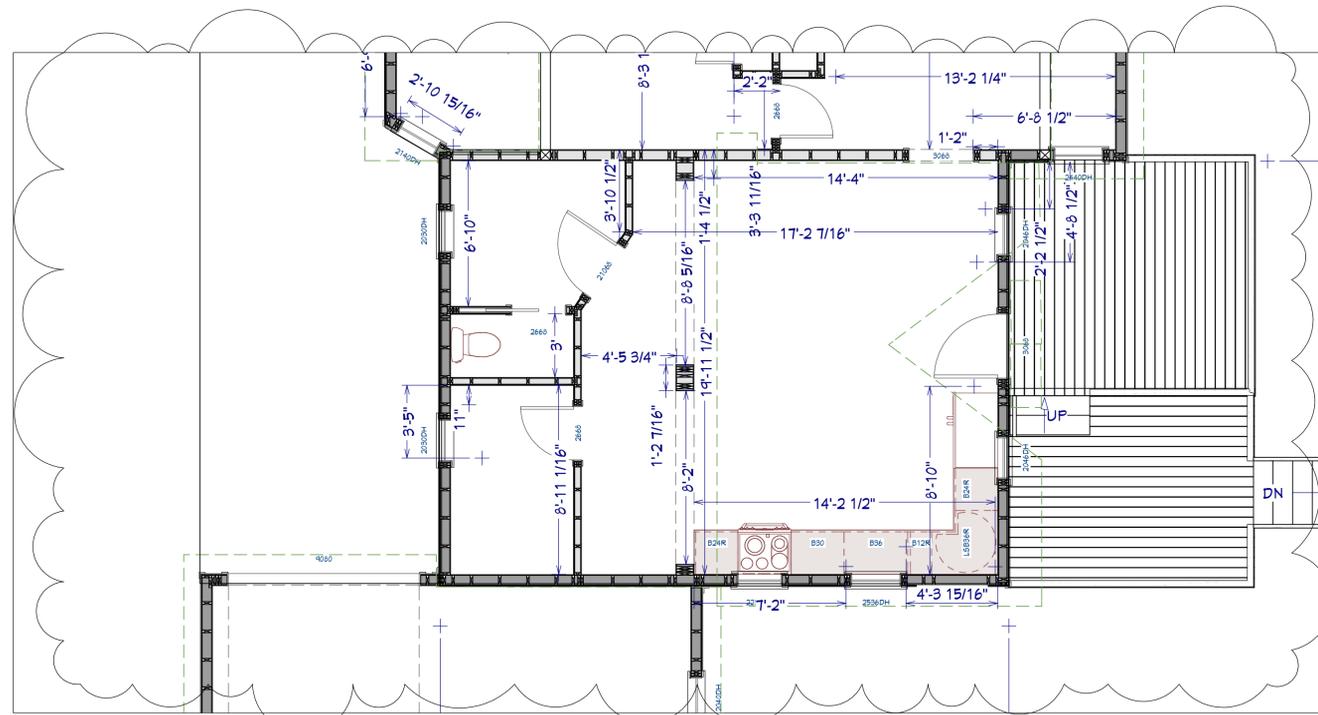
SCALE:

SHEET:

P-1



2(A) EXISTING BASEMENT PLAN VIEW SCALE 1/4" = 1'0"



2 (B) EXISTING 1ST FLOOR PLAN SCALE 1/4" = 1'0"

PROJECT NOTES:

MASTER BEDROOM REMODEL:

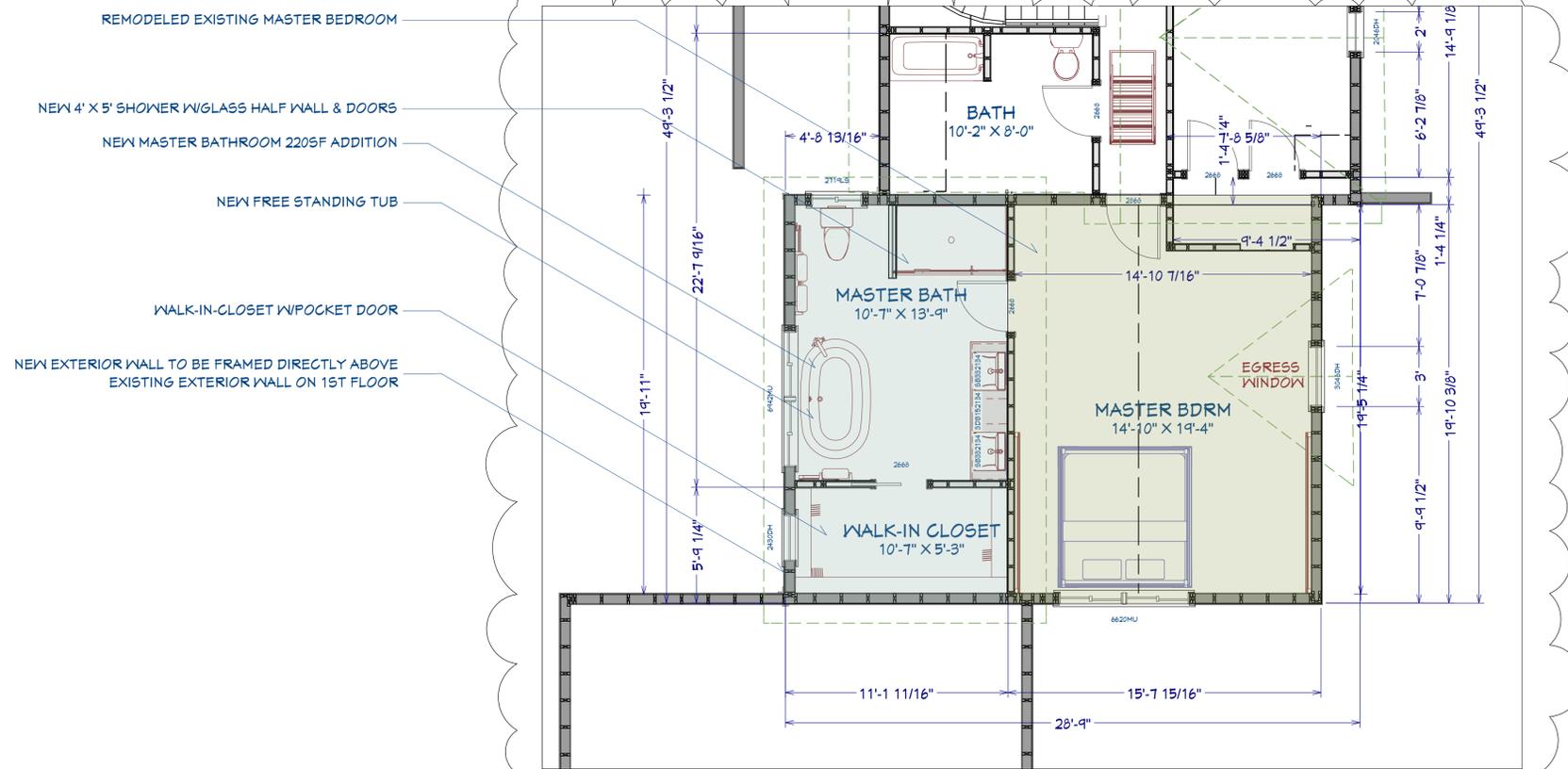
1. THE EXISTING MASTER BEDROOM ROOF RAFTERS WILL BE EXTENDED IN ORDER TO ESTABLISH A NEW RIDGE LINE (SEE CROSS SECTION PLAN PAGE 5 DRAWING 5(B)).
2. MASTER BEDROOM TO HAVE NEW TRANSOM WINDOW INSTALLED ABOVE BED.
3. EXISTING CEILING TO BE RAISED TO APPROXIMATELY 12' WITH A FLAT AREA TO RECEIVE A FAN & RECESSED LIGHTING (ALL FLAT ATTIC SPACE TO HAVE R60 BLOWN-IN ROCKWELL INSULATION. ALL EXISTING SLOPED AREAS THAT ARE AFFECTED BY THE ROOF EXTENSIONS WILL BE FILLED WITH CLOSED CELL POLY FOAM FOR CODE COMPLIANCE OR BLOWN IN ROCKWELL W/PROPER VENT.
4. MASTER BEDROOM TO HAVE NEW INTERIOR TRIM, PAINT AND FLOORING.
5. MASTER BEDROOM FLOOR TO BE REMOVED IN ORDER TO EXPOSE EXISTING 2X8 FLOOR JOIST AND SUPPORT BEAM. ALL EXISTING JOIST TO BE SISTERED W/NEW 2X10 JOIST @ 16"OC. SIMPSON JOIST HANGERS TO BE INSTALLED WHERE NEEDED. NEW ADVANTECH 3/4" T&G FLOOR SHEATHING TO BE GLUED & NAILED (8"OC ON EDGE/ 10"OC BODY) OVER NEW JOIST SYSTEM.
6. ALL AFFECTED EXTERIOR WALLS TO BE ENERGY CODE COMPLIANT W/NEW CLOSED CELL FOAM OR BLOWN-IN ROCKWELL TO ACHIEVE R23
7. ADDITIONAL WIRING/OUTLETS WILL BE REQUIRED ON THE PARTITION WALL TO THE NEW BATHROOM AND FOR ALL ADDITIONAL LIGHTING.
8. HEATING FOR THE MASTER BEDROOM IS EXISTING BUT BECAUSE OF THE AIR VOLUME EXPANSION ADDITIONAL BASEBOARD HEAT REGISTERS WILL BE INSTALLED.

MASTER BATH:

1. NEW 2X10 FLOOR JOIST TO MATCH NEWLY INSTALLED FLOOR JOIST FOR MASTER BEDROOM.
2. NEW EXTERIOR WALLS TO BE FRAMED W/2X6 KD 16"OC, W/7/16" ZIP SYSTEM SHEATHING (GREEN).
3. ALL EXTERIOR WALLS TO HAVE R23 OR GREATER INSULATION.
4. ATTIC SPACE ABOVE TO HAVE R60 BLOWN-IN ROCKWELL INSULATION.
6. ALL INTERIOR WALLS TO HAVE MOISTURE RESISTANT (MR) DRYWALL W/NO LESS THAN 3 COATS OF COMPOUND.
7. EXTERIOR SIDING TO MATCH EXISTING.
8. HEATING SYSTEM IS EXISTING AND WILL ACCOMMODATE THE NEW BATHROOM AND CLOSET AREA.
9. MASTER BATH FLOORS & SHOWER WALLS TO BE TILE.

1ST FLOOR ROOF OVER ENTRY:

1. THE EXISTING ROOF PLANE TO HAVE NEW FRAMING FOR INCREASING THE PITCH FROM FLAT TO A 4 PITCH. THE NEWLY FRAMED ROOF PLANE WILL HAVE STANDING SEAM METAL. ALL AFFECTED SIDING WILL BE REPLACED WITH NEW MATCHING CLAPBOARDS.



1 (C) MASTER BATH ADDITION & MASTER BEDROOM REMODEL SCALE 1/4" = 1'0"

REVISION TABLE	
NUMBER	DATE

FLOOR PLAN

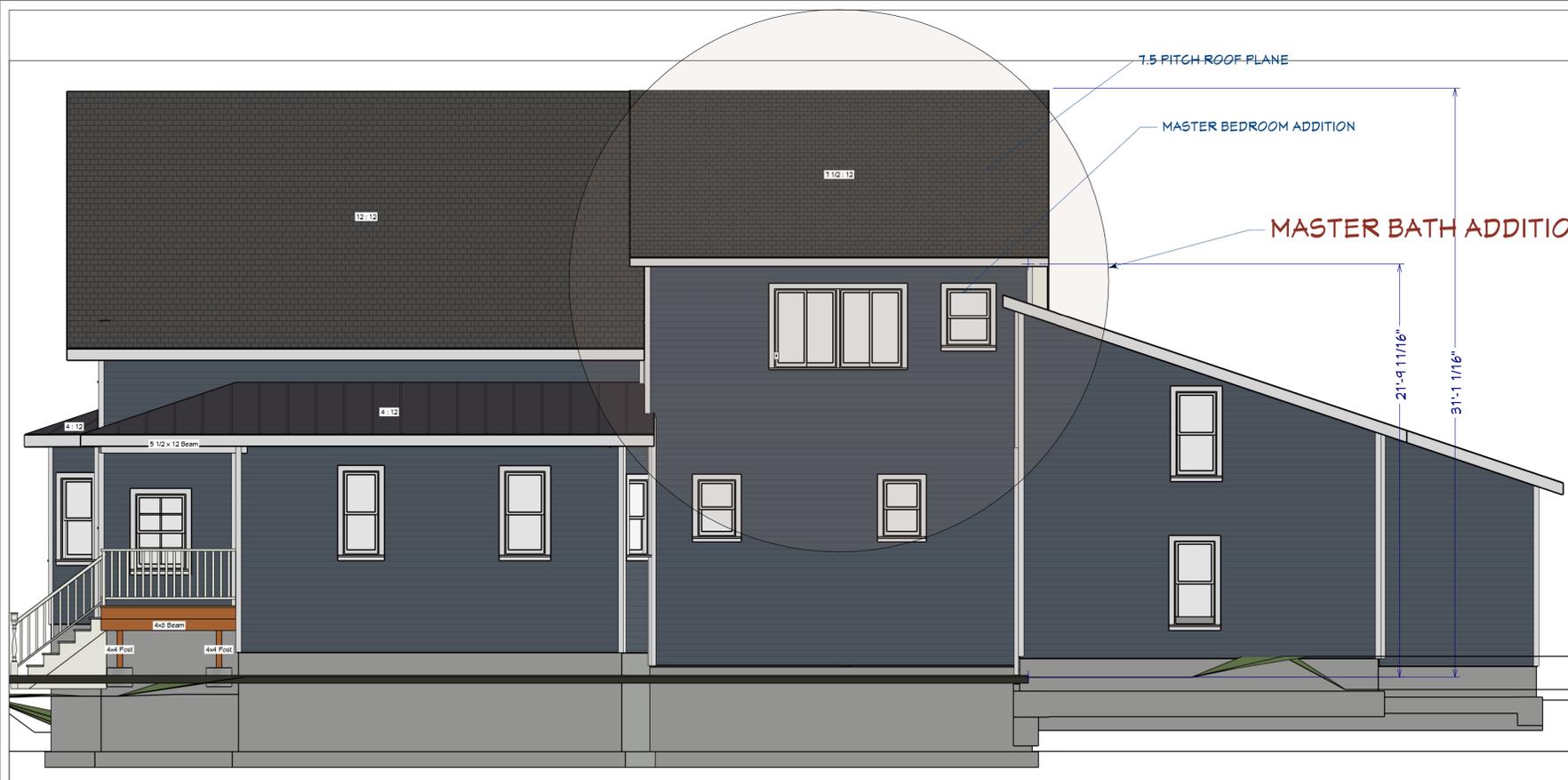
ZOLL PROJECT
18 SUMMER STREET
KEENE NH 03431

DRAWINGS PROVIDED BY:
Larkin Designs & Consulting
LLC
852 RT 12
Westmoreland NH 03467

DATE:
5/31/23

SCALE:
1/4"=1'0"

SHEET:



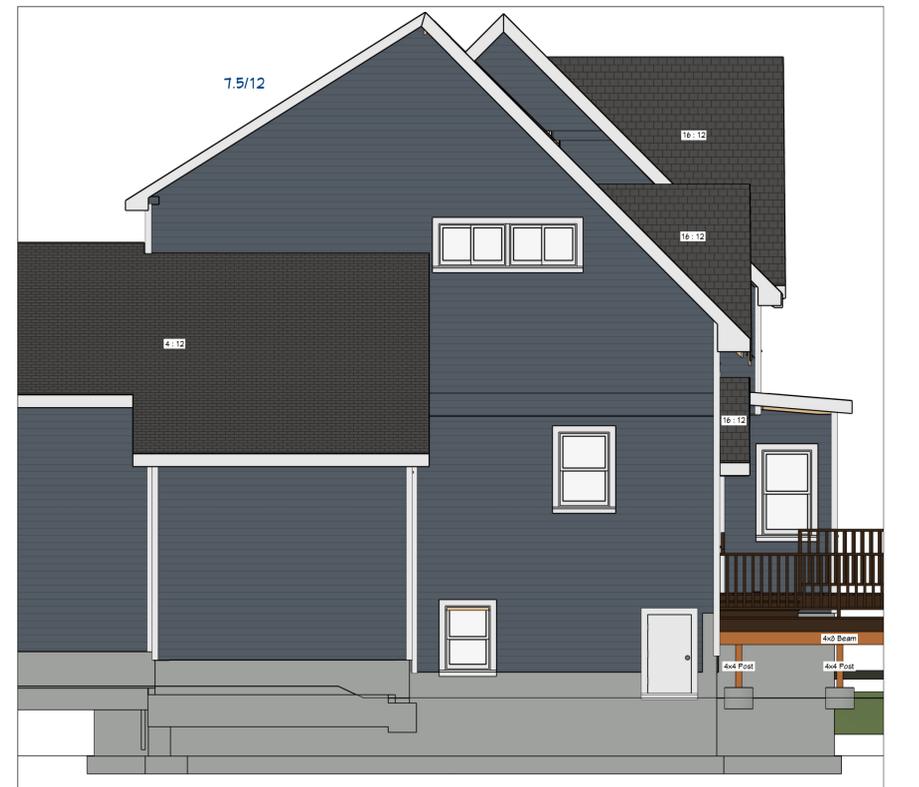
Elevation 1



Elevation 4



Elevation 2



Elevation 3

NUMBER	DATE	REVISION BY	DESCRIPTION

ELEVATION PLAN

ZOLL PROJECT
18 SUMMER STREET
KEENE NH 03431

DRAWINGS PROVIDED BY:
Larkin Designs & Consulting
LLC
852 RT 12
Westmoreland NH 03467

DATE:

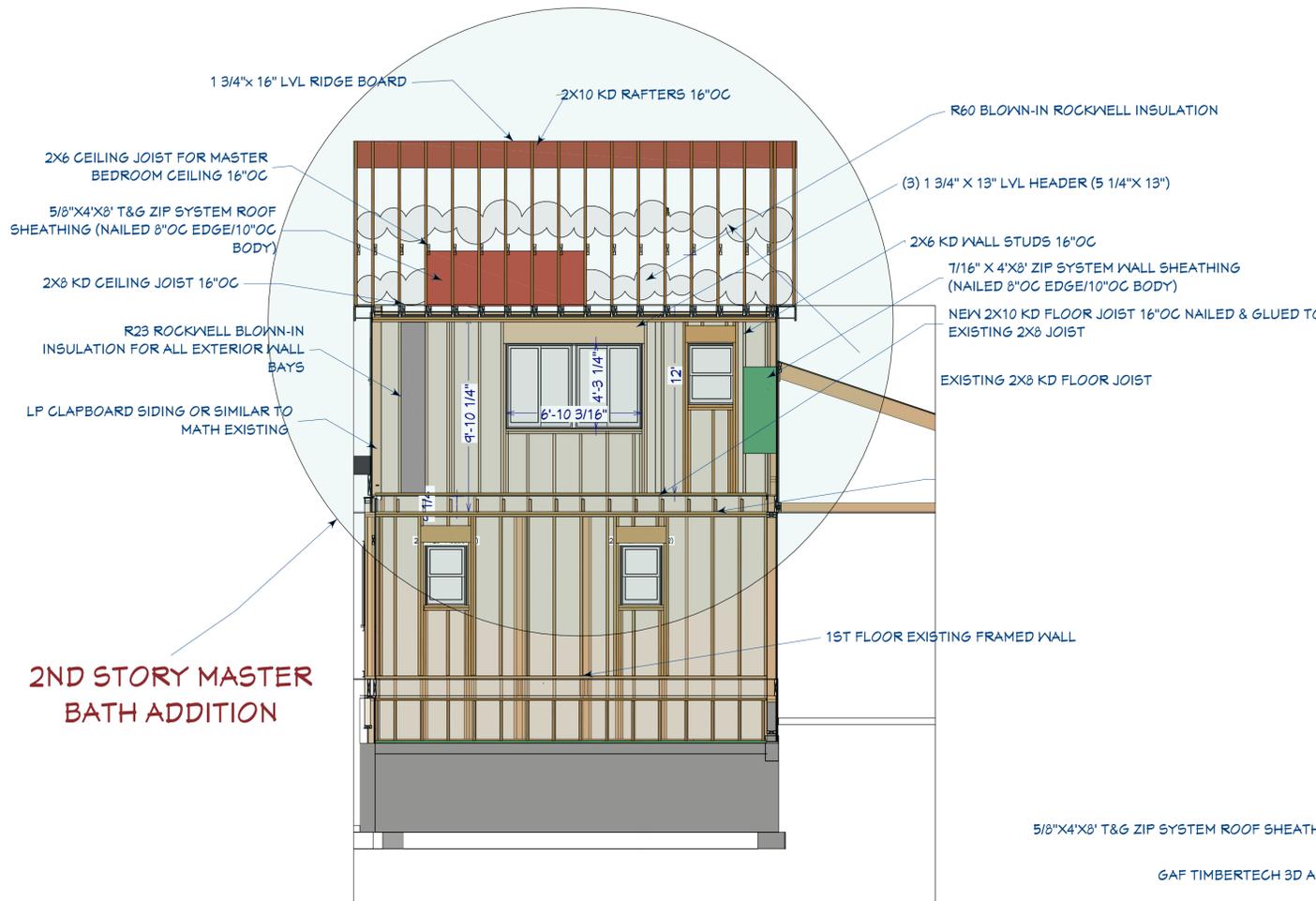
5/31/23

SCALE:

1/4"=1'0"

SHEET:

P3



2ND STORY MASTER BATH ADDITION

(5A) MASTER BATH SOUTH WEST WALL CROSS SECTION SCALE 1/4"=1'0"

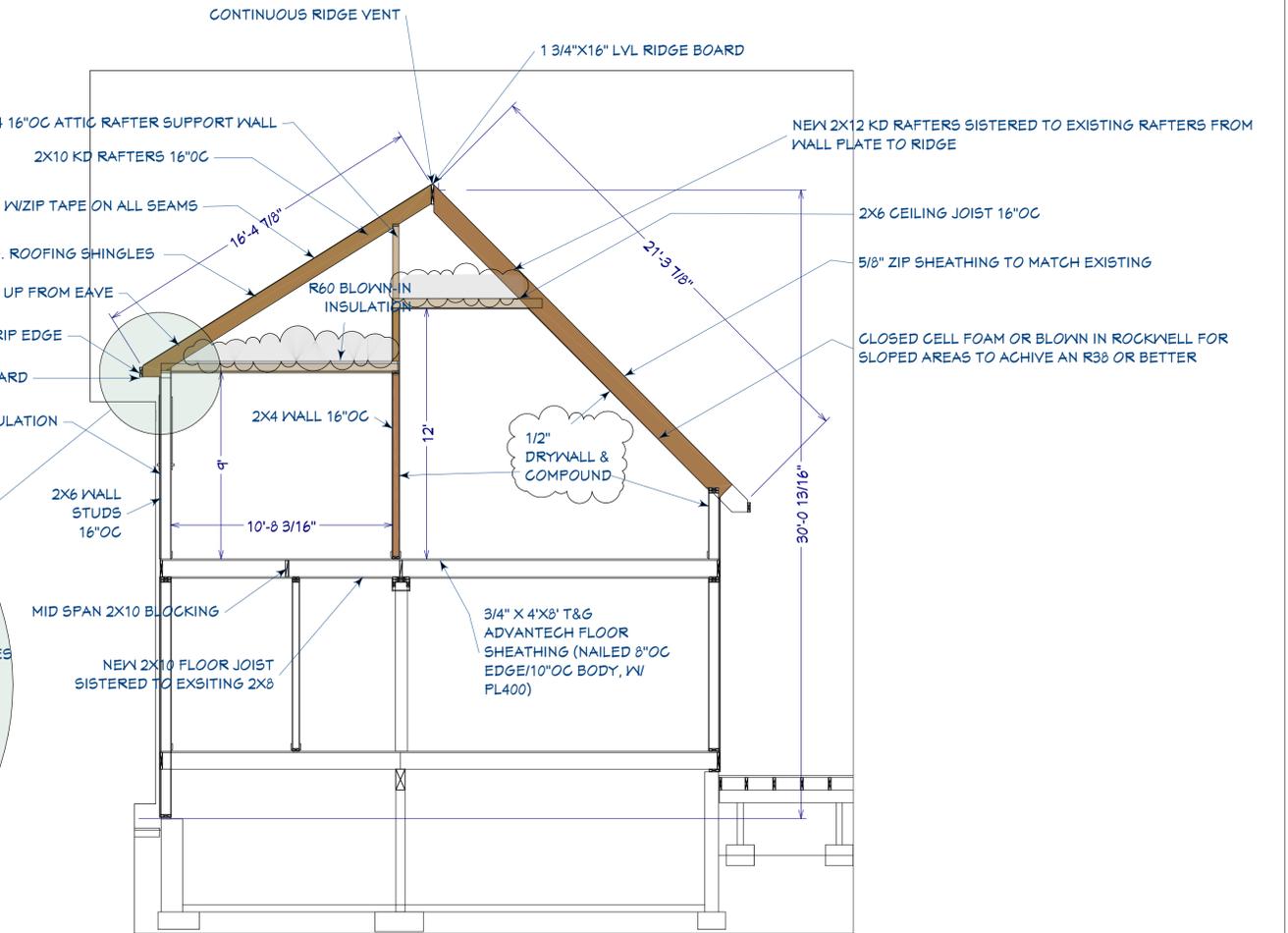
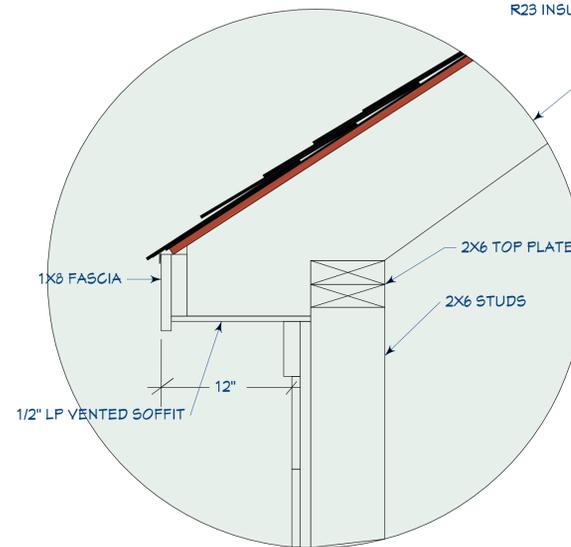
GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2022 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2022 IEC AND 2022 IMC SHALL BE USED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

DESIGN CRITERIA: 2022 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS. INSULATE WASTE LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.



(5B) MASTER BATH & BEDROOM GABLE CROSS SECTION SCALE 1/4"=1'0"

LUMBER SPECIES:

1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
2. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
3. ALL STUDS TO BE DF#2 OR BETTER.
4. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 5. ROOF SHEATHING SHALL BE 5/8" ZIP PLYWOOD
 6. WALL SHEATHING SHALL BE 7/16" ZIP SHEATHING.
 7. FLOOR SHEATHING SHALL BE 3/4" T & G ADVANTECH.
1. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

FRAMING NOTES:

PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

NUMBER	DATE	REVISION BY	DESCRIPTION

FRAMING PLAN

**ZOLL PROJECT
18 SUMMER STREET
KEENE NH 03431**

DRAWINGS PROVIDED BY:
**Larkin Designs & Consulting
LLC**
852 RT 12
Westmoreland NH 03467

DATE:

5/31/23

SCALE:

1/4"=1'0"

SHEET:

P5

ELECTRICAL, DATA, & AUDIO NOTES:

HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

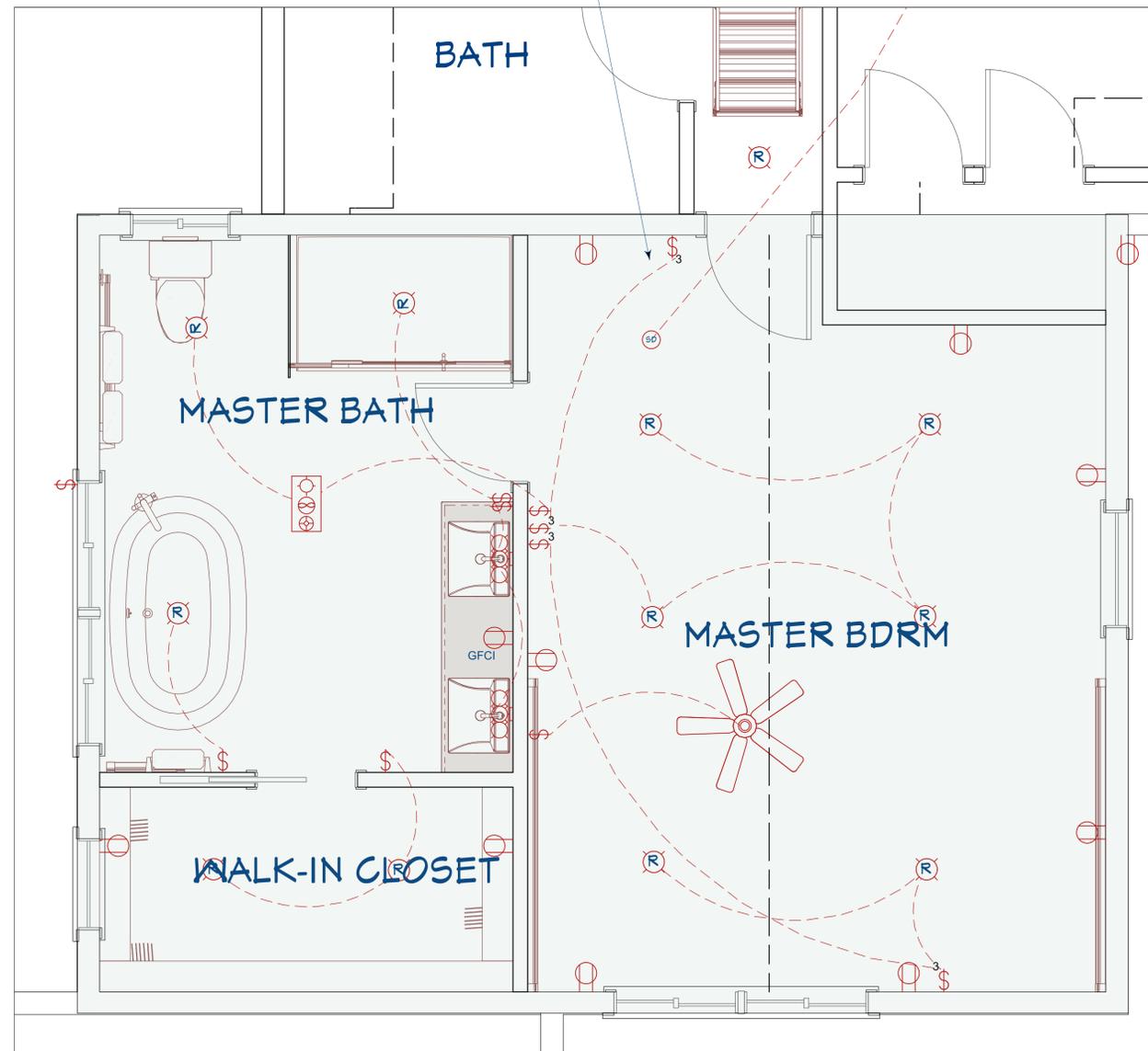
DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL HAVE THREE ZONES, ONE FOR EACH FLOOR.
2. THE FURNACE AND WATER HEATER IN THE BASEMENT WILL SUPPLY HEAT FOR THE PROPOSED ADDITION.
3. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
4. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
5. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
6. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
7. INSULATE WASTE LINES FOR SOUND CONTROL.
8. ALL NEW WATER LINES TO BE PLASTIC PEX SYSTEM WITH CONTROL VALVES. THE NEW LINES WILL BE EITHER CONNECTED TO THE EXISTING ADJACENT BATHROOM OR FED TO THE BASEMENT AS A HOME RUN LINE TO THE HOT & COLD WATER SUPPLY.
9. ALL WASTE LINES WILL BE FED TO THE BASEMENT AND CONNECTED TO THE EXISTING WASTE LINE SYSTEM BY A LICENSED PLUMBER.

WIRED SMOKE DETECTOR WILL BE CONNECTED TO EXISTING HOUSE CIRCUIT



Electrical Plan View

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

NUMBER	DATE	REVISED BY	DESCRIPTION

**ELECTRICAL/
MECHANICAL PLAN**

**ZOLL PROJECT
18 SUMMER STREET
KEENE NH 03431**

**DRAWINGS PROVIDED BY:
Larkin Designs & Consulting
LLC
852 RT 12
Westmoreland NH 03467**

DATE:

5/31/23

SCALE:

1/4"=1'0"

SHEET:

P6

GENERAL NAILING NOTES: (PER IRC TABLE R602.3(1))

JOIST TO SILL OR GIRDER TOE NAIL (3)-8d
 BRIDGING TO JOIST TOE NAIL EA. END (2)-8d
 SILL PLATE TO JOIST FACE NAIL 16d @ 16"OC
 STUD TO SHOE PLATE TOE NAIL (2) 16d
 TOP PLATE TO STUD END NAIL (2)-16d
 DOUBLE STUDS FACE NAIL 16d @ 24" OC
 DOUBLE TOP PLATES FACE NAIL 16d @ 16" OC
 CONTINUOUS HEADER, TWO PIECES 16d @ 16" OC ALONG EA. EDGE
 BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER 16d @ 16" OC ALONG EA. EDGE
 TOP PLATES, LAPS AND INTERSECTIONS FACE NAIL (2)-16d
 CEILING JOISTS TO PLATE TOE NAIL (3)-8d
 CONTINUOUS HEADER TO STUD TOE NAIL (4)-8d
 CEILING JOISTS, LAPS OVER PARTITIONS FACE NAIL (3)-10d
 CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL (3)-10d
 RAFTER TO PLATE TOE NAIL (2)-16d
 1" BRACE TO EACH STUD AND PLATE FACE NAIL (2)-8d
 BUILT-UP CORNER STUDS 16d @ 24" OC
 2" PLANKS (2)-16d @ EA.BRG.
 1/2" PLYWOOD ROOF AND WALL EDGES 8d @ 8" OC
 SHEATHING INTERMEDIATE 8d @ 10" OC
 3/4" PLYWOOD SUBFLOOR W/PL400 ADHESIVE EDGES 8d @ 8" OC INTERMEDIATE 8d @10"OC
 2x MULTIPLE JOISTS - STAGGER @ 15" OC W/(2) @ EA.

DOOR AND WINDOW NOTES:

MASTER BEDROOM SHALL HAVE AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. THE EXISTING MASTER BEDROOM WINDOW ON THE GABLE SOUTHEAST WALL WILL BE REPLACED WITH A CODE COMPLIANT EGRESS DOUBLE HUNG UNIT THAT WILL MEET OR EXCEED THE REQUIRED 5.7SF.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED.

A NEW OPERATING TRANSOM WINDOW WILL BE INSTALLED OVER THE BED AREA IN THE MASTER BEDROOM.

A NEW DOUBLE WINDOW WILL BE INSTALLED IN THE NEW MASTER BATH

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION RIDGE VENT THAT WILL EQUAL OR BE GREATER THAN 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE.

BATHROOM EXHAUST VENTS AND FANS SHALL NE DIRECTLY VENTED OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.



3D OVERVIEW OF THE NEW MASTER BATH AND RENOVATED MASTER BEDROOM

THE EXISTING FLAT ROOF SECTION MUST BE INCREASED TO A 4 PITCH FOR THE PURPOSE OF ATTACHING TO THE NEW ADDITION FOR PROPER RUN OFF OF WATER AND SNOW.

NEW 2X6 RAFTERS 16"OC W/2X8 WALL LEDGER. EACH RAFTER WILL BE SECURED WITH SIMPSON H2.1 METAL TIES

NEW ZIP SYSTEM ROOF SHEATHING, ICE & WATER EAVE MEMBRANE, DRIP EDGE AND METAL STANDING ROOF PANELS WILL BE APPLIED.



NUMBER	DATE	REVISION BY	DESCRIPTION

SPECIFICATION SHEET/GENERAL INFO

**ZOLL PROJECT
 18 SUMMER STREET
 KEENE NH 03431**

**DRAWINGS PROVIDED BY:
 Larkin Designs & Consulting
 LLC
 852 RT 12
 Westmoreland NH 03467**

DATE:

5/31/23

SCALE:

1/4"=1'0"

SHEET:

P7



RECEIVED
JUN 30 2023
COA-2023-03



CEDAR SIDING



ZOLL PROJECT
18 SUMMER ST.



TRIM

Zoll Proposal – 18 Summer St.



School Street

RECEIVED
JUN 16 2023
By
COA-2023-03