



City of Keene Minor Project Review Committee

Pre-submission Meeting

AGENDA

Wednesday, July 3, 2024 9:30 AM City Hall, 2nd Floor Conference Room

I. **Call to Order** – Roll Call

II. **Scheduled Pre-submission Inquiry**

- a. **Conceptual Planning Board Application** – The ~0.16-ac parcel at 3 Aliber Place (TMP #590-092-000) is located in the Residential Preservation District and the ~0.3-ac parcel at 57 Marlboro St (TMP #590-093-000) is located in the Downtown Edge District. Both parcels are owned by Jared Goodell.

III. **Walk-in Pre-submission Inquiries**

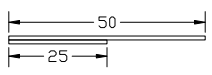
IV. **Upcoming Meeting Dates**

- Pre-submission Meeting – Thursday, August 1, 2024 at 9:00 am
- 1st Monthly MPRC Meeting – Thursday, August 1, 2024 at 10:00 am
- 2nd Monthly MPRC Meeting – Thursday, August 15, 2024 at 10:00 am *(If needed)*

MARLBORO STREET



SCALE



General Notes

No.	Revision/Issue	Date

Firm Name and Address
 Tailfeather Strategies
 PO Box 283
 Keene, NH 03431

Project Name and Address
 57 Marlboro Street
 Keene, NH

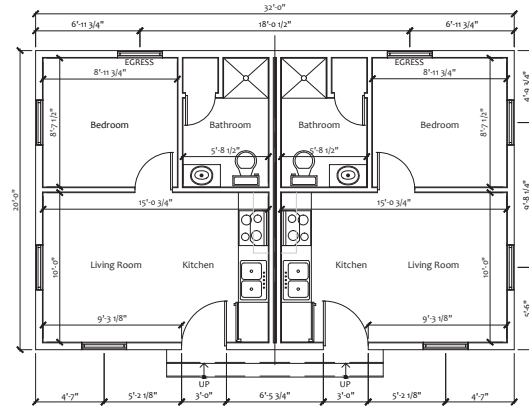
Project	Concept 1	Sheet
Date	6/18/2024	001
Scale		

GENERAL NOTES:

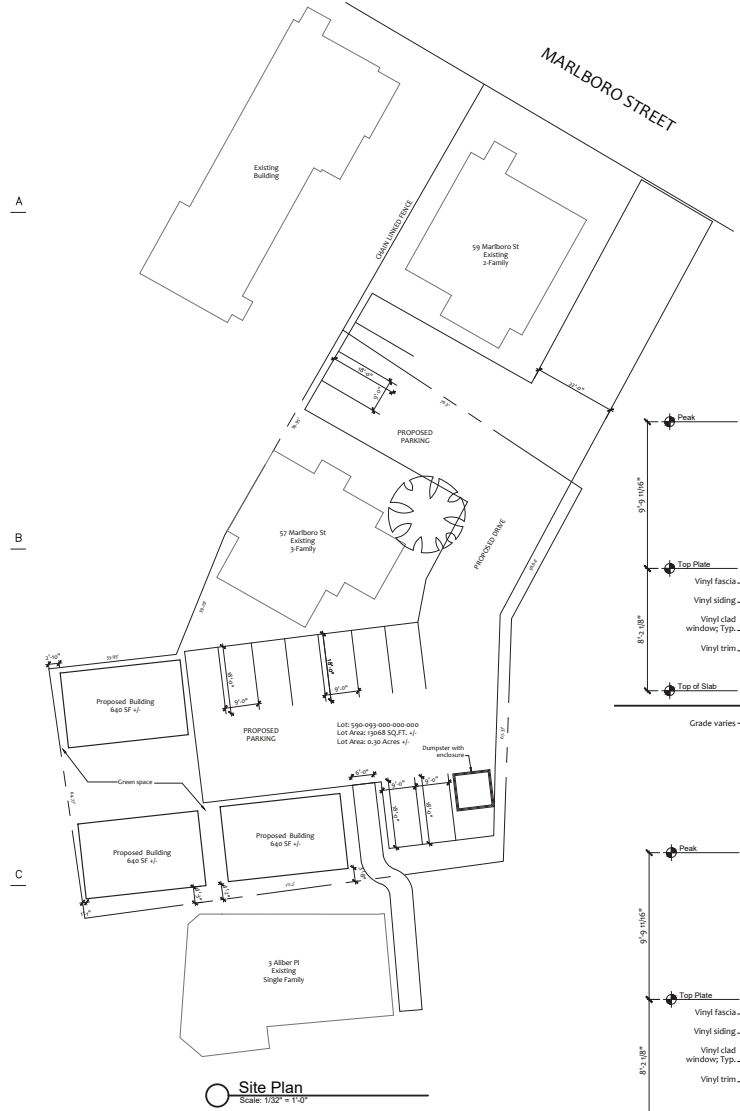
- Contractor shall review existing conditions by field visit prior to submitting bid.
- Dimensions shown are approximate only. All dimensions shall be field verified and coordinated with existing conditions.
- Contact architect / engineer for decisions related to variation from information shown.
- Contractor shall certify that all work is in accordance with the 2021 version of the International Residential Code. All other local or national codes and requirements and good construction practices.
- Insulation to be provided to achieve the following values
 Walls: R-20
 Floors: R-30
 Sloped Ceilings: R-30
 Flat Ceilings: R-38
 Windows: U-35
- Contractor to verify R.O. of doors and windows prior to purchase.
- All electrical installation in the common wall shall be protected and comply with IRC section R302.4 and Chapters 34-43.

Zoning Data:

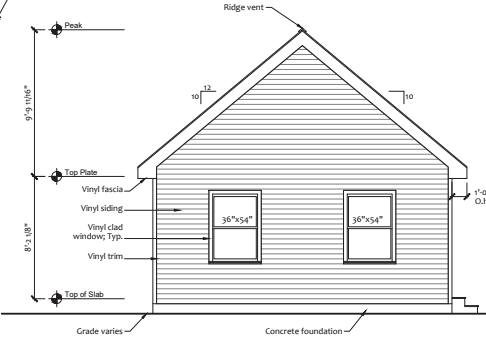
Parcel ID:	590-093-000-000-000	Proposed Structure
Owner:	Coodell, Jared	1 Stories / 2.60 feet
Zoning:	Downside Edge	720 SF
Lot Area:	13,068 sq ft	10,000 SF
		1 Stories / 7.60 feet
Max. Building Height:	13.068 ft	10,000 SF
Min. Lot Area per Dwelling Unit:	10,000 SF	720 SF
Min. Lot Width at Building Line:	30 feet	20 feet
Min. Front Setback:	5.00 feet	2.0 feet
Min. Rear Setback:	5 feet	5 feet
Min. Side Setback:	5 feet	3.0 ft
Max. Percentage of Lot Occupied by Structure:	50%	30%
Max. Percentage Impervious Materials:	50%	30%
Min. Percentage of Green Space:	10%	5%



First Floor Plan
Scale: 1/4" = 1'-0"



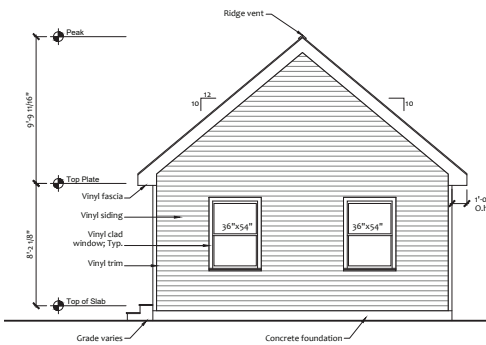
Site Plan
Scale: 1/32" = 1'-0"



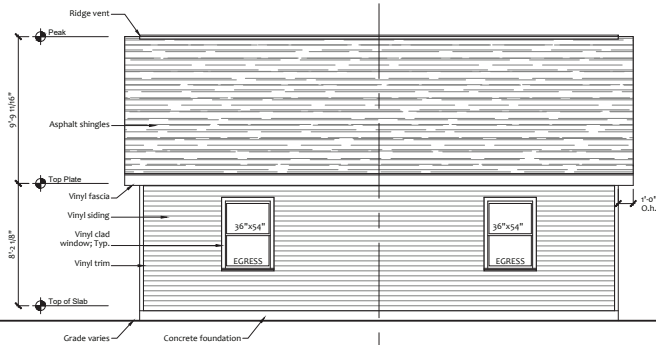
Left Side Elevation
Scale: 1/4" = 1'-0"



Front Elevation
Scale: 1/4" = 1'-0"



Right Elevation
Scale: 1/4" = 1'-0"



Rear Elevation
Scale: 1/4" = 1'-0"

These drawings are LIMITED SCOPE and are intended only to describe general design intent, scale, overall spatial relationships and material where indicated. These drawings shall be considered preliminary for purposes of design review, comment, or budget pricing only, unless expressly released for other purposes as indicated in the issue log. The architect assumes responsibility for errors in the information provided, and not for omissions.

Architect:
Sampson Architects
 Timothy Sampson
 NCARB, LEED AP
 11 King Court
 Suite 1E
 Keene, NH
 603 769 7736

Engineer:
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SAMPSON ARCHITECTS
 2022
 W004 23-004

Prepared For:
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PROJECT:
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TITLE:
Site/Floor Plan Elevations Details/Notes

Date: Revisions:
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NOT FOR CONSTRUCTION
 X.XX.XX

SCALE: as noted

DATE: 6.26.24

SHEET NUMBER

A1

STRUCTURAL NOTES

GENERAL

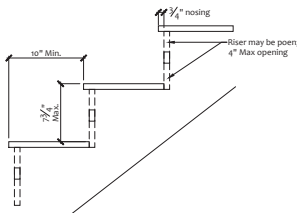
- Structural drawings shall be used in conjunction with architectural, mechanical, plumbing, electrical drawings plus shop drawings and specifications.
- All existing dimensions and conditions must be verified or determined in the field and any discrepancies shall be brought to the attention of the architect/engineer before proceeding with the affected portion of the work.
- Details shown on any drawings are to be considered typical for all similar conditions, unless otherwise noted.
- Refer to architectural drawings for dimensions and details not shown.

FOUNDATIONS & SLABS

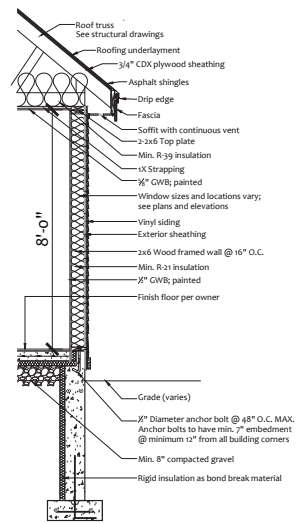
- The bottom surface of all spread footings shall rest on undisturbed material or compacted structural fill with a minimum allowable bearing pressure of 3000 pounds per square foot.
- The elevation top of each footing is indicated as [elevation] on plan. Top of each exterior footing shall be a minimum of 4'-0" below finish grade.
- No footing shall be placed under water or on frozen ground.
- Provide 8" minimum crushed gravel, compacted, with a reinforced vapor barrier under interior slabs on grade.
- Backfill at foundation frost walls shall progress evenly on both sides of the wall to avoid unbalanced soil pressure loading.
- All placed gravel under slabs and foundations shall be compacted to at least 95% of maximum dry density as measured by a modified proctor test.

CONCRETE

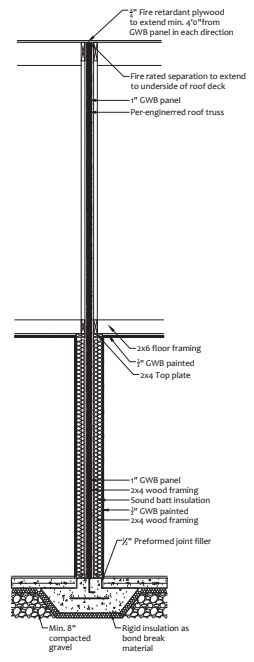
- All concrete construction shall conform to ACI standard 318 "building code requirements for reinforced concrete" latest edition.
- All concrete used for slabs shall have a compressive strength at 28 days of at least 3500 psi. foundation concrete aggregate shall be 1/2"; slab aggregate shall be 1 1/4".
- All concrete used for footings and walls shall have a compressive strength at 28 days of at least 3500 psi. foundation concrete aggregate shall be 1/2"; slab aggregate shall be 1 1/4".
- All reinforcing bars shall conform to ASTM A 615 grade 60, and shall be deformed. Lap all continuous bars a minimum of 40 diameters. provide matching corner and intersection wall bars.
- All welded wire fabric shall conform to ASTM A 185 in flat sheets. Lap one and one-half squares at all joints and tie at 3'-0" o.c.
- Clear concrete protection for reinforcing:
 - A. Footings: 3" above bearing soil
 - B. Foundation walls: 1 1/2"
 - C. Pilasters: 1 1/2" to ties
 - D. Piers: 1 1/2" to ties
 - E. Slabs on Grade: 1" from top
- No bars shall be cut or omitted in the field because of sleeves, duct openings or recesses without the approval of the engineer.



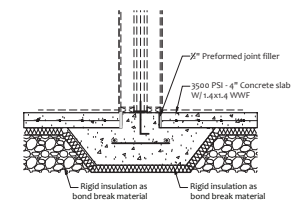
Detail - Stair Exterior
Scale: 1/12" = 1'-0"



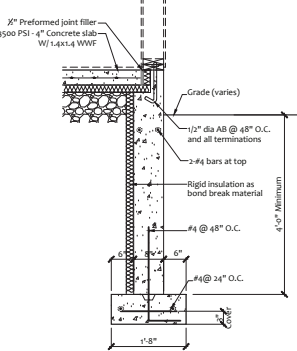
Exterior Wall Section
Scale: 1/2" = 1'-0"



Unit Separation Wall Section
Scale: 1/2" = 1'-0"

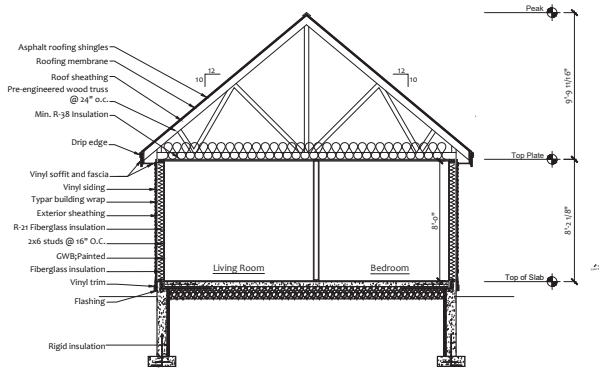


1 Typical Interior Foundation Wall
Scale: 3/4" = 1'-0"



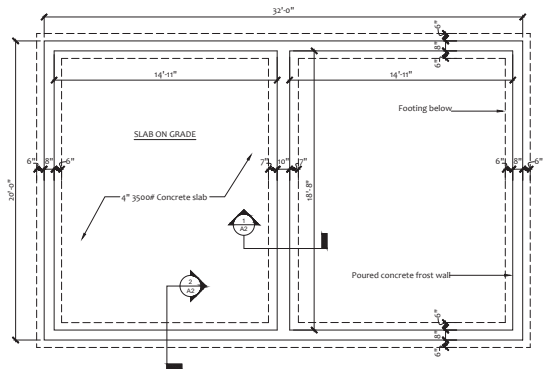
2 Typical Foundation Wall
Scale: 3/4" = 1'-0"

A

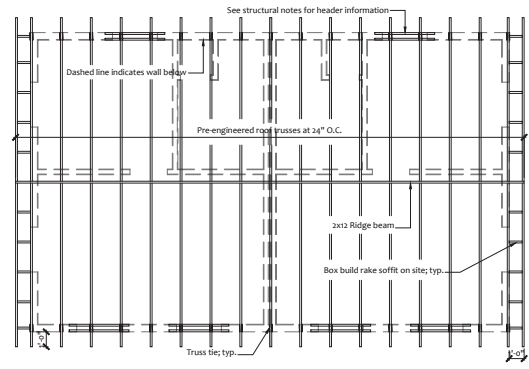


Building Section
Scale: 1/4" = 1'-0"

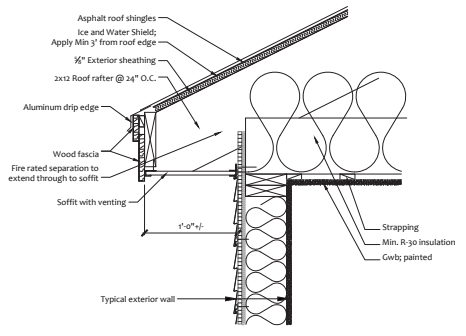
B



Foundation Plan
Scale: 1/4" = 1'-0"



Roof Framing
Scale: 1/4" = 1'-0"



Detail - Roof Overhang
Scale: 1/12" = 1'-0"

C

D

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Architect:
Sampson Architects
Timothy Sampson
NCARB, LEED AP
11 King Court
Suite 1E
Keene, NH
603 769 7736

Engineer:
-

SAMPSON ARCHITECTS
3002
WOOD 23-3004

Prepared For:
-

PROJECT:
-

TITLE:
**Sections/Notes
Foundation Plan
Framing/Details**

Date: Revisions:
-

NOT FOR CONSTRUCTION
X.XX.XX

SCALE: as noted
DATE: 6.25.24
SHEET NUMBER:
A2