



City of Keene Minor Project Review Committee

Pre-submission Meeting

AGENDA

Thursday, March 28, 2024 9:00 AM City Hall, 2nd Floor Conference Room

I. **Call to Order** – Roll Call

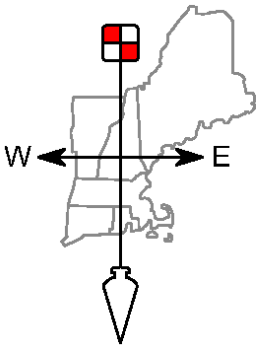
II. **Scheduled Pre-submission Inquiries**

- a. **Conceptual Site Plan Application**- The ~0.74-ac parcel at 510 Washington St (TMP# 532-003-000) is owned by OM 510 Washington St LLC and is located in the Commerce District.
- b. **Conceptual Site Plan Application** – The two parcels at 0 Black Brook Rd (TMP#s 221-023-000 & 221-024-000) are a combined ~12.57-ac, are owned by New England Interconnect Systems Inc, and are located in the Corporate Park District.

III. **Walk-in Pre-submission Inquiries**

IV. **Upcoming Meeting Dates**

- Pre-submission Meeting – May 2, 2024 at 9:00 am
- 1st Monthly MPRC Meeting – May 2, 2024 at 10:00 am
- 2nd Monthly MPRC Meeting – May 16, 2024 at 10:00 am (*if needed*)



FIELDSTONE

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

Site Plan Pre-Application Review Narrative

Keen Kleen & Mobil Station
Tax Map Parcel 523-003
510 Washington Street
Keene, New Hampshire

March 20, 2024

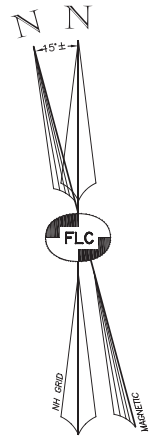
Project Narrative:

Fieldstone Land Consultants, on behalf of OM 510 Washington Street, LLC, is submitting this narrative for a pre-application hearing prior to a Planning Board Site Plan review application. The applicant is looking to expand the existing gas station, convenience store, and laundry mat. The proposal consists of razing the existing building, constructing a new building with two separate units, increasing parking spaces, and additional gas pumps.

The site is located on Tax Map 532, Lot 003 with the access and frontage on Washington Street. The size of the lot is listed as 0.744 acres with 233.5' of frontage per the City of Keene tax maps. The zoning district is Commerce (COM). The current use on the property is a gas station with a small convenience store and a laundromat combined in one building, and the use is permitted in this zone. The proposed use would be the same as the existing condition, but expand the space for both uses, provide separate units, and provide more parking on site. The proposal would also increase the number of gas pumps and the installation of a new underground fuel storage tank.

Overall, the use remains the same and the changes presented are to improve the functionality and aesthetics of the business. The parking layout and calculations were based on vehicle fueling station, personal service establishment (laundromat), and specialty food service as listed in the LDC. The specialty food service was included as the convenience store will offer food and drink options.

Once submitted for Site Plan review, all plan details will be added to address the Development Standards.



519-037
FOX TRAIL FARM LLC
 P.O. BOX 626
 KEENE, NH 03431
 BK 3102 PG 0477 03/03/2020

531-045
CHARLES D. TOUSLEY REV. TRUST
 P.O. BOX 626
 KEENE, NH 03431
 BK 2884 PG 0304 03/20/2014

518-001
SHAKOUR DIVERSIFIED INC
 P.O. BOX 487
 KEENE, NH 03431
 BK 0835 PG 0487

518-024
JERUSALEM LODGE #14 MASONIC ASSOCIATION
 525 WASHINGTON ST.
 KEENE, NH 03431
 BK 2203 PG 0939 12/15/2004

518-025
JOHN J. CARLAND JR.
 521 WASHINGTON ST.
 KEENE, NH 03431
 BK 1037 PG 0402 06/01/1983

532-004
DIANE E. BURKE
 515 WASHINGTON ST.
 KEENE, NH 03431-2748
 BK 3157 PG 0660 04/02/2021

532-005
JORDAN J. ESTRADA
 27 VALLEYVIEW DR.
 MERRIMACK, NH 03054
 BK 3234 PG 0828 12/15/2022

REFERENCE PLAN:
 1. "BOUNDARY LINE ADJUSTMENT PLAN - BETWEEN LANDS OF - TOBY TOUSLEY - TAX MAP PARCEL NO. 532-003 - 510 WASHINGTON ST., KEENE, NEW HAMPSHIRE - & - FOX TRAIL FARM LLC - TAX MAP PARCEL NO. 519-037 - 0 FOX AVE., KEENE, NEW HAMPSHIRE", SCALE: 1"=40', DATED APRIL 22, 2021 BY HUNTLEY SURVEY & DESIGN, PLLC. PLAN IS RECORDED AS PLAN NO. 21074 34 IN THE C.C.R.D.

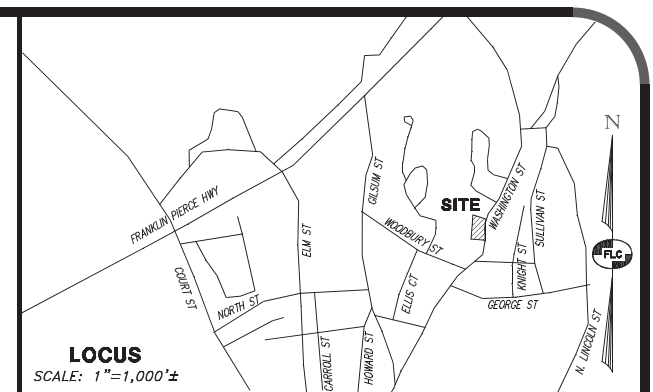
LEGEND:

	RIGHT-OF-WAY LINE		GRANITE BOUND FOUND
	BOUNDARY LINE		DRILL HOLE FOUND
	ABUTTING LOT LINE		IRON PIN FOUND
	BUILDING SETBACK LINE		IRON PIPE FOUND
	EDGE OF PAVED ROAD		DRILL HOLE SET
	EDGE OF GRAVEL ROAD		UTILITY POLE & GUY
	CURB LINE		CATCH BASIN (SQUARE)
	STONE WALL		CATCH BASIN (ROUND)
	EDGE OF TREE LINE		SEWER CLEAN-OUT
	EDGE OF WETLANDS		WATER HYDRANT
	WETLANDS BUFFER LINE		WELL
	5.30' 10' CONTOUR INTERVAL		TELEPHONE MAN-HOLE
	5.32' 2' CONTOUR INTERVAL		EXISTING BUILDING
	CULVERT		
	OVERHEAD UTILITY LINE		

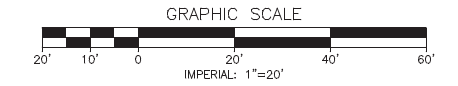
532-003 TAX MAP & LOT NUMBER

CERTIFICATION:
 WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JULY, 2018.

DATE: _____



- NOTES:**
- OWNER OF RECORD FOR LOT 523-003 IS OM 510 WASHINGTON STREET, LLC, 16 EAST MAIN STREET, WESTBOROUGH, MA 01581. SEE C.C.R.D. BK. 3169 PG. 267 DATED JUNE 24, 2021
 - THE PURPOSE OF THIS PLAN IS TO DEPICT EXISTING CONDITIONS AND IMPROVEMENTS ON TAX MAP PARCEL 532-003 AS SHOWN.
 - THE TOTAL AREA OF TAX MAP LOT 532-003 IS 32,406 SQ. FT. OR 0.744 ACRES PER THE REFERENCE PLAN CITED HEREON. LOT FRONTAGE IS 233.00' ALONG WASHINGTON STREET.
 - THE PROPERTY IS LOCATED WITHIN THE COMMERCE DISTRICT (COM).
 - CURRENT ZONING REQUIREMENTS FOR THE COMMERCE ZONE:
- | MINIMUM LOT REQUIREMENTS | REQUIRED |
|----------------------------|------------------------|
| LOT AREA (SF) | 15,000 |
| LOT FRONTAGE (FT) | 50 |
| MINIMUM BUILDING SETBACKS: | |
| FRONT (FT) | 20 |
| SIDE (FT) | 20 |
| REAR (FT) | 50 (ABUTS RESIDENTIAL) |
| MAX. BUILDING STORIES | 2 |
| MAX. BUILDING HEIGHT (FT) | 35 |
| MAX. BUILDING COVERAGE (%) | 80 |
| MAX. LOT COVERAGE (%) | 80 |
- THE BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON AND ON-SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF OCTOBER 2023.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - NO JURISDICTIONAL WETLANDS WERE FOUND ON THE PROPERTY.
 - THE LOT LINES LIE OUTSIDE THE LIMITS OF THE FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 330050C0259E DATED MAY 23, 2006 FOR KEENE, NEW HAMPSHIRE COMMUNITY NO. 330023.
 - USDA SOIL TYPE FOR THE ENTIRE PARCEL IS 526B - CAESAR LOAMY SAND, 3% TO 8% SLOPES.
 - THE HORIZONTAL ORIENTATION AND VERTICAL DATUM ARE NAD83 AND NAVD88.
 - A PORTION OF TAX MAP PARCEL 531-045 LIES WITHIN THE SURFACE WATER PROTECTION OVERLAY DISTRICT WHICH REQUIRES A 30' WETLAND BUFFER. THE 30' BUFFER EXTENDS INTO TAP MAP PARCEL 532-003.



REV.	DATE	DESCRIPTION	C/O	DR	CK

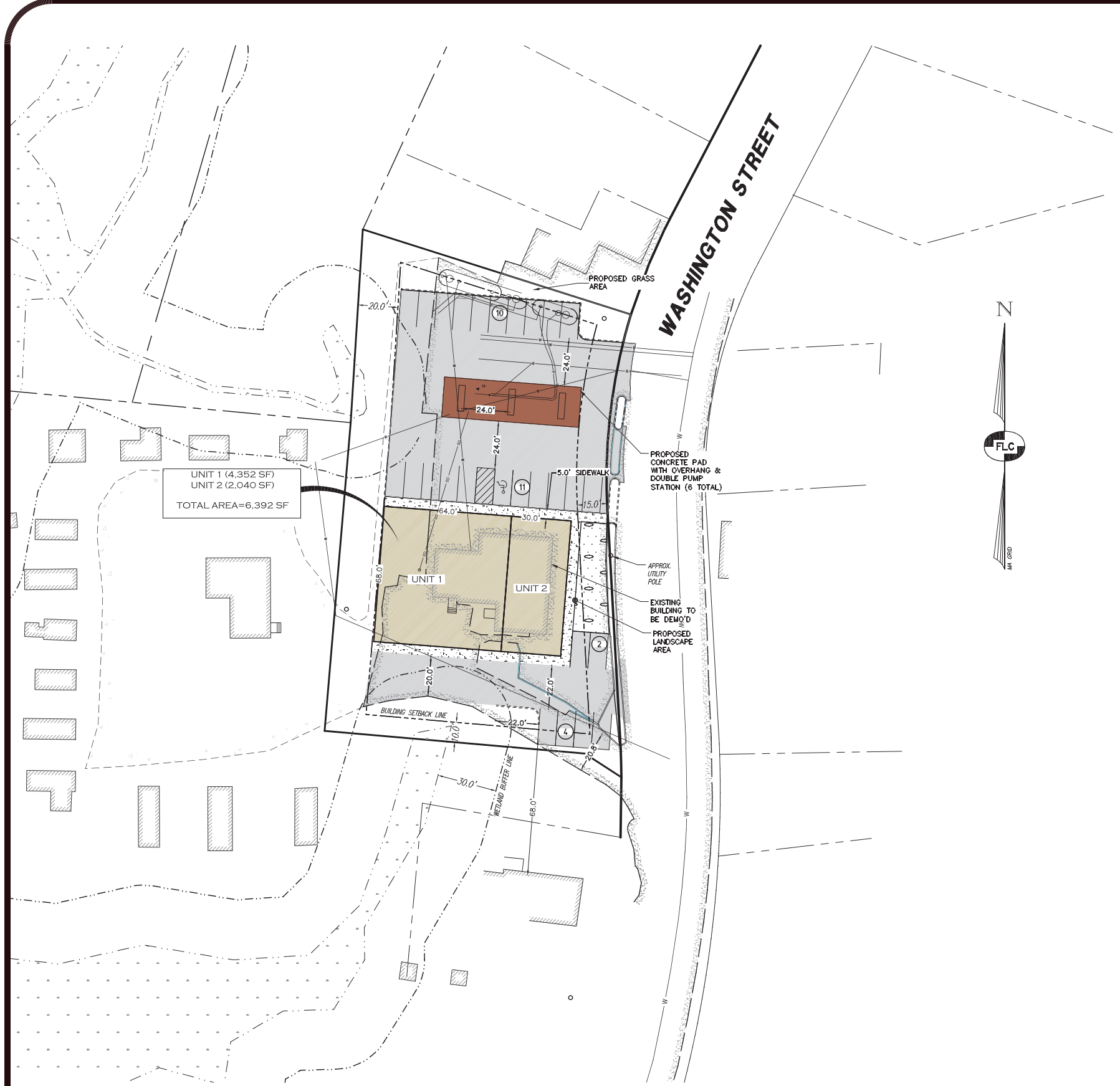
EXISTING CONDITIONS PLAN
TAX MAP LOT 532-003
(510 WASHINGTON STREET)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
RAKESH PATEL
 5 PATRIOT RIDGE LANE WILBRAHAM, MA 01095
 LAND OF:
OM 510 WASHINGTON STREET LLC
 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

SCALE: 1" = 20' DECEMBER 21, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

206 Elm Street, Millford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

10/27/2023 10:42:48 AM 3125.000
 P:\0_FLG\0_PROJECTS\03661\DWG\1



LEGEND:

EXISTING FEATURES		PROPOSED FEATURES	
—	RIGHT-OF-WAY LINE	—	EDGE OF PAVEMENT
—	BOUNDARY LINE	—	FENCE
—	ABUTTING LOT LINE	—	TREELINE/CLEARING LIMIT
—	BUILDING SETBACK LINE	—	ADA PARKING SPACE
—	EDGE OF PAVED ROAD	—	DIRECTION OF TRAVEL
—	EDGE OF GRAVEL ROAD	—	NUMBER OF PARKING SPACES
—	CURB LINE	—	CONCRETE BOLLARD
—	EDGE OF TREE LINE	—	CONCRETE SURFACE
—	EDGE OF WETLANDS	—	PAVED SURFACE
—	WETLANDS BUFFER LINE	—	BUILDING MOUNTED LIGHT
—	HIGH WATER MARK	—	POLE MOUNTED LIGHT
—	100-YEAR FLOOD HAZARD	—	
—	EXISTING EASEMENT LINE	—	
—	10' CONTOUR INTERVAL	—	
—	2' CONTOUR INTERVAL	—	
—	STOCKADE FENCE	—	
—	GUARDRAIL	—	
—	CULVERT	—	
—	EDGE OF DRAINAGE SWALE	—	
—	OVERHEAD UTILITY LINE	—	
—	SEWER LINE	—	
—	UNDERGROUND UTILITY LINE	—	
—	SEWER MAN-HOLE	—	
—	WATER HYDRANT	—	
—	WATER VALVE	—	
—	WATER SHUT-OFF	—	
—	SEPTIC COVER	—	
—	PROPAANE TANK	—	
—	BOLLARD	—	
—	MONITORING WELL	—	
—	SINGLE SIGN POST	—	
—	ORNAMENTAL SHRUB	—	
—	EXISTING BUILDING	—	
—	TAX MAP & LOT NUMBER	—	



- NOTES:**
- OWNER OF RECORD FOR LOT 523-003 IS OM 510 WASHINGTON STREET, LLC, 16 EAST MAIN STREET, WESTBOROUGH, MA 01581. SEE C.C.R.D. BK. 3169 PG. 267 DATED JUNE 24, 2021
 - THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED CONVENIENCE STORE AND GAS STATION EXPANSION ALONG WITH ASSOCIATED SITE IMPROVEMENTS AS SHOWN.
 - THE TOTAL AREA OF TAX MAP LOT 532-003 IS 32,406 SQ. FT. OR 0.744 ACRES PER THE REFERENCE PLAN CITED HEREON. LOT FRONTAGE IS 233.00' ALONG WASHINGTON STREET.
 - THE PROPERTY IS LOCATED WITHIN THE COMMERCE DISTRICT (COM).
 - CURRENT ZONING REQUIREMENTS FOR THE COMMERCE ZONE:

MINIMUM LOT REQUIREMENTS	REQUIRED
LOT AREA (SF)	15,000
LOT FRONTAGE (FT)	50
MINIMUM BUILDING SETBACKS:	
FRONT (FT)	20
SIDE (FT)	20
REAR (FT)	50 (ABUTS RESIDENTIAL)
MAX. BUILDING STORIES	2
MAX. BUILDING HEIGHT (FT)	35
MAX. BUILDING COVERAGE (%)	80
MAX. LOT COVERAGE (%)	80
 - PARKING CALCULATION:**
 -VEHICLE FUELING STATION (WITH OR WITHOUT RETAIL STORE) = 4 SPACES / 1,000 SF GFA
 3,944 SF X 4 / 1,000 = 15.776 SPACES
 -PERSONAL SERVICE ESTABLISHMENT (LAUNDROMAT) = 4 SPACES / 1,000 SF GFA
 1,224 SF X 4 / 1,000 = 4.896 SPACES
 -SPECIALTY FOOD SERVICE = 4 SPACES / 1,000 SF GFA
 1,224 SF X 4 / 1,000 = 4.896 SPACES
 TOTAL SPACES REQUIRED = 15.776 + 4.896 + 4.896 = 25.57 = 26 SPACES
 TOTAL SPACES PROVIDED = 26 SPACES (INCLUDING 1 HANDICAP SPACE)
 - THE BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON AND ON-SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF OCTOBER 2023.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - NO JURISDICTIONAL WETLANDS WERE FOUND ON THE PROPERTY.
 - THE LOT LINES LIE OUTSIDE THE LIMITS OF THE FLOOD HAZARD AREA PER FEMA F.I.R.M. PANEL 3300500259E DATED MAY 23, 2006 FOR KEENE, NEW HAMPSHIRE COMMUNITY NO. 330023.
 - USDA SOIL TYPE FOR THE ENTIRE PARCEL IS 526B - CAESAR LOAMY SAND, 3% TO 8% SLOPES.
 - THE HORIZONTAL ORIENTATION AND VERTICAL DATUM ARE NAD83 AND NAVD88.
 - A PORTION OF TAX MAP PARCEL 531-045 LIES WITHIN THE SURFACE WATER PROTECTION OVERLAY DISTRICT WHICH REQUIRES A 30' WETLAND BUFFER. THE 30' BUFFER EXTENDS INTO TAP MAP PARCEL 532-003.

- REFERENCE PLAN:**
- "BOUNDARY LINE ADJUSTMENT PLAN - BETWEEN LOTS OF - TOBY TOUSLEY - TAX MAP PARCEL NO. 519-003 - 510 WASHINGTON ST., KEENE, NEW HAMPSHIRE - & - FOX TRAIL FARM LLC - TAX MAP PARCEL NO. 519-037 - 0 FOX AVE., KEENE, NEW HAMPSHIRE", SCALE OF 1"=40', SHEET 1 OF 2, PREPARED BY HUNTLEY SURVEY & DESIGN, PLLC, AND SIGNED BY THE KEENE PLANNING BOARD ON 6/10/2021.

REV.	DATE	DESCRIPTION	C/O	DR	CK

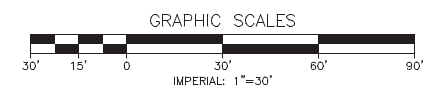
CONCEPT PLAN
KEEN KLEEN & MOBIL STATION
TAX MAP 532 LOT 003 - 510 WASHINGTON STREET
KEENE, NEW HAMPSHIRE
 PREPARED FOR AND LAND OF:
OM 510 WASHINGTON STREET, LLC
 16 EAST MAIN STREET, WESTBOROUGH, MA 01581

SCALE: 1" = 30' FEBRUARY 8, 2024

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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 www.FieldstoneLandConsultants.com



Megan Fortson

From: John Noonan
Sent: Friday, March 22, 2024 11:19 AM
To: Megan Fortson; Jesse Rounds
Cc: Chad Branon
Subject: Patriot Holdings - Black Brook Road
Attachments: 3459SP00D SP-1.pdf

Hi Megan,

I would like to present some minor changes to the Patriot Holdings Black Brook Road project. Can this also be placed on the 3/28 agenda to discuss?

The change is to add a loading dock to one of the buildings. The site plan is attached, and we are hoping this can be administrative review.

Best Regards,

John Noonan
Project Manager



Milford Office: 206 Elm Street - Milford NH 03055

Keene Office: 45 Roxbury Street - Keene NH 03431

Tel: 603.672.5456 x 206 - Fax: 603.413.5456

www.FieldstoneLandConsultants.com

LEGEND:

EXISTING FEATURES		PROPOSED FEATURES	
	RIGHT-OF-WAY LINE		TEMPORARY SILT FENCE
	BOUNDARY LINE		2 FT. CONTOUR
	ABUTTING LOT LINE		10 FT. CONTOUR
	BUILDING SETBACK LINE		SPOT GRADE ELEVATION
	EDGE OF PAVED ROAD		SPOT ELEVATION AT CURB
	EDGE OF GRAVEL ROAD		STORM WATER DRAINAGE
	EXISTING EASEMENT LINE		DRAIN MANHOLE
	BLACK BROOK		SILT SOCK FOR ALL CATCH BASINS
	ASPHALT PAVED AREA		SOIL TEST PIT
	BUILDING		PROPOSED SANITARY SEWER
	TRAFFIC FLOW (NOT PAINTED ARROWS)		CULVERT W/ END SECTION & RIP-RAP
	CONCRETE PAD/SIDEWALK		HYDRANT, GATE VALVE & WATER MAIN
	HANDICAP PARKING STALL		GAS LINE, PROPANE
	100 YEAR FLOODPLAIN (518.5')		ELECTRICAL TRANSFORMER & UNDERGROUND
	DELINEATED WETLAND AREAS		SIGN

SLOPE & DRAINAGE EASEMENT RESERVED TO THE CITY OF KEENE SEE REFERENCE PLAN 2 & BOOK 1824 PAGE 98

221021
NH BLACK BROOK LLC
 5620 OLD MILE HILL RD
 OREFIELD, PA 18069
 BK 3005 PG 486

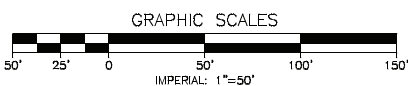
221025
CAITLIN WHITHEAD
 7 LEO CHASSE WAY
 FRAMINGHAM, MA 01701-3070
 BK 2862 PG 540

221021
NH BLACK BROOK LLC
 5620 OLD MILE HILL RD
 OREFIELD, PA 18069
 BK 3005 PG 486

221028
CAITLIN WHITHEAD
 7 LEO CHASSE WAY
 FRAMINGHAM, MA 01701-3070
 BK 2860 PG 540

TOTAL PROPOSED CONTRACTOR UNITS
 61,200 S.F.

- PERMITS/APPROVALS REQUIRED:**
- CITY OF KEENE PLANNING BOARD: SITE PLAN APPROVAL
 - CITY OF KEENE PLANNING BOARD: CONDITIONAL USE FOR PAVEMENT IN 30' WETLAND BUFFER
 - CITY OF KEENE FLOODPLAIN DEVELOPMENT PERMIT:
 - CITY OF KEENE BUILDING PERMIT:
 - CITY OF KEENE VOLUNTARY LOT MERGER:
 - NHDES SEWER CONNECTION PERMIT:
 - NHDES ALTERATION OF TERRAIN PERMIT:
 - FEMA LETTER OF MAP REVISION (LOMR-F) AND ELEVATION CERTIFICATE:



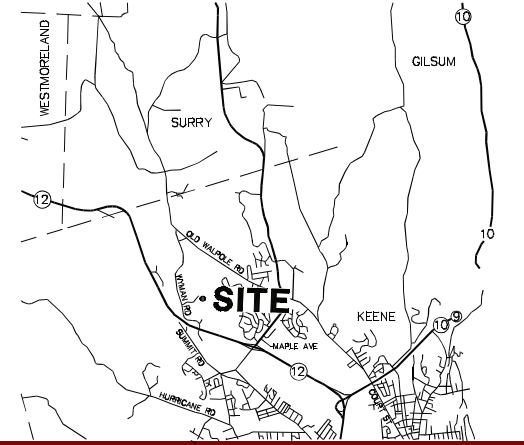
OWNER SIGNATURE

OWNER: _____ DATE: _____

APPROVED BY THE KEENE PLANNING BOARD

ON: _____ CERTIFIED BY _____ AND _____

CHAIRMAN: _____ SECRETARY: _____



- NOTES:**
- THE OWNER OF RECORD FOR PARCEL 221-023 & 024 IS NEW ENGLAND INTERCONNECT SYSTEMS, INC. OF 130 NORTH MAIN ST., LISBON, NH 03585.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT A SITE LAYOUT FOR A LIGHT INDUSTRIAL DEVELOPMENT ON TAX MAP 221 PARCELS 023 & 024 AS SHOWN. THE PROPOSAL IS BASED ON BOTH LOTS BEING MERGED INTO ONE LOT AND USED AS LIGHT INDUSTRIAL. EACH BUILDING UNIT WILL HAVE A SMALL OFFICE, RESTROOM, AND LEASED TO CONTRACTOR BUSINESSES.
 - ZONING FOR THE PARCEL IS CORPORATE PARK (CP). REQUIREMENTS INCLUDE:
 MINIMUM LOT AREA: 2 ACRES (AFTER MERGER LOT = 12.57 ACRES)
 MINIMUM LOT WIDTH: 200 FT.
 MINIMUM FRONTAGE: 100 FT. (AFTER MERGER FRONTAGE = 509.02')
 MINIMUM FRONT SETBACK: 40 FT.
 MINIMUM SETBACKS: 50 FT. REAR AND SIDE (40' FOR ONE SIDE W/OUT PARKING)
 MAXIMUM BUILDING & IMPERVIOUS COVERAGE: 80%
 MIN. GREEN/OPEN SPACE: 20%
 MAX. BUILDING HEIGHT: 60 FT.
 - THE BOUNDARY AND BASE PLAN INFORMATION SHOWN IS FROM SURVEY DATA PREPARED BY DIBERNARDO ASSOCIATES, LLC.
 - THE TOPOGRAPHIC ELEVATIONS ARE BASED ON GRANIT LIDAR CONTOURS AND NAVD88 DATUM.
 - WETLANDS SHOWN WERE DELINEATED BY JONATHAN SISSON, CWS, CSS, OF BEAVER TRACKS, LLC. WETLANDS WERE VERIFIED BY CHRISTOPHER A. GUIDA BY FIELDSTONE LAND CONSULTANTS, PLLC.
 - THE PROPERTY IS LOCATED PARTIALLY IN ZONE AE AND ZONE X. THE BASE FLOOD ELEVATION FOR THE ENTIRE PARCEL IS 518.5' NAVD88. THE BASE FLOOD ELEVATION WAS CALCULATED FROM THE FLOOD INSURANCE STUDY VOLUME 1 (CHESHIRE COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) DATED MAY 23, 2006 BLACK BROOK PROFILE FOUND ON PAGE 71).
 - MAXIMUM LOT COVERAGE: 80% (12.57 x 0.8 = 10.06 AC, 438,039 SF)
 PROPOSED LOT COVERAGE:
 BUILDINGS = 61,200 S.F., PAVEMENT = 66,822 S.F.
 TOTAL IMPERVIOUS = 128,022 S.F. (128,022 ±S.F. / 547,549 ±S.F.) = 23.4%±
 - PARKING REQUIRED (PER LDC TABLE 9-1, INDUSTRIAL, LIGHT):
 0.5 SPACE/1000 SF: 0.5 x 61.2 = 31 SPACES
 4 SP/1000 SF OFFICE: 4 x (10'x30'x34 UNITS)/1000 = 41 SPACES
 TOTAL = 31 + 41 = 72 SPACES REQUIRED (119 PROVIDED)
 ADA SPACES: 5 SPACES REQUIRED FOR 119 TOTAL (1 VAN ADA) => 5 PROVIDED
 - SNOW STORAGE SHALL BE DONE ON SITE. IN THE EVENT OF EXCESSIVE SNOW, SNOW WILL BE TRUCKED OFF SITE, AS NECESSARY.
 - BUILDING CORNERS ARE TO BE PINNED BY A SURVEYOR PRIOR TO FOUNDATION CONSTRUCTION.

REV.	DATE	DESCRIPTION	C/O	DR	CK
C	12/15/23	REVS PER AOT AND CLIENT REVIEW		CLP	CEB
B	9/18/23	REVS PER AOT AND CLIENT REVIEW		CLP	CEB
A	2/13/23	REVS PER CITY STAFF COMMENTS		JEN	CEB

SITE PLAN
TAX MAP PARCEL 221-023 & 221-024
(BLACK BROOK ROAD)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103

SCALE: 1" = 50' JANUARY 20, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs