



CONSERVATION COMMISSION

AGENDA - AMENDED

Tuesday, February 21, 2023

4:30 PM

Room 22, Parks & Recreation
Center

Commission Members

Alexander Von Plinsky, IV, Chair
Councilor Andrew Madison, Vice Chair
Art Walker
Councilor Robert Williams, Ex-Officio
Eloise Clark
Steven Bill
Kenneth Bergman

Thomas P. Haynes, Alternate
John Therriault, Alternate
Brian Reilly, Alternate
Lee Stanish, Alternate

**There will be a site visit of 0 Black Brook Road at 3:30 pm (TMP #s 221-023-000 & 221-024-000).
Commission members should meet at the Recreation Center at 3:15 pm to carpool to the site.**

1. Call to Order
2. Approval of Meeting Minutes – January 17, 2023
3. Referrals:
 - a) City Council Referral - Tree Trimming on Scenic Roads - Eversource
 - b) Planning Board Referral – Surface Water Protection Conditional Use Permit Application SWP-CUP-01-23 – 0 Black Brook Road, Proposed Contractor Bays
4. Report-outs
 - 1) Greater Goose Pond Forest Stewardship Subcommittee
 - 2) Outreach
 - 3) Invasive Species
 - 4) Land Conservation
5. Discussion Items:
 - a) Budget discussion – Bee City USA Renewal
 - b) Airport proposed wildlife control fence update
 - c) Conservation Commission speaking events
 - d) Photo library
 - e) 2023 New Hampshire Drinking Water Festival
6. New or Other Business
7. Adjourn – Next meeting date: **Monday, March 20, 2023**

1 City of Keene
2 New Hampshire

3
4
5 CONSERVATION COMMISSION
6 MEETING MINUTES
7

Tuesday, January 17, 2023

4:30 PM

Room 22,
Recreation Center

Members Present:

Alexander Von Plinsky, IV, Chair
Eloise Clark
Councilor Robert Williams
Art Walker
Ken Bergman
Lee Stanish
Thomas Haynes, Alternate
Brian Reilly, Alternate
Steven Bill, Alternate (Arrived 4:36 PM, via Zoom)
John Therriault, Alternate

Staff Present:

Mari Brunner, Senior Planner

Members Not Present:

Councilor Andrew Madison, Vice Chair

8
9
10 **1) Call to Order**

11 Chair Von Plinsky called the meeting to order at 4:30 PM.

12
13 **2) Election of Chair & Vice Chair**

14 Mr. Reilly made a motion to re-elect Alexander Von Plinsky, IV, as Chair and Councilor
15 Andrew Madison as Vice Chair. Mr. Bergman seconded the motion, which carried unanimously.
16

17 **3) Approval of Meeting Minutes – December 19, 2022**

18 Revisions: Line 21, replace the word “logged” with “carried.” Also, Mr. Bergman was
19 incorrectly listed as absent.
20

21 A motion by Mr. Bergman to adopt the December 19, 2022 minutes as amended was duly
22 seconded by Mr. Walker and the motion carried unanimously.
23

24 **4) Report-Outs**

25 **A) Greater Goose Pond Forest Stewardship Subcommittee**

26 Mr. Haynes reported that the Subcommittee met the week before this meeting and discussed
27 what they want to accomplish this year. Last year, the Subcommittee identified 10 locations in
28 the forest that need minor to major work. Two of those locations were the focus of the grant

29 application submitted last year that was not awarded to the Subcommittee. Mr. Haynes said that
30 the Director of Parks, Recreation, and Facilities—Andy Bohannon—told him that there might be
31 more funds available to attempt completing all 10 locations by the end of next year. With that
32 work, most of the loop trail would be addressed. Mr. Haynes said Mr. Bohannon would let the
33 Subcommittee know more at their February meeting, when the group would discuss signage,
34 fieldwork, and how to organize themselves and volunteers for work in the greater forest. Next
35 month, the Subcommittee also plans to finalize the paper maps for people to take at the
36 trailheads.

37

38 **B) Outreach**

39 Mr. Haynes reported that work group did not meet last month. The Goose Pond Through the
40 Seasons walk for the winter is scheduled with the County Forester, Matt Kelly, on Saturday,
41 February 18; he did not say what time. More details of the walk are pending (e.g., what trailhead)
42 but Mr. Haynes imagined there would be a focus on forest ecology. If there is snow on the
43 ground, they can also look at wildlife tracks.

44

45 Next, Mr. Haynes noted that in this meeting’s agenda packet was a flyer for the NH Drinking
46 Water Festival, for which the Outreach work group planned to do something that has not been
47 decided yet. They have another month to prepare those materials. Ms. Clark said she was looking
48 at aquatic macroinvertebrates, or what she called “muck monsters.” Mr. Haynes said the work
49 group was leaning on Ms. Clark due to her long history as an environmental educator. Chair Von
50 Plinsky said the work group should alert him if there is anything the Commission can do to help.

51

52 **C) Invasive Species**

53 Councilor Williams reported that there was no work because it is winter. The Garlic Mustard
54 Challenge is on the horizon and Councilor Williams asked his fellow Commissioners to think
55 about good locations. The past work has eliminated the invasive from the previously addressed
56 City lots. Chair Von Plinsky said that was a good problem to have.

57

58 **D) Land Conservation**

59 Chair Von Plinsky said the work group met and are moving forward creating a foundation to
60 inventory the land in Keene, with an eye toward the 30x30 challenge. He said the work group
61 made a lot of progress and plans to reach out to various organizations for help with the priorities
62 and to avoid reinventing the wheel. He hopes to have more to report to the Commission in the
63 coming months. Mr. Bergman noted that Ms. Brunner and GIS Technician, Will Schoefmann,
64 will give the work group access to GIS data. The Chair agreed, noting that he saved one GIS file
65 of currently conserved land in Keene to the shared Google drive. He said that data is rough and
66 needs manipulation, but it is a starting point. Mr. Schoefmann will try to update the file.

67

68 A member of the public, Dee Robbins, asked about the Antioch University program that the
69 work group applied for. Chair Von Plinsky said there was either a disconnect or they did not like
70 and did not accept this project, which means the work group will have to do more of the leg
71 work. Mr. Bergman added that someone from the Monadnock Conservancy also reached out to

72 Antioch and learned that there is less interest from students than there used to be, but the City
73 was unsure why.

74
75 Mr. Bergman continued, noting that the NH Association of Conservation Commissions
76 (NHACC) website says one of the two primary requirements of Conservation Commissions is
77 that they should establish a land inventory. He said there is a section on the NHACC website that
78 promises a link to information on how to do the inventory, but there are some sentences missing.
79 So, two weeks ago, Mr. Bergman reached out to the NHACC but they had not responded. As far
80 as Mr. Bergman knew, the City's GIS Technician and Community Development Department
81 would have some kind of database. Still, it seemed to him that the NHACC website was referring
82 to a specific product that Conservation Commissions are charged with developing. He wondered
83 if the City and this Conservation Commission were out of compliance. Ms. Brunner said the City
84 of Keene was the first in NH to establish a Conservation Commission and the City has a Natural
85 Resource Inventory that is most likely outdated now. There are some versions of the maps on the
86 City's website. However, because the Inventory was so long ago, Ms. Brunner said that it should
87 probably be updated. Mr. Bergman said that Concord has a nice part written by Jeff Littleton in
88 their Master Plan that is like a Natural Resource Inventory with some overall maps; it mentions
89 areas that are protected but does not list specific parcels. He said it looked like a laborious
90 pursuit. Chair Von Plinsky said that could be a steppingstone; the work group needs to identify
91 the existing Natural Resource Inventory in order to move forward with 30x30. The Chair added
92 that Chesterfield has a nice Inventory and he reached out to them to see how they went about it,
93 noting that they did it with a much smaller budget than Concord.

94
95 Ms. Clark explained that the City's existing Natural Resource Inventory was written in 2009,
96 when she was Chair of the Conservation Commission. She said that there was no written
97 component. It was a series of maps that are included at the end of the City's 2010
98 Comprehensive Master Plan. She continued that those maps were assembled by Peter Throop
99 when he was a member of City Staff. Ms. Clark continued reminding the work group that the
100 Wildlife Action Plan includes everything they need, they just need to study it and do the work.
101 Chair Von Plinsky agreed that the Wildlife Action Plan would be a component of the review.
102 Ms. Clark added that when she was President of Friends of Open Space in Keene, Ms. Robbins
103 did a wonderful job with some of the necessities to prioritize valuable land; some of that
104 information is derived from the Monadnock Conservancy, which has a checklist to prioritize
105 properties for conservation. Ms. Clark would try to retrieve this resource for the work group. Ms.
106 Robbins expected that the natural resource values had not changed that much in this period, but
107 said the work group probably needs to find what has been conserved since 2009. Chair Von
108 Plinsky said that was helpful because the work group discussed how to prioritize valuable
109 properties for conservation and how to weight those variables. Ms. Clark agreed that the
110 weighting is difficult. Chair Von Plinsky will reach out to Ms. Clark and Ms. Robbins for
111 resources. Mr. Bergman noted that the work group discussed getting a list of easements in the
112 City and he thought that was something that Granite View could provide. Ms. Clark said the City
113 has all of that; the Friends of Open Space worked with those physical maps all the time.

114

115 5) **Discussion Items:**
116 **A) Airport Proposed Wildlife Control Fence**

117
118 Chair Von Plinsky read the draft letter on behalf of the Conservation Commission to the Federal
119 Aviation Administration (FAA) on the topic of the proposed Airport wildlife control fence:

120
121 *To whom it may concern,*
122 *The Keene Dillant-Hopkins Airport is beginning preliminary design work to install*
123 *fencing which will prevent wildlife from accessing runways and creating hazards to*
124 *aircraft operations. The Keene Conservation Commission understands the need for*
125 *ensuring the safety of flight operations and therefore supports this project. However,*
126 *there is an obvious concern for the wetlands that surround the airport. Minimizing how*
127 *this project may impact the delicate habitats in this area must be a key consideration in*
128 *the planning and completion of this project. Preliminary site visits and project scoping*
129 *indicate that the fencing, one installed, will have little to no impact on these wetlands.*
130 *There are, however, some legitimate concerns pertaining to the construction of the fence*
131 *through delicate habitat. It is our understanding that the airport is dependent on, and*
132 *seeking, federal funding for this project through the FAA “Airport Improvement*
133 *Program” (AIP) and that there are concerns that the funding will be apportioned in a*
134 *way that would stretch the construction of the project over multiple years. This would*
135 *create a worst case scenario for the delicate habitat impacted by this project. Entering*
136 *into these areas for construction must be done in one action to prevent repeated damage.*
137 *The Keene Conservation Commission strongly requests that the FAA fund the*
138 *construction of the wildlife hazard fence at the Keene Dillant-Hopkins Airport so that it*
139 *will be completed in a way to minimize impact to associated wetlands; we believe that*
140 *this would best be accomplished by completing the project as quickly as possible.*
141 *Thank you for your time and efforts,*
142 *Sparky Von Plinsky, Chair*
143 *On behalf of the Keene Conservation Commission*

144
145 Chair Von Plinsky requested feedback. Mr. Therriault said that the phrase “one installed” should
146 be edited as “once installed.” Ms. Clark suggested not using the word “delicate” twice and to
147 replace one instance with “sensitive.”

148
149 To update Ms. Stanish, Chair Von Plinsky recapped the December 2022 discussion with David
150 Hickling, Airport Director. Mr. Hickling explained to the Commission that the FAA could
151 choose to fund this project over several years, so that sections of the fence would be constructed
152 each year. This is not ideal because it would funnel wildlife onto the Airport property, which is
153 the antithesis of the fence’s purpose. It would also mean disturbance of the wetland (e.g., timber
154 mats) over several years as opposed to once. In response to Ms. Stanish, Mr. Bergman said the
155 work would mostly be performed in the winter when vegetation is growing less actively and to
156 avoid breeding season. Ms. Stanish asked if details about the time of year were already worked
157 into the proposal. Mr. Bergman said there was no proposal submitted yet, but that it was an

158 ongoing conversation with the Airport Director, who implied that commitment. Mr. Therriault
159 added that originally, the fence was planned to run along Airport Road, but the plan was changed
160 for the fence to be closer to the runways; this would keep from interrupting active wildlife
161 viewing there and keep the wetland wildlife away from the runways. Mr. Bergman added that the
162 plan is to construct the fence as far from Airport Road as possible without impinging on the
163 safety zones required by the FAA for aircraft.

164
165 Mr. Bill said perhaps the word “quickly” was problematic given the desire to have the work
166 completed in one cycle versus many steps; the FAA might not equate quickness with completing
167 the project in one step. Chair Von Plinsky would edit the sentence to read “... best be
168 accomplished by completing the project during a single fiscal year.” Chair Von Plinsky thought
169 this letter was separate from making the suggestion about time of year. Mr. Bergman recalled
170 Mr. Hickling saying the project should last four or five months.

171
172 Mr. Bergman made a motion to approve submitting the above letter as amended to the Airport
173 Director, David Hickling, to be included in his package to the Federal Aviation Administration.
174 Mr. Walker seconded the motion, which carried unanimously.

175
176 **B) Conservation Commission Speaking Events**

177
178 Vice Chair Madison was not present, but Chair Von Plinsky would reach out to him about this.

179
180 **C) Photo Library**

181
182 Chair Von Plinsky recalled that last month, the Commission discussed a way for them to cache
183 their photos from various site visits and activities so the public can access them. He recalled
184 mentioning that a free Flickr account could hold 1,000 photos. There was also a suggestion last
185 month to piggyback on the Library’s Flickr account. The Chair contacted the Library and was
186 told that the person who created that Flickr account no longer works for the City; the Library
187 Flickr had not been updated since, but it is still accessible. With that in mind, Chair Von Plinsky
188 suggested that the Commission create their own free Flickr account for its activities and to
189 reevaluate purchasing a pro account (\$70 per year) when it approaches 1,000 photos. He thought
190 there was value in having photos in one place that is accessible to everyone in Keene. Chair Von
191 Plinsky heard no objections to starting a free Flickr account. He fielded some questions.

192
193 Mr. Haynes thought it would take a few weeks to reach 1,000 photos. If and when the
194 Commission finds another mechanism to store photos, Mr. Haynes asked whether those first
195 1,000 photos could be transferred from Flickr. The Chair said he could not guarantee but he was
196 fairly sure there was a way. Mr. Haynes cautioned losing access to those photos.

197
198 Mr. Bill asked how many photos were currently on the shared Google drive. Chair Von Plinsky
199 said just a handful. Mr. Bill thought there were several folders on the Google drive, some with
200 large files, and he asked if those would be moved to Flickr. The Chair said that depended on how

201 the Commission wanted to curate the Flickr account. Chair Von Plinsky suggested that
202 Commissioners could upload photos from site visits to the Google drive and he could then move
203 some of those to the Flickr account, to avoid filling the account quickly.

204

205 Mr. Reilly asked who would moderate the Flickr account to avoid inappropriate or duplicate
206 photos. The Chair was happy to take that on. He did not think it was a good use of City Staff
207 time.

208

209 Mr. Bergman noted that he is a Flickr Pro account holder and said the accounts are password
210 protected. He noted that it allows photo albums (with captions and titles for each image), which
211 could be used for each site visit/activity. When creating those albums, the Chair could screen for
212 duplicates. Chair Von Plinsky would create the Flickr account and report back in a few months
213 on how it is going.

214

215 Ms. Stanish asked if there was an expectation that these photos would be archived to maintain
216 relevancy in 20 or 30 years. Chair Von Plinsky replied that it would be ideal if the photos remain
217 available going forward. He cited the quarry visit as an example, stating that it would be good to
218 have those photos 20 years from now if/when the quarry ceases operation for comparison. He
219 hopes to keep the Flickr long-term like the Library's account, which has photos scanned from the
220 1800s.

221

222 **D) 2023 New Hampshire Drinking Water Festival**

223

224 Ms. Brunner forwarded the flyer for the NH Drinking Water Festival to the Commission and the
225 Energy and Climate Committee. Ms. Stanish had expressed interest in helping, so Ms. Brunner
226 recommended that she connect with the Outreach work group since they were planning
227 something. Ms. Brunner would share contact information for the Outreach work group with Ms.
228 Stanish.

229

230 **6) Scenic Road Public Hearing: February 2, 2023 at 7:00 PM**

231

232 Chair Von Plinsky said that per City Ordinance, any time Eversource trims trees on the City's
233 scenic roads, a quorum of the Conservation Commission must attend a public hearing before the
234 City Council to report any concerns. He said that sometimes, Commissioners visit the tree
235 locations that Eversource lists, which he called a little tedious. Councilors Williams and Madison
236 would count toward that quorum. The Chair also planned to attend and said one more
237 Commissioner was needed. Mr. Walker would attend, and Mr. Bill would try. Ms. Brunner
238 recalled that the public hearing and presentation from Eversource would occur at the City
239 Council Meeting on February 2 at 7:00 PM, after which the Conservation Commission would
240 receive the details about the various trees. Eversource would come to the next Conservation
241 Commission meeting to hear questions and deliberations. The Commission would then make a
242 recommendation to the City Council's Municipal Services, Facilities, and Infrastructure
243 Committee, which will make a final recommendation to the full City Council. Ms. Brunner noted

244 that the City Council agenda packets are posted to the City website at least 24 hours in advance.
245 Ms. Brunner had received some materials from Eversource in response to a request from Mr.
246 Bergman and she would share those materials with the Commission. Chair Von Plinsky agreed
247 that the Commission should receive a list of trees for planned trimming and those trees would be
248 marked at the sites. Mr. Bergman said the information he received from Eversource indicated
249 that no trees were marked as they planned no felling; Eversource sent a diagram demonstrating
250 the standard clearance. Mr. Bergman lives near to these roads and said he was concerned, noting
251 that it can be hard to compare the diagrams to the actual trees on site.

252

253 7) **New or Other Business**

254

255 Councilor Williams noted that the topic of litter would be coming before the City Council
256 because he wrote a letter expressing concern, particularly for the east side of Keene and around
257 the Woodland Cemetery. He has concern for trash entering the local streams. He expected it to
258 be a topic before the Municipal Services, Facilities, and Infrastructure Committee on
259 Wednesday, January 25. He encouraged other Commissioners to share their thoughts.

260

261 Ms. Brunner would send a follow-up email to the Commission with the Eversource materials.

262

263 8) **Adjournment – Next Meeting Date: *Tuesday February 21, 2023***

264

265 There being no further business, Chair Von Plinsky adjourned the meeting at 5:19 PM.

266

267 Respectfully submitted by,
268 Katie Kibler, Minute Taker
269 January 24, 2023

270

271 Reviewed and edited by,
272 Mari Brunner, Senior Planner

December 12, 2022

City of Keene
3 Washington St
Keene, NH 03431

Dear City Council and Conservation Commission:

This letter is to inform the City of Keene that Eversource is planning to trim trees around its power lines within the city. This work is necessary to ensure the safe distribution of power and to improve reliability of electric service for our customers.

According to Eversource records Peg Shop Road, Chapman Road, Whitcombs Hill Road, Daniels Hill Road, Hurricane Road, Langley Road, Felt Road and Sterns Road have been designated as scenic roads by the city.

Eversource tree trimming specifications call for removal of brush and limbs less than four inches in diameter which are located within eight feet to the side of, ten feet below or fifteen feet above conductors. Eversource requires permission from the city and property owner to trim trees within the public right of way of a scenic road.

Eversource has contracted with Asplundh Tree Expert Company to perform the actual trimming of trees. Eversource requires that our trimming contractors contact each landowner where trees are to be trimmed prior to commencement of work on that property. Individual concerns will be addressed at this time. All work will be performed in accordance with accepted arboricultural standards. All brush and limbs cut on roadside locations will be chipped.

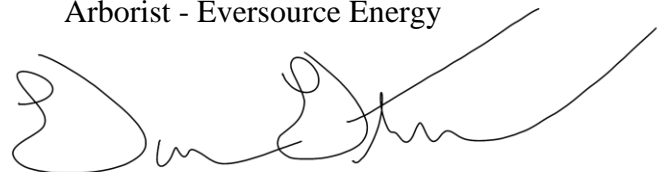
Please consider this letter to be a request from Eversource for a public hearing for the trimming of trees on these scenic roads within the proposed work area pursuant to RSA 231:158. Please inform this office of the time and place of said meeting so that we may have a representative present.

If you have any questions or comments, please feel free to contact me by e-mail at Dane.Darcangelo@eversource.com or telephone at 603-303-6199.

Thank you for your concern and assistance.

Respectfully,

Dane D'Arcangelo
Arborist - Eversource Energy



From: [D'Arcangelo, Dane](#)
To: [Mari Brunner](#)
Subject: RE: Question re: Scenic road trimming in Keene
Date: Wednesday, January 11, 2023 3:08:56 PM
Attachments: [Trimming Specification Drawings.pdf](#)

Hi Mari,

For this request I am only requesting permission for the trimming of the trees with in the trim zone for the Standard Maintenance Trim on page 1 of the attached PDF. Most if not all of the trimming will be of small branches that have grown into this zone since the last time this area was trimmed around 2018. Since this is more of a branch to branch basis it is not practical to mark what will be trimmed, but a drive down the road with the trim zone in mind should give the reviewer a good idea of what it will look like.

There are not any plans to cut down trees in this proposal. Otherwise there would be trees marked. There was some flagging of trees along Daniels Hill Road but we are not prepared to take them down this year so they are not included in this proposal.

Hopefully that helps. If not please let me know how I can clarify the work better.

Thank you,

Dane D'Arcangelo
EVERSOURCE
Vegetation Management
Arborist NH West
603 303 6199
603 634 3867

From: Mari Brunner <mbrunner@keeneh.gov>
Sent: Wednesday, January 11, 2023 8:23 AM
To: D'Arcangelo, Dane <dane.darcangelo@eversource.com>
Subject: Question re: Scenic road trimming in Keene

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Do not click on links or attachments if sender is unknown or if the email is unexpected from someone you know, and never provide a user ID or password. Report suspicious emails by selecting 'Report Phish' or forwarding to SPAMFEEDBACK@EVERSOURCE.COM for analysis by our cyber security team.

Good morning Dane,

One of the Keene Conservation Commission members has asked me whether Eversource has identified the trees to be trimmed or pruned on Felt Road and Whitcombs Mill Road. If they have been marked or identified, he would like to do a site visit on his own before he leaves on

vacation. He won't be able to attend the Feb. 7th public hearing, but will be able to attend the Feb. 21 Conservation Commission meeting.

Could you please let me know if any of those trees have been marked or otherwise identified?

Thank you for your help,
Mari

Mari Brunner

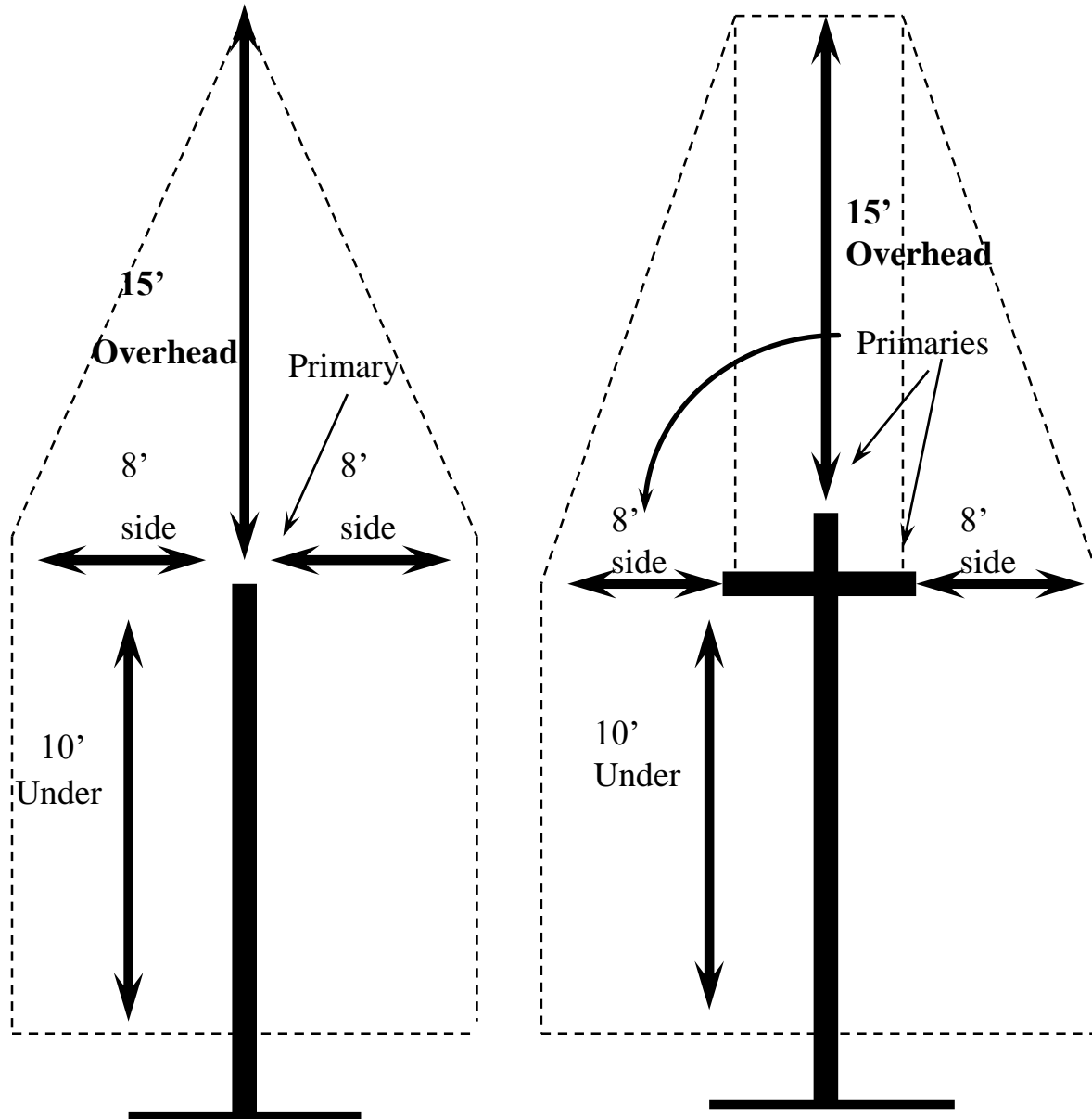
Senior Planner, City of Keene
Community Development Dept.
3 Washington St., Keene, NH 03431
(603) 352-5440

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Scheduled Maintenance Trimming





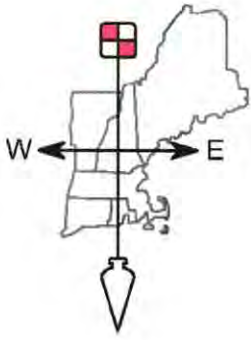
City of Keene, NH

Surface Water Protection

Conditional Use Permit (CUP) Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keene-nh.gov

SECTION 1: PROJECT INFORMATION	
PROJECT NAME: All Purpose Keene Business Park	
PROJECT ADDRESS(ES): Black Brook Road	
SECTION 2: CONTACT INFORMATION	
PROPERTY OWNER	APPLICANT
NAME/COMPANY: New England Interconnect Systems, Inc.	NAME/COMPANY: Patriot Holdings, LLC
MAILING ADDRESS: 130 North Main Street, Lisbon, NH 03585	MAILING ADDRESS: 4007 Dean Martin Dr., Las Vegas, NV 89103
PHONE:	PHONE: 702-550-3808
EMAIL:	EMAIL: jeremiah@patriotholdings.com
SIGNATURE: <i>John Noonan c/o FIELDSTONE</i>	SIGNATURE: <i>Jeremiah Boucher c/o FIELDSTONE</i>
PRINTED NAME: Richard S. Jesseman	PRINTED NAME: Jeremiah Boucher
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:
NAME/COMPANY: Fieldstone Land Consultants, PLLC	TAX MAP PARCEL #(s): 221-023-000-000-5.33 acres
MAILING ADDRESS: 45 Roxbury St. Keene, NH 03431	221-024-000-000-007.24 acres
PHONE: 603-672-5456	PARCEL SIZE: see above
EMAIL: jnoonan@fieldstonelandconsultants.com	ZONING DISTRICT: Corporate Park
SIGNATURE: <i>John Noonan</i>	DATE STAMP:
PRINTED NAME: John Noonan	
	PROJECT #: SPR-02-23+ SWP-CUP-01-23



FIELDSTONE

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

CUP Application Review Narrative Surface Water Protection

All Purpose Keene – Business Park
Light Industrial Facility
Tax Map Parcels 221-023 & 024
Black Brook Road
Keene, New Hampshire

January 20, 2023

Project Narrative:

Fieldstone Land Consultants, on behalf of Patriot Holdings, is submitting this narrative as part of the Conditional Use Permit (CUP) application. The proposal consists of merging two building lots, constructing two buildings, driveway and associated parking. One building would be 36,000 square feet with 20 rentable units and the second building would be 25,200 square feet with 14 rentable units, where each unit is 30' x 60' in size.

The site is located on Tax Map Parcels 221-023 and 221-024 with the street access from Black Brook Road. The lot size of parcel 221-023 is 5.33 Acres, and parcel 221-024 is 7.24 Acres, creating a merged lot size of 12.57 Acres. The zoning district of both lots is Industrial: Corporate Park (CP). The site is currently owned by New England Interconnect Systems, Inc. and the applicant, Patriot Holdings, is looking to purchase the properties to develop a business park, targeted toward contractor businesses. The proposed use would be considered light industrial and allow contractor businesses to rent space to have workshops, offices, and store building materials. Each building unit will have a small office and restroom, with the remaining space customized by the lessee. The buildings will be fully sprinklered and provide ADA access into each building unit. In front of each unit are two large parking spaces and a shared parking lot is provided to the rear of the lot.

The southern border of the property is defined by the Black Brook. A large portion of the site is located within the 100-year flood plain, Zone AE, following the Black Brook water course. The site is also in the City's Surface Water Overlay Protection District with a 30' buffer requirement from the Black Brook and the delineated wetlands. The proposed buildings and parking lot will encroach the 100-year floodplain and require a Floodplain Development Permit along with FEMA approval. Any fill that is proposed will be offset by a flood compensation basin that will be based on total volume calculations. The finish floor elevations of the buildings will be a minimum of 1 foot above the 100 Year floodplain elevation (Minimum Finish Floor Elevation = 519.5'). The proposed driveway will cross the wetland 30' buffer to access the cul-de-sac on Black Brook Road. A second area of buffer encroachment is where the proposed stone spillway for the detention/floodplain basin is proposed. This impact is required to provide a connection point of the stormwater and flood waters to the flooding source, Black Brook.

Below is an outline of the Site Development Standards on the application and how each is addressed.

20.2 Drainage & Stormwater Management:

The stormwater is managed according to NHDES Alteration of Terrain standards and will require this permit, as the project impacts more than 100,000 square feet of land. The storm runoff will be treated according to the state standards and detained in a large basin to ensure the post development runoff matches or less than the pre development runoff.

20.3 Sediment and Erosion Control:

Sediment and erosion control measures are outlined and detailed on the site plans. There will be a combination of silt fence, erosion control matting, stone check dams, rip-rap stone aprons, and a stabilized construction entrance as part of the construction plans. These measures are also reviewed under the NHDES Alteration of Terrain permit.

20.4 Snow Storage & Removal

The site is large enough to store snow on site and areas are shown on the plan.

20.5 Landscaping

The site will have landscaping installed per the landscaping plan. The shared parking lot to the rear will have parking islands to provide internal green space and trees have been provided to shade the parking lot. The flood compensation basin will be seeded with pollinator friendly seed mix.

20.6 Screening

There is a double dumpster enclosure to the rear of the site. This location is not visible from the public way and the dumpsters will be enclosed in a fence enclosure to keep the area looking neat. HVAC equipment is not designed at this time, but it is noted that it must meet the City screening standards once installed.

20.7 Lighting

The lighting is shown on the lighting plan and meets the City standards. Wall mounted lights will be used at each unit and two pole mounted lights in the parking lot. All fixtures are energy efficient LEDs that are full-cutoff. It is noted for hours of operation and 50% of the lights will be on motion sensors to provide security lighting. There are no lights proposed near property lines or public ways.

20.8 Sewer & Water

The site will be serviced by municipal water and sewer. Each building will be fully sprinklered and have a restroom connected to sewer on Black Brook Road. The sewer connection will require a City sewer connection permit and an NHDES Sewer Connection Permit. We will work with City Engineering staff to verify inverts and connection methods.

20.9 Traffic & Access Management

All traffic and access to the site will be off the Black Brook Road. This road was designed to handle traffic from the Corporate Park. The proposed driveway will be 24 feet wide and easily accommodate traffic in and out of the site onto the City road.

20.10 Filling & Excavation

This site falls within the 100 year floodplain and will require fill within the floodplain. The fill will be offset by excavation to provide compensatory storage on site for the floodwaters. The northern building will be approximately at existing grade and the southern building will be in fill scenario.

20.11 Surface Water & Wetlands

The property is adjacent to the Black Brook, which defines the southern border. There are delineated wetlands following the brook and along the Black Brook Road. There are no associated impacts to the delineated wetlands. In order to install the driveway and outlet the drainage basin/flood basin, there

will be a minor impact to the 30' buffer.

20.12 Hazardous & Toxic Materials

The management company will oversee the tenants and ensure no hazardous or toxic materials are not stored outside or in an approved manner.

20.13 Noise

There could be noise associated with certain businesses, depending on the type of contractor renting the space. The units are fully enclosed and any business that may be louder, such as machining, cutting, or workshop spaces could be monitored by management to ensure it does not impact the operations of adjacent tenants. The site is located far enough from other properties and businesses, that noise would not impact other properties.

20.14 Architecture & Visual Appearance

The buildings will be metal panel buildings with each unit having a large garage door and a man-door. The roofs will be a shallow gable pitched roof with metal roofing panels. The colors will be a mixture of gray shades. Examples of the type of construction have been provided, as architectural drawings are not yet complete for the project.

Below is an outline of the CUP Standards per the LDC and how each is addressed.

LDC Section 11.6.2: Conditional Use Permit Standards:

A. The proposed use cannot be located in a manner to avoid encroachment:

Due to the proximity of the wetland to the existing road, the buffer will have to be crossed to access the site. There will not be any impact to the wetland resource itself.

B. Encroachment into the buffer area has been minimized: The driveway will only cross the buffer and not impact the actual wetland, which seems to be created by the drainage from Black Brook Road.

C. The nature, design, siting, and scale of the proposed use will avoid the potential for adverse impacts to the surface water resource: The paved driveway will be graded to collect stormwater runoff and direct it away from the wetland finger and into a grass treatment swale. The water will flow into the large flood/detention basin, which will ultimately become jurisdictional wetlands over time.

D. The surface water buffer area shall be left in a natural state: The encroachment area will be permanently altered as the access drive will cross the buffer. The wetland resource will not be impacted and will ultimately become much larger as the flood compensation basin develops into a wetland.

E. The Planning Board may consider the following:

- 1. The size, character, and quality of the surface water being encroached upon:** The surface water resources on the site are jurisdictional wetlands and the Black Brook. There are no proposed impacts to the wetlands or brook, only the crossing of the buffer by the driveway and stone spillway.
- 2. The location and connectivity of the surface water in relation to other surface waters:** The area of encroachment for the stone spillway is to ensure that the flood basin has connectivity to the brook. This connection will be a small excavation and placement of stone to control the inflow/outflow of water.
- 3. The nature of the ecological and hydrological functions served by the surface water:** The proposed project will not have an adverse impact on the ecological or hydrological function of Black Brook. The floodplain compensation will offset any fill within the floodplain and

allow floodwaters to back up in a similar fashion as the existing condition, with no increase to flood elevation. The floodplain area will provide wildlife habitat to maintain the ecological balance around the site. The drainage systems have been designed to reduce the stormwater runoff volumes and velocities during the 2, 10, and 50 year storm events.

4. **The nature of the topography, slopes, soils and vegetation in the buffer:** The slopes, soils and vegetation within the buffer area will not change, only the where the pavement encroaches the buffer. The flood compensation grading will lower the grades on the site; however, this excavation does not encroach the surface water buffer.
5. **The role of the surface water buffer in mitigating soil erosion, sediment and nutrient transport, groundwater recharge, flood storage and flow dispersion:** The drainage systems will support groundwater recharge and the flood storage will be larger than the volume of the current storage on site. The soil erosion, sediment and nutrient transport will be mitigated by using proper erosion control measures and the installation of the proposed stormwater drainage system.
6. **The extent to which the surface water buffer serves as wildlife habitat or travel corridor:** The buffer area along the perimeter of the site will not be changed or impact the travel corridor of wildlife.
7. **The rate, timing and volume of stormwater runoff and its potential to influence water quality:** The rate, timing and volume of stormwater will be mitigated by the use of deep sump catch basins, oil/debris hoods, grass treatment swales, and a detention basin. There will be no adverse influence to the water quality from the site development.
8. **The sensitivity of the surface water and the surface water buffer to disruption from changes in grade, or plant and animal habitat in the buffer zone:** The grades within the buffer will not change from the existing condition. The floodplain compensation will provide habitat for native plants and animals, which will be planted with pollinator friendly conservation mix.

SWP CUP Application Section Four: Conditional Use Permit Criteria (per application form):

1. **Proposed mitigation measures** – The majority of the wetland buffer will be left in a natural state, which consists of mixed brush and field grasses. The floodplain compensation area will be allowed to return to a natural state, following grading and stabilization practices. This area will ultimately become a habitat for natural flora and fauna to propagate. The area will serve as an upland buffer to the Black Brook.
2. **Disclosure of State & Federal Permits** – The overall impact of the project will require an Alteration of Terrain Permit from NHDES and a General Construction Permit with a Notice of Intent with the EPA. Upon completion of floodplain compensation grading, a Letter of Map Revision (LOMR) will be filed with FEMA for revising the floodplain line.
3. **Why proposed use cannot be placed outside of the Overlay District** – Due to the proximity of the wetland to the City road the driveway access will cross buffer, but will not impact the wetland itself. It appears that the wetland in this area is man-made by the drainage from the roadway.
4. **How encroachment has been minimized** – The encroachment has been minimized by crossing at the end of the buffer to connect to the cul-de-sac.
5. **How proposed use was designed to avoid adverse impacts to surface water resources** – The proposed driveway was designed to avoid the water resource and runoff will be directed away

from the resource by providing a grass treatment swale.

6. **How the buffer will be maintained in a natural state** – The floodplain compensation grading was designed to avoid the majority of the buffer. The buffer will be left in a natural state in this area and the wetland will not be impacted.
7. **Location and connectivity of surface water in relation to surrounding watershed** – The Black Brook flows southeast and connects to the Ash Swamp Brook which connects to the Ashuelot River near the Keene State College ball fields.
8. **Extent to which buffer serves as wildlife habitat** – The buffer serves as wildlife habitat in this area, and will continue to serve as a wildlife habitat. The buffer will continue to serve as wildlife habitat and the floodplain compensation basin will provide further habitat, especially for pollinator species.

SITE DEVELOPMENT PLANS
All Purpose Keene Business Park
LIGHT INDUSTRIAL FACILITY

- TAX MAP 221, LOTS 23 & 24 -
 (BLACK BROOK ROAD)
 KEENE, NEW HAMPSHIRE
 JANUARY 20, 2023
 LAST REVISED: FEBRUARY 13, 2023



SCALE: 1"=400'

SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	EX-1	EXISTING CONDITIONS PLAN (ALTA)
3	SP-1	SITE PLAN
4	GR-1	GRADING & DRAINAGE PLAN
5	UT-1	UTILITY PLAN
6	LT-1	LIGHTING PLAN
7	LS-1	LANDSCAPING PLAN
8	DT-1	EROSION CONTROL DETAILS
9	DT-2	CONSTRUCTION DETAILS
10	DT-3	CONSTRUCTION DETAILS
11	DT-4	CONSTRUCTION DETAILS (SEWER)
1 of 1	EH-1	TRUCK TURNING EXHIBIT PLAN

PREPARED FOR:
PATRIOT HOLDINGS LLC
 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
NEW ENGLAND INTERCONNECT SYSTEMS LLC
 130 NORTH MAIN STREET, LISBON, NH 03585

OWNER'S SIGNATURE: _____ DATE: _____

APPROVED BY THE KEENE, NH PLANNING BOARD FOR PHASE _____
 ON DATE: _____
 CERTIFIED BY: _____

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

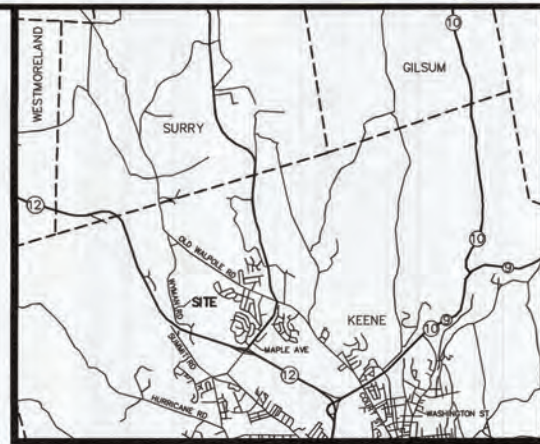
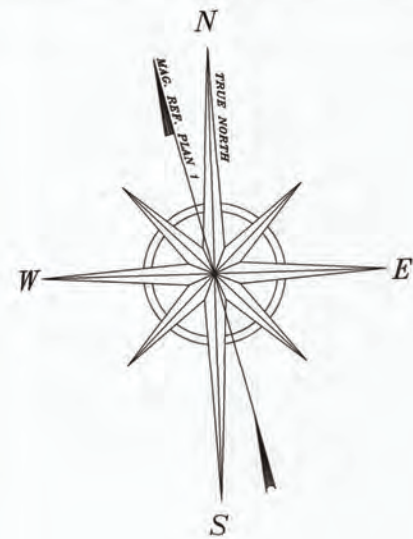
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL **811**
 KNOW WHAT'S BELOW

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603)-672-5456 Fax: (603)-413-5456
 www.FieldstoneLandConsultants.com

REV.	DATE	DESCRIPTION	C/O	DR	CK
A	2/13/23	REVS PER CITY STAFF COMMENTS		JEN	CEB
FILE: 3459CV00A.dwg PROJ. NO. 3459.00 SHEET: CV-1 PAGE NO. 19 OF 32					



~ LOCATION MAP ~

NH BLACK BROOK LLC
5620 OLD MILE HILL RD
OREFIELD, PA 18069
PARCEL ID: 221022
BOOK 3005 PAGE 486

MUTUAL DRIVEWAY AGREEMENT
SEE BOOK 1822 PAGE 2

NH BLACK BROOK LLC
5620 OLD MILE HILL RD
OREFIELD, PA 18069
PARCEL ID: 221021
BOOK 3005 PAGE 486

SLOPE & DRAINAGE EASEMENT
RESERVED TO THE CITY OF KEENE
SEE REFERENCE PLAN 2 & BOOK
1824 PAGE 98

PARCEL #221-023-000-000
5.33 ACRES ±
ZONE AE

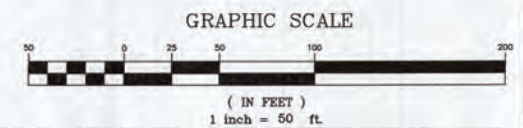
PARCEL #221-024-000-000
7.24 ACRES ±
ZONE AE

CAITLIN WHITEHEAD
7 LED CHASSE WAY
FRAMINGHAM, MA 01701-3070
PARCEL ID: 221028
BOOK 2860 PAGE 540

CAITLIN WHITEHEAD
7 LED CHASSE WAY
FRAMINGHAM, MA 01701-3070
PARCEL ID: 221025
BOOK 2862 PAGE 540

~ LEGEND ~

	PROPERTY LINE
	RIGHT OF WAY LINE
	TIE LINE, NOT PROPERTY LINE
	IRON PIN FOUND
	IRON PIN TO BE SET
	UTILITY POLE
	BROOK
	SEWER MANHOLE
	GATE VALVE
	CURB STOP
	CATCH BASIN
	FIRE HYDRANT
	BOLLARD
	LIGHT POLE
	LPG TANK RISER
	WATER LINE
	SEWER LINE
	UNDERGROUND POWER LINE
	DELINEATED WETLANDS
	BUILDING SETBACKS



~ NOTES ~

- METHOD OF SURVEY: LEICA ROBOTIC TOTAL STATION.
- BEARINGS ARE REFERENCED TO REFERENCE PLAN 1. CONTOURS ARE IN 2' INTERVALS AND WERE TAKEN FROM THE GRANIT LIDAR FILES AND ARE TIED TO NAVD83.
- DIBERNARDO ASSOCIATES IS NOT RESPONSIBLE FOR PROPERTY DESCRIPTIONS PREPARED BY OTHER PERSONS FOR CONVEYANCE OF THE PROPERTY SHOWN HEREON.
- THE PROPERTY IS LOCATED PARTIALLY IN ZONE AE AND ZONE X (SHADED). THE BASE FLOOD ELEVATION FOR THE ENTIRE PARCEL IS 518.5' NAVD83. THE BASE FLOOD ELEVATION WAS CALCULATED FROM THE FLOOD INSURANCE STUDY VOLUME 1 CHESHIRE COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) DATED MAY 23, 2006 BLACK BROOK PROFILE FOUND ON PAGE 71.
- THE WETLANDS WERE DELINEATED AND LOCATED BY JONATHAN SISSON AT BEAVER TRACKS, LLC. (603.313.4925).
- ALL UTILITY LINES ARE SHOWN AS APPROXIMATE. NO UNDERGROUND EXPLORATION WAS CONDUCTED BY THIS FIRM. CALL 1-800-DIG-SAFE PRIOR TO CONSTRUCTION. LINES ARE PRESUMED TO RUN IN A STRAIGHT LINE FROM SURFACE STRUCTURE TO SURFACE STRUCTURE.
- THE PROPERTY IS LOCATED IN THE CORPORATE PARK (CP) ZONE. SEE SHEET TWO FOR DETAILS.
- GROSS LAND AREA = 12.57 ACRES ± OR 547,549.20 S.F. ±.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED DURING THE COURSE OF THE SURVEY.

~ REFERENCE PLANS ~

- PLAN ENTITLED "6 LOT SUBDIVISION OF LAND DESCRIBED IN BOOK 1530 PAGE 512 PREPARED FOR KEENE ECONOMIC DEVELOPMENT & REVITALIZATION CORPORATION 20 CENTRAL SQUARE, SUITE 1, KEENE, NEW HAMPSHIRE 03431", DATED SEPTEMBER 1997, PROJ. NO. 6754, RECORDED IN CAB. 12 DR. 3 NO. 90, PREPARED BY CLOUGH, HARBOUR & ASSOCIATES LLP.
- PLAN ENTITLED "PROPOSED SLOPE & DRAINAGE EASEMENTS PLAN BLACK BROOK ROAD PREPARED FOR KEENE ECONOMIC DEVELOPMENT & REVITALIZATION CORPORATION 20 CENTRAL SQUARE, SUITE 1, KEENE, NEW HAMPSHIRE 03431", DATED NOVEMBER 1997, PROJ. NO. 6784, RECORDED IN CAB. 12 DR. 3 NO. 91, PREPARED BY CLOUGH, HARBOUR & ASSOCIATES LLP.
- PLAN ENTITLED "TWO LOT SUBDIVISION LOCATED AT TAX MAP 919-09, LOT 26.03 KEENE, NEW HAMPSHIRE PREPARED FOR MONADNOCK ECONOMIC DEVELOPMENT CORPORATION 39 CENTRAL SQUARE, SUITE 201, KEENE, NEW HAMPSHIRE 03431", DATED APRIL 2, 2001, PROJ. NO. 10432, RECORDED IN CAB. 12 DR. 6 NO. 150, PREPARED BY CLOUGH, HARBOUR & ASSOCIATES LLP.
- PLAN ENTITLED "PLAN ASH SWAMP WATERSHED CHESHIRE COUNTY N.H. 1960 PREPARED BY CITY OF KEENE ENG. DEPT.", RECORDED IN PLAN BOOK 32 PAGE 10.

~ REFERENCE DEEDS ~

- DEED FROM MONADNOCK ECONOMIC DEVELOPMENT CORPORATION TO NEW ENGLAND INTERCONNECT SYSTEMS, INC. RECORDED IN BOOK 1824 PAGE 98 ON AUGUST 1, 2001.

~ CHAPTER 676:18 SECTION III CERTIFICATION ~
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Joseph A. DiBernardo
DATE 8/24/22

EXISTING CONDITIONS PLAN
PROPERTY OF

NEW ENGLAND INTERCONNECT SYSTEMS INC
130 NORTH MAIN ST.
LISBON, NH 03585
PARCEL ID: 221023
BOOK 1824 PAGE 98

BLACKBROOK ROAD ~ CHESHIRE COUNTY ~ KEENE, NEW HAMPSHIRE

DIBERNARDO ASSOCIATES, LLC
VT NH
LICENSED LAND SURVEYORS
113 CHURCH STREET
NORTH WALPOLE, NH 03609
802-463-3031 ~ 603-358-5500

DATE AUGUST 24, 2022 SCALE 1" = 50'
DRAWN BY JAD CK'D BY JTW
SURVEYED BY BG

DWG. NO. 3474-1 SHEET: Page 20 of 32 2 OF 11

LEGEND:

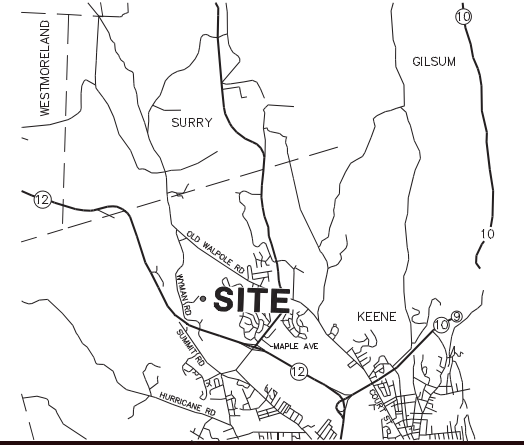
EXISTING FEATURES	PROPOSED FEATURES
— RIGHT-OF-WAY LINE	— X — TEMPORARY SILT FENCE
— BOUNDARY LINE	— 518 — 2 FT. CONTOUR
— ABUTTING LOT LINE	— 520 — 10 FT. CONTOUR
— BUILDING SETBACK LINE	○ 519.5 — SPOT GRADE ELEVATION
— EDGE OF PAVED ROAD	○ 519.0 — SPOT ELEVATION AT CURB
— EDGE OF GRAVEL ROAD	— [Symbol] — STORM WATER DRAINAGE
— EXISTING EASEMENT LINE	— [Symbol] — DRAIN MANHOLE
— BLACK BROOK	— [Symbol] — SILT SOCK FOR ALL CATCH BASINS
	— [Symbol] — SOIL TEST PIT
	— [Symbol] — L=LEDGE S=WATER ELEV.
	— [Symbol] — PROPOSED SANITARY SEWER
	— [Symbol] — CULVERT W/ END SECTION & RIP-RAP
	— [Symbol] — HYDRANT, GATE VALVE & WATER MAIN
	— [Symbol] — GAS LINE, PROPANE
	— [Symbol] — ELECTRICAL TRANSFORMER & UNDERGROUND
	— [Symbol] — POLE & BUILDING MOUNTED LIGHTS
	— [Symbol] — SIGN
	— [Symbol] — EDGE OF PAVEMENT
	— [Symbol] — CURBLINE (CAPE COD BERM)
	— [Symbol] — ASPHALT PAVED AREA
	— [Symbol] — BUILDING
	— [Symbol] — TRAFFIC FLOW (NOT PAINTED ARROWS)
	— [Symbol] — CONCRETE PAD/SIDEWALK
	— [Symbol] — HANDICAP PARKING STALL
	— [Symbol] — 100 YEAR FLOODPLAIN (518.5')
	— [Symbol] — DELINEATED WETLAND AREAS

221021
NH BLACK BROOK LLC
 5620 OLD MILE HILL RD
 OREFIELD, PA 18069
 BK 3005 PG 486

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 5620 OLD MILE HILL RD
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221028
CAITLIN WHITHEAD
 7 LEO CHASSE WAY
 FRAMINGHAM, MA 01701-3070
 BK 2860 PG 540

221025
CAITLIN WHITHEAD
 7 LEO CHASSE WAY
 FRAMINGHAM, MA 01701-3070
 BK 2862 PG 540



NOTES:

- THE OWNER OF RECORD FOR PARCEL 221-023 & 024 IS NEW ENGLAND INTERCONNECT SYSTEMS, INC. OF 130 NORTH MAIN ST., LISBON, NH 03585.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A SITE LAYOUT FOR A LIGHT INDUSTRIAL DEVELOPMENT ON TAX MAP 221 PARCELS 023 & 024 AS SHOWN. THE PROPOSAL IS BASED ON BOTH LOTS BEING MERGED INTO ONE LOT AND USED AS LIGHT INDUSTRIAL. EACH BUILDING UNIT WILL HAVE A SMALL OFFICE, RESTROOM, AND LEASED TO CONTRACTOR BUSINESSES.
- ZONING FOR THE PARCEL IS CORPORATE PARK (CP). REQUIREMENTS INCLUDE:
 MINIMUM LOT AREA: 2 ACRES (AFTER MERGER LOT = 12.57 ACRES)
 MINIMUM LOT WIDTH: 200 FT.
 MINIMUM FRONTAGE: 100 FT. (AFTER MERGER FRONTAGE = 509.02')
 MINIMUM FRONT SETBACK: 40 FT.
 MINIMUM SETBACKS: 50 FT. REAR AND SIDE (40' FOR ONE SIDE W/OUT PARKING)
 MAXIMUM BUILDING & IMPERVIOUS COVERAGE: 80%
 MIN. GREEN/OPEN SPACE: 20%
 MAX. BUILDING HEIGHT: 60 FT.
- THE BOUNDARY AND BASE PLAN INFORMATION SHOWN IS FROM SURVEY DATA PREPARED BY DIBERNARDO ASSOCIATES, LLC.
- THE TOPOGRAPHIC ELEVATIONS ARE BASED ON GRANIT LIDAR CONTOURS AND NAVD88 DATUM.
- WETLANDS SHOWN WERE DELINEATED BY JONATHAN SISSON, CWS, CSS, OF BEAVER TRACKS, LLC. WETLANDS WERE VERIFIED BY CHRISTOPHER A. GUIDA BY FIELDSTONE LAND CONSULTANTS, PLLC.
- THE PROPERTY IS LOCATED PARTIALLY IN ZONE AE AND ZONE X. THE BASE FLOOD ELEVATION FOR THE ENTIRE PARCEL IS 518.5' NAVD88. THE BASE FLOOD ELEVATION WAS CALCULATED FROM THE FLOOD INSURANCE STUDY VOLUME 1 (CHESHIRE COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) DATED MAY 23, 2006 BLACK BROOK PROFILE FOUND ON PAGE 71).
- MAXIMUM LOT COVERAGE: 80% (12.57 x 0.8 = 10.06 AC, 438,039 SF)
 PROPOSED LOT COVERAGE:
 BUILDINGS = 61,200 S.F., PAVEMENT = 66,822 S.F.
 TOTAL IMPERVIOUS = 128,022 S.F. (128,022 ±S.F. / 547,549 ±S.F.) = 23.4%±
- PARKING REQUIRED (PER LDC TABLE 9-1, INDUSTRIAL, LIGHT):
 0.5 SPACES/1000 SF; 0.5 x 61.2 = 31 SPACES
 4 SP/1000 SF OFFICE; 4 x (10'x30'x34 UNITS)/1000 = 41 SPACES
 TOTAL = 31 + 41 = 52 SPACES REQUIRED (119 PROVIDED)
 ADA SPACES: 5 SPACES REQUIRED FOR 119 TOTAL (1 VAN ADA) => 5 PROVIDED
- SNOW STORAGE SHALL BE DONE ON SITE. IN THE EVENT OF EXCESSIVE SNOW, SNOW WILL BE TRUCKED OFF SITE, AS NECESSARY.
- BUILDING CORNERS ARE TO BE PINNED BY A SURVEYOR PRIOR TO FOUNDATION CONSTRUCTION.

TOTAL PROPOSED CONTRACTOR UNITS
 61,200 S.F.

REV.	DATE	DESCRIPTION	C/O	DR	CEB	CK
A	2/13/23	REVS PER CITY STAFF COMMENTS		JEN	CEB	

SITE PLAN
TAX MAP PARCEL 221-023 & 221-024
(BLACK BROOK ROAD)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103

SCALE: 1" = 50' JANUARY 20, 2023

Surveying + Engineering + Land Planning + Permitting + Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC
 206 Elm Street, Millford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

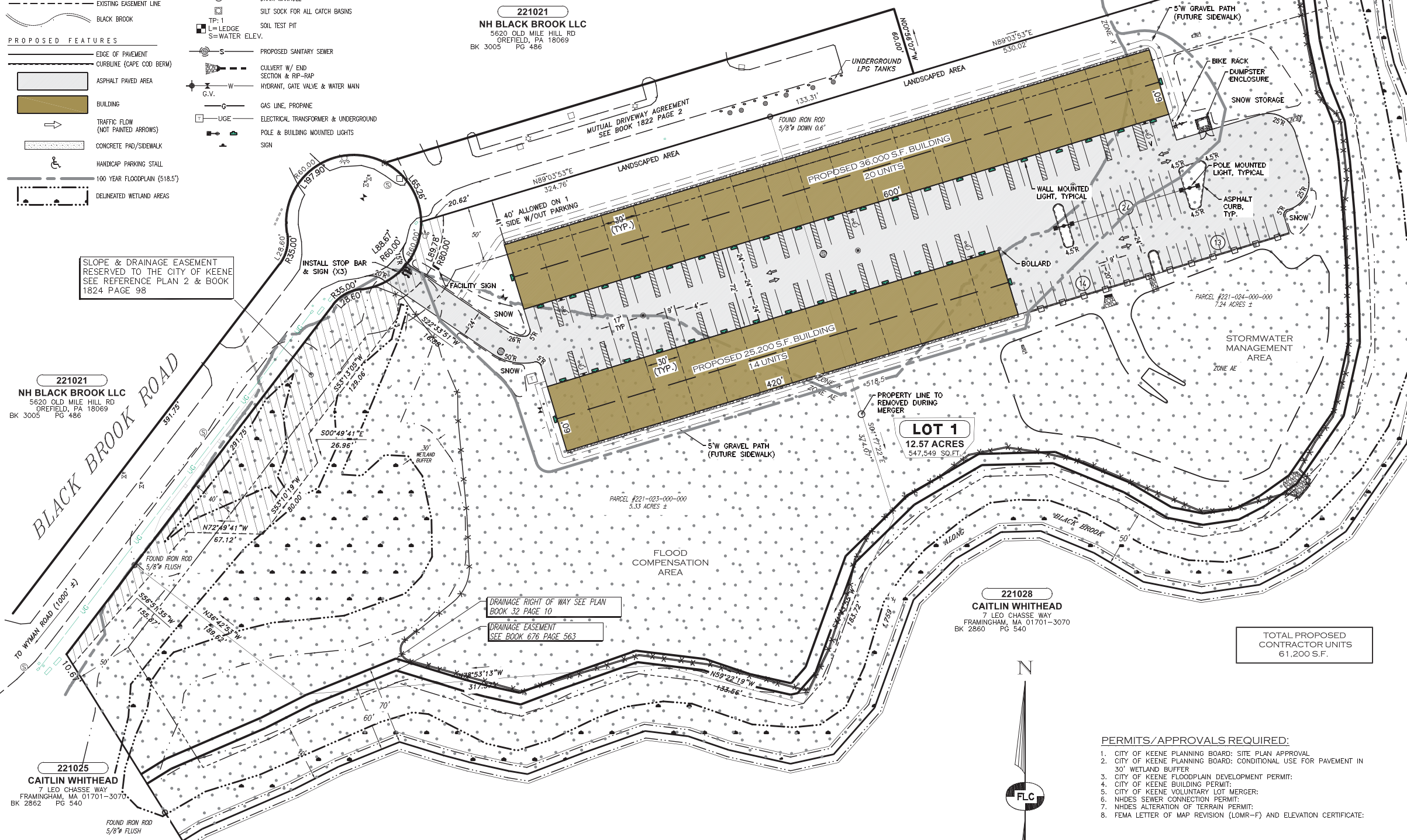
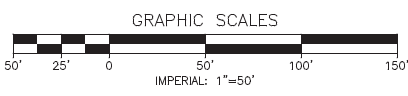
- PERMITS/APPROVALS REQUIRED:**
- CITY OF KEENE PLANNING BOARD: SITE PLAN APPROVAL
 - CITY OF KEENE PLANNING BOARD: CONDITIONAL USE FOR PAVEMENT IN 30' WETLAND BUFFER
 - CITY OF KEENE FLOODPLAIN DEVELOPMENT PERMIT
 - CITY OF KEENE BUILDINGS PERMIT
 - CITY OF KEENE VOLUNTARY LOT MERGER
 - NHDES SEWER CONNECTION PERMIT
 - NHDES ALTERATION OF TERRAIN PERMIT
 - FEMA LETTER OF MAP REVISION (LOMR-F) AND ELEVATION CERTIFICATE:

LAND-OWNER SIGNATURE

OWNER: _____ DATE: _____

APPROVED BY THE KEENE PLANNING BOARD

ON: _____ CERTIFIED BY: _____ AND _____
 CHAIRMAN: _____ SECRETARY: _____



LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- - - ABUTTING LOT LINE
- BUILDING SETBACK LINE
- - - EDGE OF PAVED ROAD
- - - EDGE OF GRAVEL ROAD
- - - EXISTING EASEMENT LINE
- BLACK BROOK

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CURBLINE (CAPE COD BERM)
- ASPHALT PAVED AREA
- BUILDING
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- CONCRETE PAD/SIDEWALK
- HANDICAP PARKING STALL
- 100 YEAR FLOODPLAIN (518.5')
- DELINEATED WETLAND AREAS

PROPOSED FEATURES

- X — TEMPORARY SILT FENCE
- 518 — 2 FT. CONTOUR
- 520 — 10 FT. CONTOUR
- 519.5 — SPOT GRADE ELEVATION
- 519.2 — SPOT ELEVATION AT CURB
- STORM WATER DRAINAGE
- DRAIN MANHOLE
- SILT SOCK FOR ALL CATCH BASINS
- SOIL TEST PIT
- L=LEDGE S=WATER ELEV.
- S — PROPOSED SANITARY SEWER
- CULVERT W/ END SECTION & RIP-RAP
- W — HYDRANT, GATE VALVE & WATER MAIN C.V.
- G — GAS LINE, PROPANE
- UGE — ELECTRICAL TRANSFORMER & UNDERGROUND
- POLE & BUILDING MOUNTED LIGHTS
- SIGN

221021
NH BLACK BROOK LLC
 5620 OLD MILE HILL RD
 OREFIELD, PA 18069
 BK 3005 PG 486

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221025
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 BK 2862 PG 540

221028
CAITLIN WHITHEAD
 7 LEO CHASSE WAY
 FRAMINGHAM, MA 01701-3070
 BK 2860 PG 540

PROPOSED DRAINAGE STRUCTURES:

CB#1	RIM=518.9
	INV O=516.4
CB#2	RIM=518.9
	INV IN=515.4
	INV O=515.4
CB#3	RIM=518.9
	INV IN=514.4
	INV O=514.4

GRADING & DRAINAGE NOTES:

1. THE PROPOSED DRIVEWAY IS A PRIVATE DRIVEWAY AND IS GRADED TO NOT DIRECT WATER INTO THE CITY STREET.
2. DRIVEWAY MAXIMUM GRADES ARE 15% PER CITY REGS. THE GRADES PROPOSED ARE WELL BELOW THIS LIMIT AND RELATIVELY FLAT IN SLOPE.
3. ALL ROAD DITCHES OVER 5% GRADE SHALL HAVE STONE CHECK DAMS AND LINED WITH 4" MINUS RIP RAP STONE WHERE APPLICABLE.
4. DUE TO THE CLOSE PROXIMITY OF THE WETLANDS TO THE SITE, THE WETLAND BUFFER MUST BE FLAGGED PRIOR TO INSTALLING SILT FENCE AND STARTING THE SITE GRADING.
5. ALL UNITS ARE ADA COMPLIANT WHERE THE EXTERIOR GRADES MEET ADA REGULATIONS AND PARKING SPACES DIRECTLY IN FRONT OF UNITS ARE ADA COMPLIANT SPACES.
6. GRADING PROVIDES FOR FLOOD COMPENSATION OF ANY FILL WITHIN THE 100 YEAR FLOODPLAIN. BUILDING FINISH FLOOR ELEVATIONS MUST BE AT ELEVATION 419.5' OR HIGHER TO MEET CITY FLOODPLAIN REGULATIONS.

FLOODPLAIN - COMPENSATORY STORAGE:

1. FLOODPLAIN ELEVATION = 518.5' AND ANY FILL AT THIS ELEVATION OR LOWER ELEVATION IS CONSIDERED FILL IN THE FLOODPLAIN.
2. FLOOD COMPENSATION IS PROVIDED BY A TOTAL VOLUME AMOUNT, AS ELEVATIONS ON SITE WILL NOT ALLOW FOR COMPENSATION AT EACH FOOT OF ELEVATION CHANGE (FOOT BY FOOT ANALYSIS).
3. BUILDING FINISH FLOOR ELEVATIONS (FFE) MUST BE 1 FOOT ABOVE THE FLOODPLAIN ELEVATION (518.5'), REQUIRING A FFE AT/ABOVE 519.5'. BOTH BUILDINGS FFE = 520.0'

TOTAL CUT (COMP): 372,062.3 C.F., 13,780.09 C.Y. (COMP. IN FLOODPLAIN)
 TOTAL FILL: 133,047.6 C.F., 4,927.69 C.Y. (FILL IN FLOODPLAIN)

Area in Cut : 202,429.4 S.F., 4.65 Acres
 Area in Fill: 117,827.6 S.F., 2.70 Acres
 Area exactly in daylight: 18,653.7 S.F., 0.43 Acres
 Total inclusion area: 338,910.6 S.F., 7.78 Acres

FOOT-BY-FOOT VOLUMES:

Zone: 514.0 to 515.0
 Cut Volume : 144,493.56 C.F., 5,351.61 C.Y.
 Fill Volume : 47.95 C.F., 1.78 C.Y.

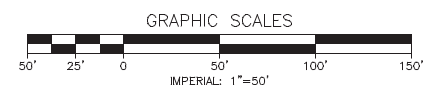
Zone: 515.0 to 516.0
 Cut Volume : 130,696.31 C.F., 4,840.60 C.Y.
 Fill Volume : 677.21 C.F., 25.08 C.Y.
 Running Totals:
 Cut Volume : 275,189.87 C.F., 10,192.22 C.Y.
 Fill Volume : 725.16 C.F., 26.86 C.Y.

Zone: 516.0 to 517.0
 Cut Volume : 45,436.46 C.F., 1,682.83 C.Y.
 Fill Volume : 14,779.32 C.F., 547.38 C.Y.
 Running Totals:
 Cut Volume : 320,626.33 C.F., 11,875.05 C.Y.
 Fill Volume : 15,504.48 C.F., 574.24 C.Y.

Zone: 517.0 to 518.0
 Cut Volume : 36,739.53 C.F., 1,360.72 C.Y.
 Fill Volume : 20,576.76 C.F., 762.10 C.Y.
 Running Totals:
 Cut Volume : 357,365.86 C.F., 13,235.77 C.Y.
 Fill Volume : 36,081.24 C.F., 1,336.34 C.Y.

Zone: 518.0 to 519.0 (FLOOD ELEV = 518.5')
 Cut Volume : 4,304.08 C.F., 159.41 C.Y.
 Fill Volume : 52,061.69 C.F., 1,928.21 C.Y.
 Running Totals:
 Cut Volume : 361,669.94 C.F., 13,395.18 C.Y.
 Fill Volume : 88,142.94 C.F., 3,264.55 C.Y.

Zone: 519.0 to 520.0
 Cut Volume : 13,190.34 C.F., 488.53 C.Y.
 Fill Volume : 47,709.10 C.F., 1,767.00 C.Y.
 Running Totals:
 Cut Volume : 374,860.28 C.F., 13,883.71 C.Y.
 Fill Volume : 135,852.03 C.F., 5,031.56 C.Y.



REV.	DATE	REVS PER CITY STAFF COMMENTS	DESCRIPTION	C/O	JEN DR	CEB CK
A	2/13/23					

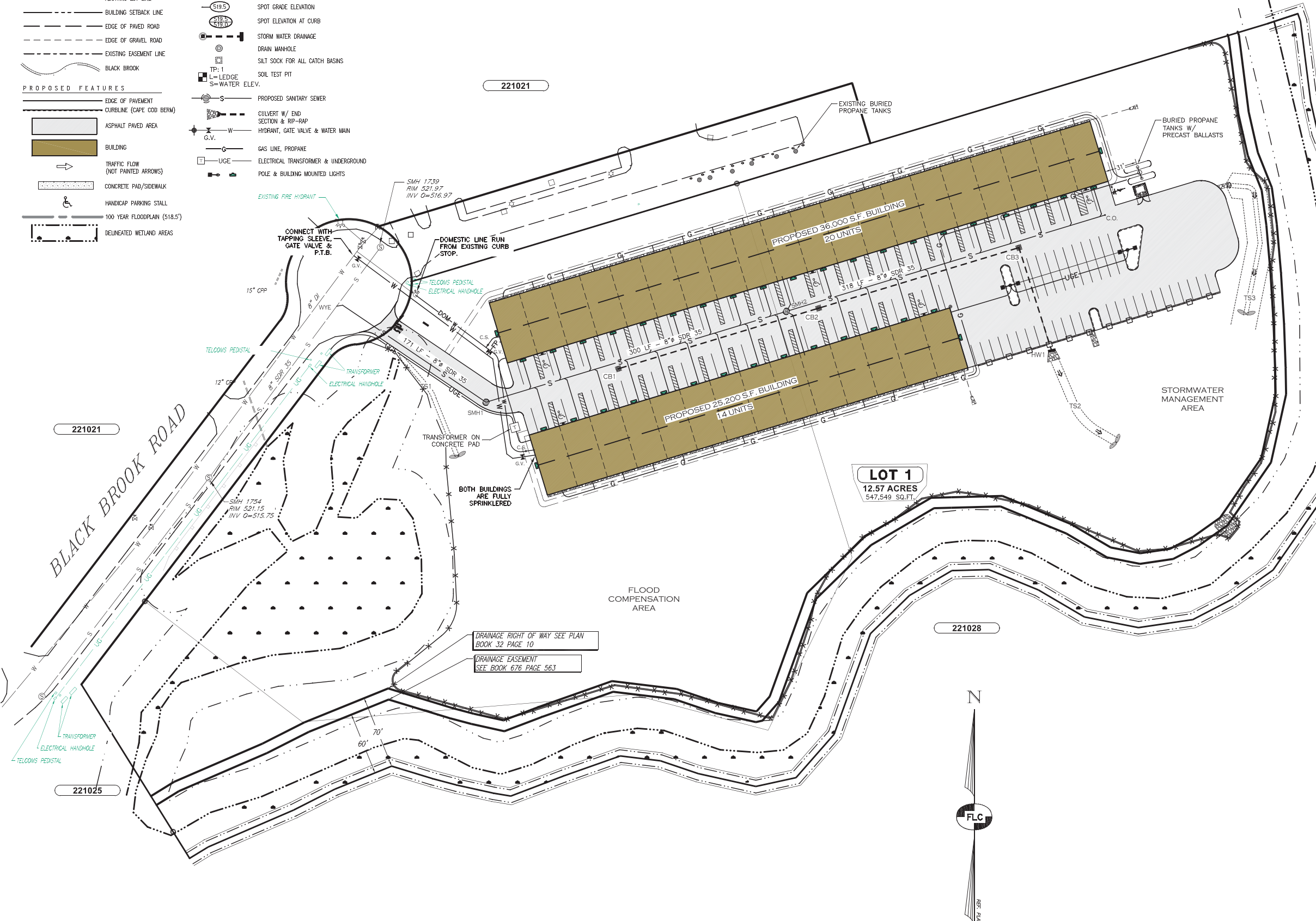
GRADING AND DRAINAGE PLAN
TAX MAP PARCEL 221-023 & 221-024
(BLACK BROOK ROAD)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103

SCALE: 1" = 50' JANUARY 20, 2023

Surveying + Engineering + Land Planning + Permitting + Septic Designs

LEGEND:

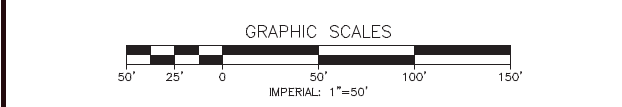
EXISTING FEATURES	PROPOSED FEATURES
— RIGHT-OF-WAY LINE	— X — TEMPORARY SILT FENCE
— BOUNDARY LINE	— 518 — 2 FT. CONTOUR
— ABUTTING LOT LINE	— 520 — 10 FT. CONTOUR
— BUILDING SETBACK LINE	— 519.5 — SPOT GRADE ELEVATION
— EDGE OF PAVED ROAD	— 519.0 — SPOT ELEVATION AT CURB
— EDGE OF GRAVEL ROAD	— [Symbol] — STORM WATER DRAINAGE
— EXISTING EASEMENT LINE	— [Symbol] — DRAIN MANHOLE
— BLACK BROOK	— [Symbol] — SILT SOCK FOR ALL CATCH BASINS
	— [Symbol] — SOIL TEST PIT
	— [Symbol] — L=LEEDGE S=WATER ELEV.
PROPOSED FEATURES	
— EDGE OF PAVEMENT	— [Symbol] — PROPOSED SANITARY SEWER
— CURBLINE (CAPE COD BEEM)	— [Symbol] — CULVERT W/ END SECTION & RIP-RAP
— ASPHALT PAVED AREA	— [Symbol] — HYDRANT, GATE VALVE & WATER MAIN
— BUILDING	— [Symbol] — G.V.
— TRAFFIC FLOW (NOT PAINTED ARROWS)	— [Symbol] — GAS LINE, PROPANE
— CONCRETE PAD/SIDEWALK	— [Symbol] — UGE
— HANDICAP PARKING STALL	— [Symbol] — ELECTRICAL TRANSFORMER & UNDERGROUND POLE & BUILDING MOUNTED LIGHTS
— 100 YEAR FLOODPLAIN (518.5)	
— DELINEATED WETLAND AREAS	



- UTILITY NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF KEENE AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF KEENE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DISSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS. THE WATER AND SEWER CONNECTIONS IN BLACK BROOK ROAD WILL REQUIRE AN EXCAVATION PERMIT AND COORDINATION WITH KEENE PUBLIC WORKS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KEENE FIRE DEPARTMENT REGULATIONS. BASED ON TEST PITS, THIS IS UNLIKELY TO BE PRESENT.
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED. THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS. THE POWER SERVICE SIZES SHALL BE VERIFIED BY AN ELECTRICAL ENGINEER AND EVERSOURCE.
 - ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
 - ALL PROPANE GAS WORK SHALL CONFORM TO THE SUPPLIER'S GAS SPECIFICATIONS. PROVIDE SHUTOFF VALVE AND REGULATOR FOR EACH BUILDING. THE PROPANE TANKS SHALL BE INSTALLED BELOW GRADE & HAVE ANTI-FLOTATION BLOCKS INSTALLED.
 - WATER AND SEWER SERVICES TO TIE INTO THE KEENE MUNICIPAL SERVICE IN BLACK BROOK ROAD. CONTRACTOR TO CONFIRM SIZE AND LOCATION OF EXISTING STUB TO THE PROPERTY.
 - SEWER SERVICES AT EACH UNIT SHALL HAVE INDIVIDUAL CLEAN-OUTS INSIDE THE BUILDING.
 - CONTRACTOR TO COORDINATE WITH CITY DPW ON SEWER TIE-IN ON BLACK BROOK RD. THE EXISTING SEWER FLOW MUST BE MAINTAINED AND PUMP AROUND MANHOLE DURING TIE IN.
 - CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ANY RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 - ALL BUILDINGS WILL HAVE FIRE SUPPRESSION SPRINKLER SYSTEMS AND EXISTING FIRE HYDRANTS ARE LOCATED ON BLACK BROOK ROAD.
 - ALL HVAC EQUIPMENT SHALL MEET THE SCREENING STANDARDS OF THE L.D.C.: ROOF MOUNTED EQUIPMENT SHALL BE SETBACK 10' FROM EDGE. GROUND-MOUNTED EQUIPMENT TO BE LOCATED SO AS NOT TO BE VISIBLE FROM THE PUBLIC WAY - SCREEN IF VISIBLE.
 - FIRE ALARM SYSTEM TO BE HANDLED AS PART OF THE BUILDING PERMIT.

SANITARY SEWER CALCULATIONS:

- DAILY FLOW RATE: 10 GPD/EMPLOYEE X 2 EMPLOYEES/UNIT X 34 UNITS = 680 GPD
- INFILTRATION: 789 LF 8" SDR 35 (0.15 MILE) [(8"x0.15 MI)] x 300 GPD/INCH-MILE = 359 GPD
- AVERAGE DAILY FLOW: 680 + 359 = 1,039 GPD
- PEAK DESIGN FLOW: PEAKING FACTOR = 6 (< 100,000 GPD) 6 x 1039 GPD = 6,234 GPD



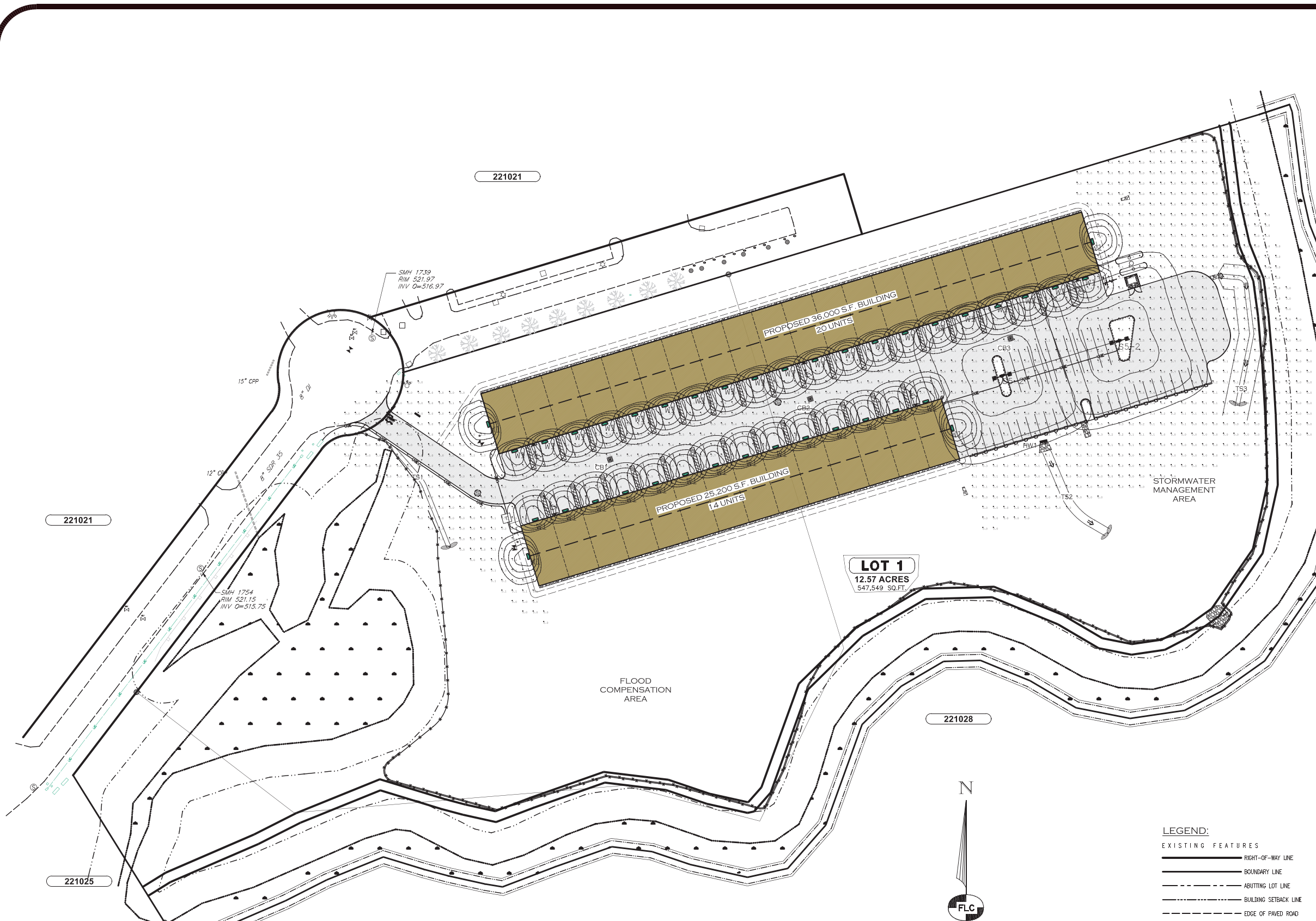
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A	2/13/23				

UTILITY PLAN
TAX MAP PARCEL 221-023 & 221-024
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KEENE, NEW HAMPSHIRE
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SCALE: 1" = 50' JANUARY 20, 2023

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 www.FieldstoneLandConsultants.com



- DESIGN NOTES:**
- LIGHTING REQUIREMENTS:**

PARKING LOTS AVERAGE	REQUIRED	PROPOSED
MINIMUM	3.5 Fc MAX	3.0 Fc AVG.
U. RATIO (AVG/MIN)	0.33 Fc	0.3 Fc
MAX AT PROP. LINE	5:1	3:6
MAX AT R.O.W.	0.1 Fc	0.0 Fc
SIDEWALKS	1.0 Fc	0.0 Fc
MINIMUM	0.5 Fc	N.A.
MAXIMUM	5.0 Fc	N.A.
LUMENS	1200 L MAX	N.A.
 - ALL PROPOSED LIGHTING MUST BE GREATER THAN 70 (CRI) COLOR RENDERING INDEX.
 - ALL PROPOSED LIGHTING MUST BE 3500 KELVIN COLOR-TEMPERATURE OR LESS.

- LIGHTING NOTES:**
- LIGHTING SHALL BE INSTALLED AND ARRANGED SO AS NOT TO REFLECT OR CAUSE GLARE UPON ABUTTING LAND, HIGHWAYS AND ROADS.
 - ALL FIXTURES ARE FULL CUTOFF, LED FIXTURES, FLOOD LIGHTING AND UP-LIGHTING ARE PROHIBITED.
 - LIGHTING IS PROVIDED VIA BUILDING MOUNTED LIGHTS AND POLE MOUNTED LIGHTS.
 - MOUNTING HEIGHT OF ALL PROPOSED WALL MOUNT LIGHTING FIXTURES SHALL BE 11 FEET ABOVE FINISH GRADE ON THE BUILDINGS, LOCATED AT EACH BUILDING UNIT.
 - POLE MOUNTED LIGHTS ARE TO BE MOUNTED 29.5 FEET ABOVE FINISH GRADE.
 - ALL LIGHTS ARE TO BE SETUP ON PHOTOCELLS TO AUTOMATICALLY TURN OFF DURING DAYLIGHT HOURS. TIMER SHALL BE INSTALLED TO LIMIT HOURS FROM 6 AM - 10 PM. IF OPERATING 24/7 THE LIGHTING MUST REDUCE BY 50% FOR SECURITY LIGHTING, HALF OF THE WALLPACKS SHALL BE INSTALLED WITH MOTION SENSORS.
 - ALL FIXTURES AND HARDWARE ARE TO BE DARK BRONZE IN COLOR TO MATCH.
 - LIGHT FIXTURES ARE AVAILABLE THROUGH EXPOSURE 2 LIGHTING. ANY CHANGE IN FIXTURE MUST BE APPROVED BY THE OWNER, DESIGN ENGINEER, AND CITY OF KEENE.

OVERVIEW	
Lumen Package	6,000 - 34,000
Wattage Range	41 - 196
Efficacy Range (LPW)	152 - 156
Fixture Weight (lbs)	20 (9.1)

- Zero voltage.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 80
- Integral louver (L) and integral full-cutoff (F) options available for enhanced background control.

Mirada Small Area (MRS)
Outdoor LED Area Light

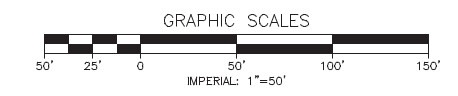
POLE MOUNTED LIGHTS:

OVERVIEW	
Lumen Output Range	2,000 - 6,000
Wattage Range	15 - 52
Efficacy Range (LPW)	109 - 103
Luminaire Weight (lbs)	8 (3.6)

- Zero voltage.
- Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377
- Minimum CRI of 80

Mirada Small Wall Sconce (XWS)
Outdoor LED Wall Light

BUILDING MOUNTED LIGHTS:



Symbol	Qty	Label	Arrangement	Description
	2	SS-2	Back-Back	MRS-LED-09L-SIL-SW-UNV-DIM-30-70CRI-IMSRT2 / SSQ-B3-S11G-27-D180-GA / MTD ON 2.5' BASE (29.5' AFG)
	38	W1	Single	XWS-LED-02L-FW-UNV-DIM-30-80CRI-IMSRT1 / WALL MTD 11' AFG

PARKING LOT AREA		PARKING & DRIVE BETWEEN BLDGS	
Illuminance (Fc)	Average = 1.08	Illuminance (Fc)	Average = 1.27
	Maximum = 3.0		Maximum = 3.1
	Minimum = 0.3		Minimum = 0.3
	Avg/Min Ratio = 3.60		Avg/Min Ratio = 4.23
	Max/Min Ratio = 10.00		Max/Min Ratio = 10.33

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EXISTING EASEMENT LINE
 - BLACK BROOK
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - PAVED AREA
 - BUILDING
 - TRAFFIC FLOW (NOT PAINTED ARROWS)

REV.	DATE	DESCRIPTION	C/O	DR	CK
A	2/13/23	REVS PER CITY STAFF COMMENTS		JEN	CEB

LIGHTING PLAN
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DESIGN NOTES:

- LANDSCAPING REQUIREMENTS:

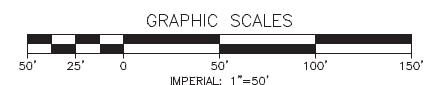
TREES (SITE)	REQUIRED	PROPOSED
1/10 PARKING SPACE (119 SP)	12 TREES	12 TREES
PARKING PERIMETER TREES	N/A	

SHRUBS:	REQUIRED	PROPOSED
EVERGREENS	SCREENING	0
NON-EVERGREEN	N/A	6

PARKING OVER 50 SPACES:	REQUIRED	PROPOSED
1 TREE PER 10 SPACES	5	6
10% PARKING AREA LANDSCAPED	918 SF	1036 SF
PARKING ISLAND SIZE MIN.	95 SF	142 SF

*THE PARKING LOT IS NOT VISIBLE FROM A PUBLIC WAY.

- LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES.
 - EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1-YEAR OR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS FIRST.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
 - ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS TO PROVIDE SAFE PASSAGE OF PEDESTRIANS, BICYCLISTS, AND MOTORISTS.
 - ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 - PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
 - ALL LANDSCAPING APPROVED AS PART OF THE SITE PLAN SHALL BE CONSIDERED AS ELEMENTS OF THE SITE, IN THE SAME MANNER AS PARKING, BUILDING MATERIALS, AND OTHER SITE DETAILS. ANY CHANGES WILL REQUIRE APPROVAL BY THE OWNER AND CITY COMMUNITY DEVELOPMENT DIRECTOR.
 - BIKE RACKS ARE PROPOSED AT EACH BUILDING AND EACH UNIT HAS A GARAGE TO ALLOW FOR STORAGE.
 - ALL HVAC EQUIPMENT SHALL BE ROOF MOUNTED OR NOT BE VISIBLE FROM THE PUBLIC RIGHT OF WAY.



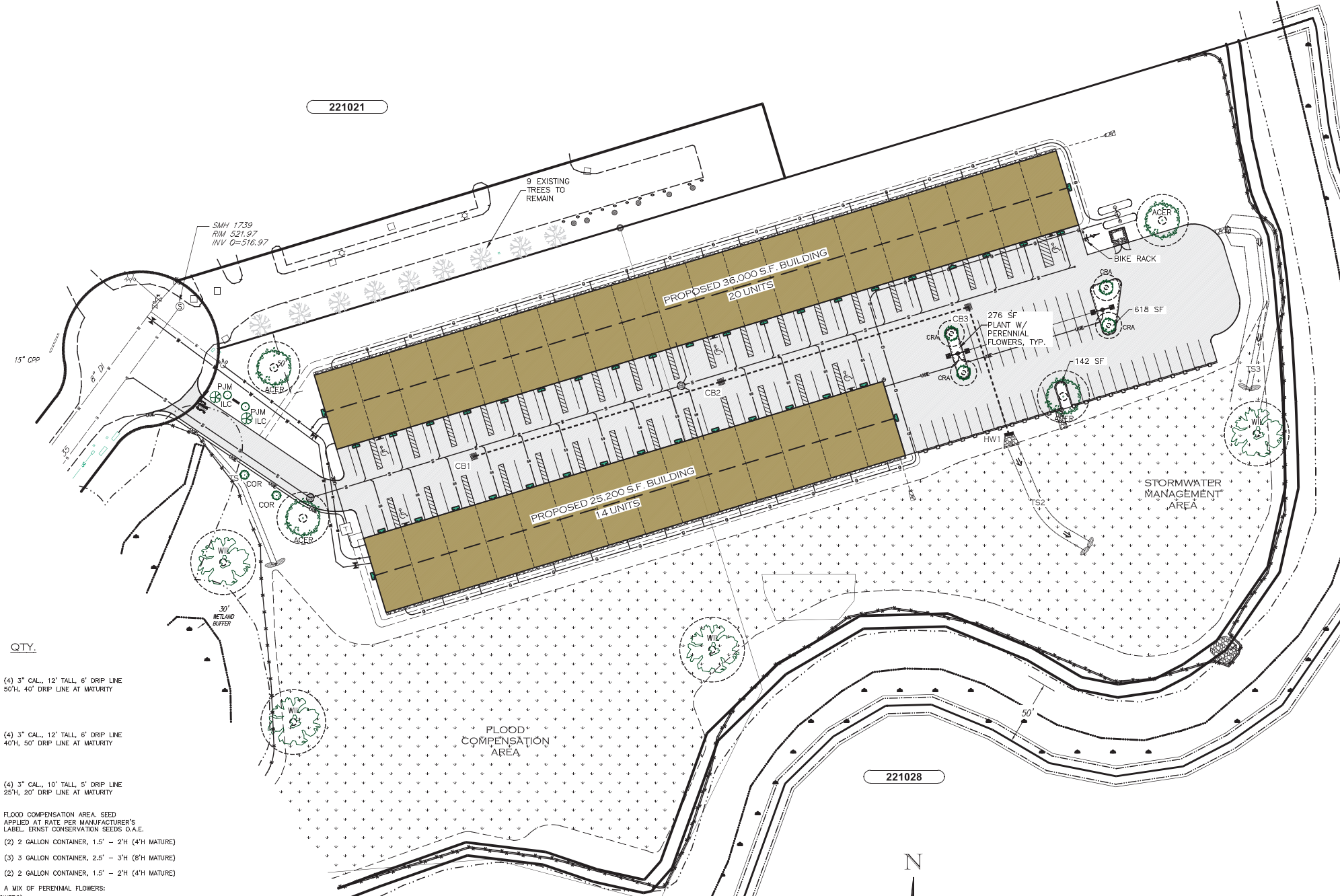
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PLANT SYMBOLS

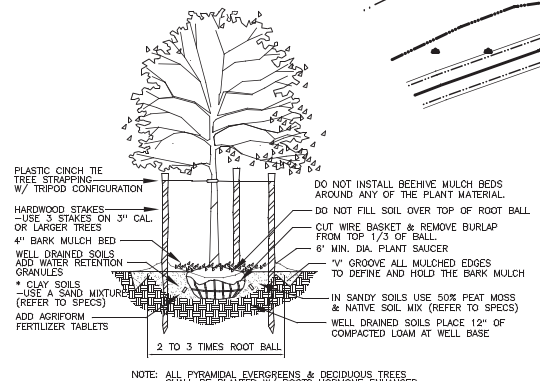
PLANT LIST & NAME	QTY.
ACER RUBRUM (RED MAPLE TREE)	(4) 3" CAL., 12' TALL, 6' DRIP LINE 50'H, 40' DRIP LINE AT MATURITY
IALIX BABYLONICA (WEeping WILLOW)	(4) 3" CAL., 12' TALL, 6' DRIP LINE 40'H, 50' DRIP LINE AT MATURITY
CRATAEGUS MACROSPERMA (HAWTHORN)	(4) 3" CAL., 10' TALL, 5' DRIP LINE 25'H, 20' DRIP LINE AT MATURITY
NORTHEAST NATIVE SEED MIX POLLINATOR SERIES WILDFLOWER MIX	FLOOD COMPENSATION AREA, SEED APPLIED AT RATE PER MANUFACTURER'S LABEL. ERNST CONSERVATION SEEDS O.A.E.
P.J.M. RHODODENDRON SHRUB	(2) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE)
CORNUS AMOMUM (SILKY DOGWOOD SHRUB)	(3) 3 GALLON CONTAINER, 2.5' - 3'H (8'H MATURE)
ILEX VERTICILLATA (WINTERSBERRY SHRUB)	(2) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE)

*PARKING LOT ISLANDS TO BE PLANTED WITH A MIX OF PERENNIAL FLOWERS:
DAYLILY'S, HOSTAS, AND ECHINACEA (CONEFLOWERS)



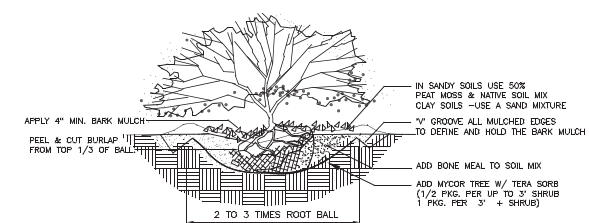
1. INSTALL 1/2" STAINLESS BOLTS INTO DROP-IN ANCHORS BY HILT.
2. SET TWO 8" SONOTUBES FILLED WITH CONCRETE TO CONNECT BASE PLATES TO.

5 - BIKE WAVE BIKE RACK



DECIDUOUS TREE PLANTING DETAIL

1
LS-1



B & B SHRUB PLANTING DETAIL

2
LS-1

LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- EXISTING EASEMENT LINE
- BLACK BROOK

PROPOSED FEATURES

- EDGE OF PAVEMENT
- PAVED AREA
- BUILDING
- TRAFFIC FLOW (NOT PAINTED ARROWS)

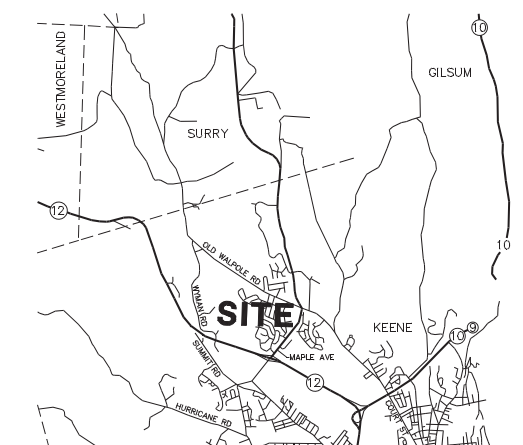
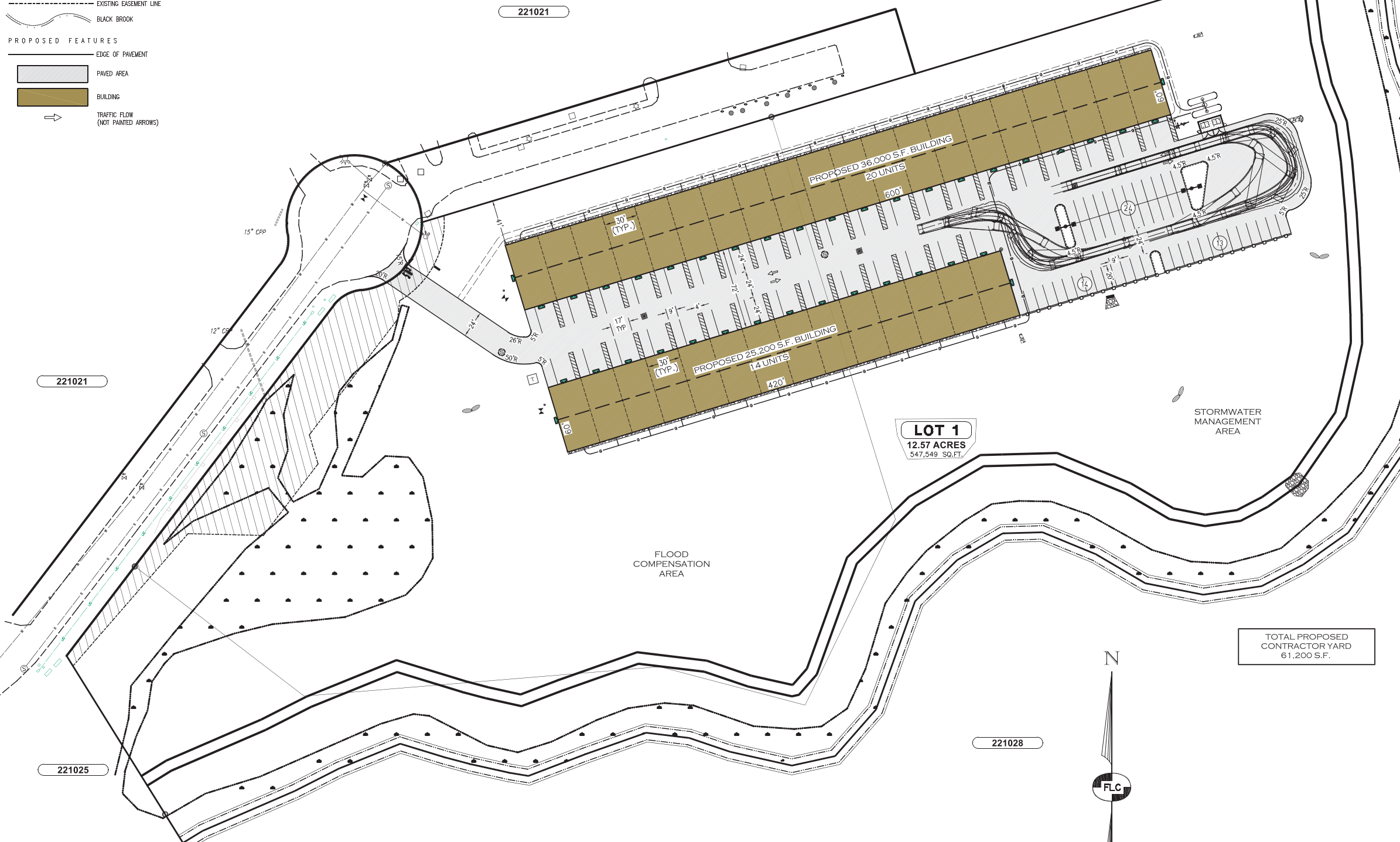
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- ~ BLACK BROOK

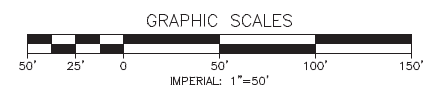
PROPOSED FEATURES

- EDGE OF PAVEMENT
- ▭ PAVED AREA
- ▭ BUILDING
- TRAFFIC FLOW (NOT PAINTED ARROWS)



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THAT A WB-62 TRUCK CAN ACCESS AND TURN AROUND ON THE SITE.
2. THE KEENE LADDER FIRE TRUCK IS SMALLER THAN THE WB-62 AND CAN ACCESS AND TURN AROUND ON SITE. SMALLER EMERGENCY VEHICLES WILL BE ABLE TO EASILY MANEUVER WITHIN THE SITE PARKING LOT.
3. THE EXTENDED PAVEMENT AREA ALLOWS FOR TRUCK TURNAROUND SPACE, TRUCK DELIVERIES, AND WASTE TRUCK PICK-UP SPACE TO ACCESS THE DUMPSTERS.



REV.	DATE	DESCRIPTION	C/O	DR	CK

TRUCK TURNING EXHIBIT PLAN
TAX MAP PARCEL 221-023 & 221-024
(BLACK BROOK ROAD)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103

SCALE: 1" = 50' JANUARY 20, 2023

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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Storm Water Management Report

ALL PURPOSE KEENE BUSINESS PARK

Project Location:

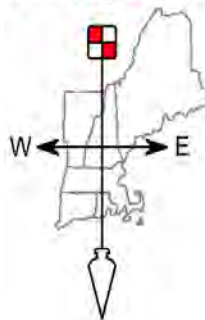
Tax Map Parcels 221-023 & 024
Black Brook Road
Keene, NH 03431

Prepared for:

Patriot Holdings, LLC
4007 Dean Martin Drive
Las Vegas, NV 89103

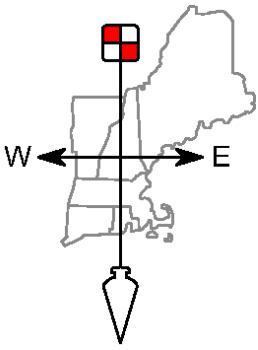
Date: January 20, 2023

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STORM WATER MANAGEMENT REPORT ALL PURPOSE KEENE BUSINESS PARK KEENE, NEW HAMPSHIRE

Prepared for:
PATRIOT HOLDINGS, LLC

January 20, 2023

I) INTRODUCTION

This storm-water management report was conducted for a proposed site development for a Business Park – Light Industrial Facility in Keene, NH. The property is located on Black Brook Road, specifically on City of Keene Assessor’s Map 221, Parcels 023 and 024. The site is currently undeveloped and both lots were intended for the corporate park development. The applicant is proposing to develop the site and construct a business park facility with two separate buildings and paved drive aisles. The purpose of the facility is to provide rentable units to contractor businesses to be used for mixed use of small office, workshops, store-front, warehousing and distribution.

The proposed plan is to merge the two lots, and construct the two buildings with site amenities. A substantial portion of the site lies within the 100 year floodplain of the Black Brook, which defines the southern boundary of the property. The finish floor elevations of the buildings must be a minimum of 1 foot above the base flood elevation of 518.5’ to meet City Floodplain standards. The building elevations drive the site design and require fill within the floodplain of the Black Brook. This fill in the floodplain is offset by excavating the same volume to provide compensation for the floodwaters.

The purpose of this report is to analyze the qualitative and quantitative impacts of the proposed development on stormwater runoff. The objective of the proposed stormwater management system for this project is to mitigate any increases resulting from the proposed development and to meet the drainage guidelines set forth in the City of Keene’s Site Plan Review and the NHDES Alteration of Terrain (AOT) regulations. The overall area of disturbance is above the NHDES Alteration of Terrain permit threshold of 100,000 square feet of disturbance; therefore an AOT permit is required for the project, along with approval from FEMA for the work within the floodplain.

II) SITE DESCRIPTION (EXISTING)

The subject property consists of two lots, 5.33 acres and 7.24 acres in size, with frontage along Black Brook Road and the lots are undeveloped. The lots are mostly open farm field, with heavy brush and woods along the perimeter of the brook. There is a portion of wetland that is parallel to the Black Brook Road.

The NRCS websoil survey indicates that the dominant soils present on the site are Croghan loamy fine sand (613B), Rippowam fine sandy loam (5) and Greenwood mucky peat (295). These soils are respectively Hydrologic Group (HSG) "B" soils, HSG "C" soils and HSG "D" along the brook. Test pits have been conducted on the property, and a Site-Specific Soils Map will be completed as part of the AOT permit (pending at this time).

III) METHODOLOGY

The quantity of runoff and the conveyance of that flow through the site are determined using the software package HydroCAD r 10.0 by HydroCAD Software Solutions, LLC. HydroCAD is a computer aided design program for modeling storm water hydrology based on the Soil Conservation Service (SCS) TR-20 method combined with standard hydraulics calculations used to model stormwater systems, such as detention basins, culverts, swales, and catch basins.

The stormwater management systems are designed in accordance with the methodology for the "Best Management Practices" (BMP's), as outlined in the New Hampshire Storm Water Manual, Volume 2.

IV) DRAINAGE DESIGN

In accordance with the NHDES Alteration of Terrain, there will be no increase in the peak flow of surface runoff. In order to demonstrate this the two (2), ten (10), and fifty (50) year frequency storm events have been evaluated. The values for each storm modeled match the Extreme Precipitation Estimates, as listed by the Northeast Regional Climate Center, specifically for Keene NH. These design storms have been analyzed to compare the Pre and Post-development peak flow rates for the site (see attached comparison tables below).

Pre-Development Drainage Conditions:

The Pre-Development Drainage Area Plan outlines the area where water flows across the property. The high point of the property is along the northern boundary, along the roadway. The property is relatively flat and drains to the southeast corner of the property, where it drains to the Black Brook.

Post-Development Drainage Conditions:

The proposed drainage systems were designed to capture runoff from the buildings and paved areas, and direct the flow to stormwater management systems. The existing condition has all water flowing to the Black Brook. Therefore, the post-development condition will require mitigating the runoff velocities and out flowing to the Black Brook. There are 6 Subcatchments modeled in the post-development condition, in addition to one existing Subcatchment (E1S) to model the unaltered portion of the site flowing to Black Brook.

The net result is that virtually all of the new impervious areas will receive qualitative treatment and there will be a reduction of peak rates of runoff leaving this site for all storm events.

V) SUMMARY

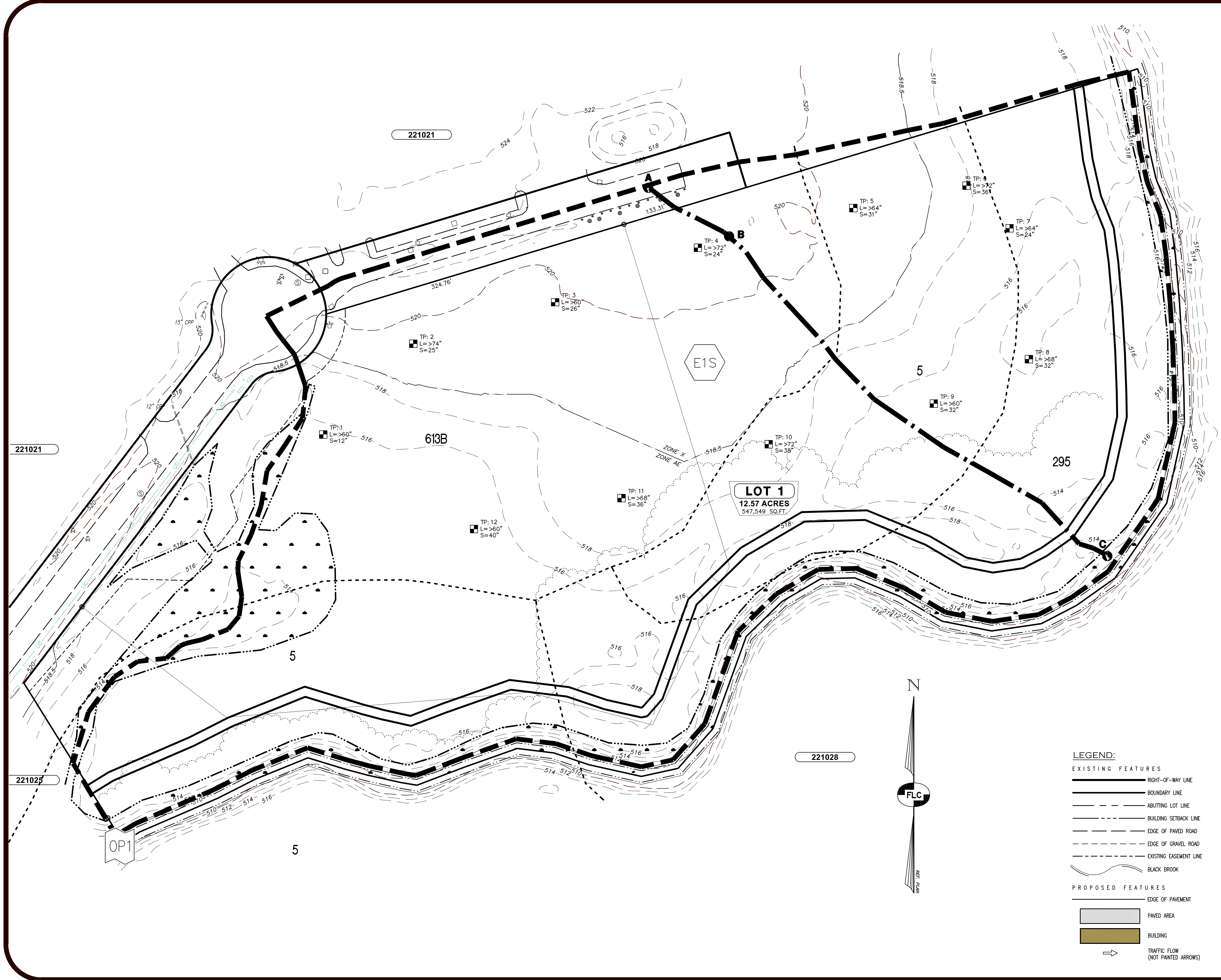
The intent of the stormwater management system for this project is to address the qualitative and quantitative aspects of the stormwater runoff so that there are no downstream adverse impacts created by the project. To mitigate the resulting increases in runoff peak rates due to the development of Lots 221-023 and 221-024, this project proposes that a stormwater management system consisting of three (3) catch basins, two (2) stone drip strips, three (3) treatment swales and one (1) detention basin to be constructed. The net result is that new buildings and paved areas will receive qualitative treatment and there will be no increase in the peak rates of runoff leaving the site.

The stormwater management design for this project therefore complies with the standards set forth in the City of Keene’s Site Plan Review Regulations and meets the NHDES Alteration of Terrain regulations.

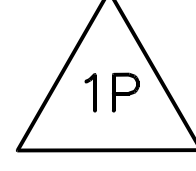
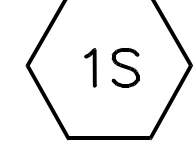
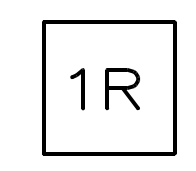
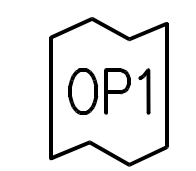


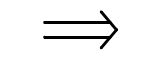
The following table is a summary of the attached calculations and shows a comparison of the peak flow rates at the summary point for the site. The values presented are based on Pre- and Post-development conditions.

Table 1.1: Peak Flow Rates (CFS)/Volume (AF) to Observation Point 1 (OP1) – PRE VS. POST DEVELOPMENT


STORM FREQUENCY	PRE-DEV. RUNOFF (CFS/AF)	POST-DEV. RUNOFF (CFS/AF)	CHANGE (CFS/AF)
2-YEAR	4.08/0.564	1.06/0.510	-3.02/-0.054
10-YEAR	10.46/1.268	3.99/1.296	-6.47/0.028
50-YEAR	21.67/2.518	10.14/2.617	-11.53/0.099

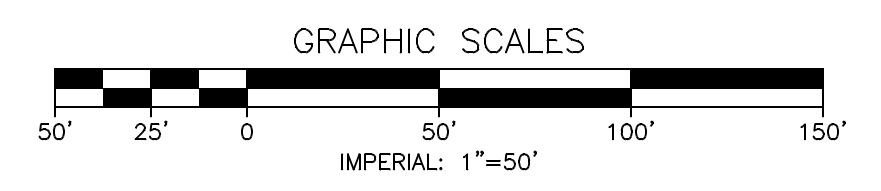


DRAINAGE SYMBOLS:

-  1P POND (PIPE OR BASIN)
-  1S SUBCATCHMENT
-  1R REACH
-  OP1 OBSERVATION POINT
-  WATERSHED BOUNDARY
-  TIME OF CONCENTRATION
-  SURFACE WATER FLOW

NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

-  SOIL BOUNDARY
- 613B** CROGHAN LOAMY FINE SAND
0 TO 8% SLOPES, HSG "C"
- 5** RIPPOWAM FINE SANDY LOAM
HSG "B"
- 295** GREENWOOD MUCKY PEAT
HSG "D"



REV.	DATE	DESCRIPTION	C/O	DR	CK





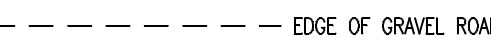
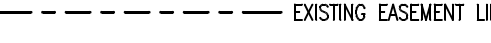
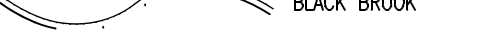





PRE-DEVELOPMENT DRAINAGE MAP
TAX MAP PARCEL 221-023 & 221-024
(BLACK BROOK ROAD)
KEENE, NEW HAMPSHIRE
 PREPARED FOR:
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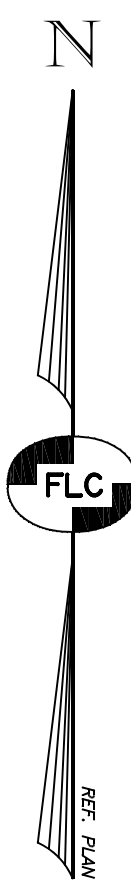
SCALE: 1" = 50' JANUARY 20, 2023

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- LEGEND:**
- EXISTING FEATURES**
-  RIGHT-OF-WAY LINE
 -  BOUNDARY LINE
 -  ABUTTING LOT LINE
 -  BUILDING SETBACK LINE
 -  EDGE OF PAVED ROAD
 -  EDGE OF GRAVEL ROAD
 -  EXISTING EASEMENT LINE
 -  BLACK BROOK
- PROPOSED FEATURES**
-  EDGE OF PAVEMENT
 -  PAVED AREA
 -  BUILDING
 -  TRAFFIC FLOW (NOT PAINTED ARROWS)



PROPOSED DRAINAGE STRUCTURES:

CB#1	RIM=518.9
	INV O=516.4
CB#2	RIM=518.9
	INV IN=515.4
	INV O=515.4
CB#3	RIM=518.9
	INV IN=514.4
	INV O=514.4

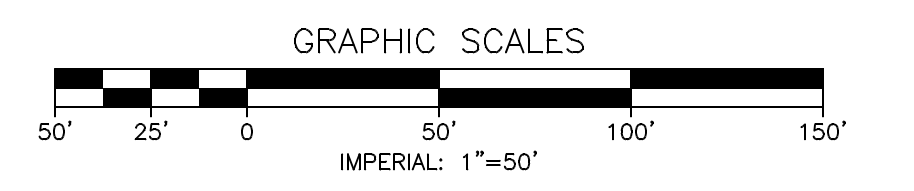
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- TIME OF CONCENTRATION
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NRCS SOILS LEGEND:
SOURCE: USDA NRCS WEB SOIL SURVEY

----- SOIL BOUNDARY

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0 TO 8% SLOPES, HSG "B"
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- 295 GREENWOOD MUCKY PEAT
HSG "D"



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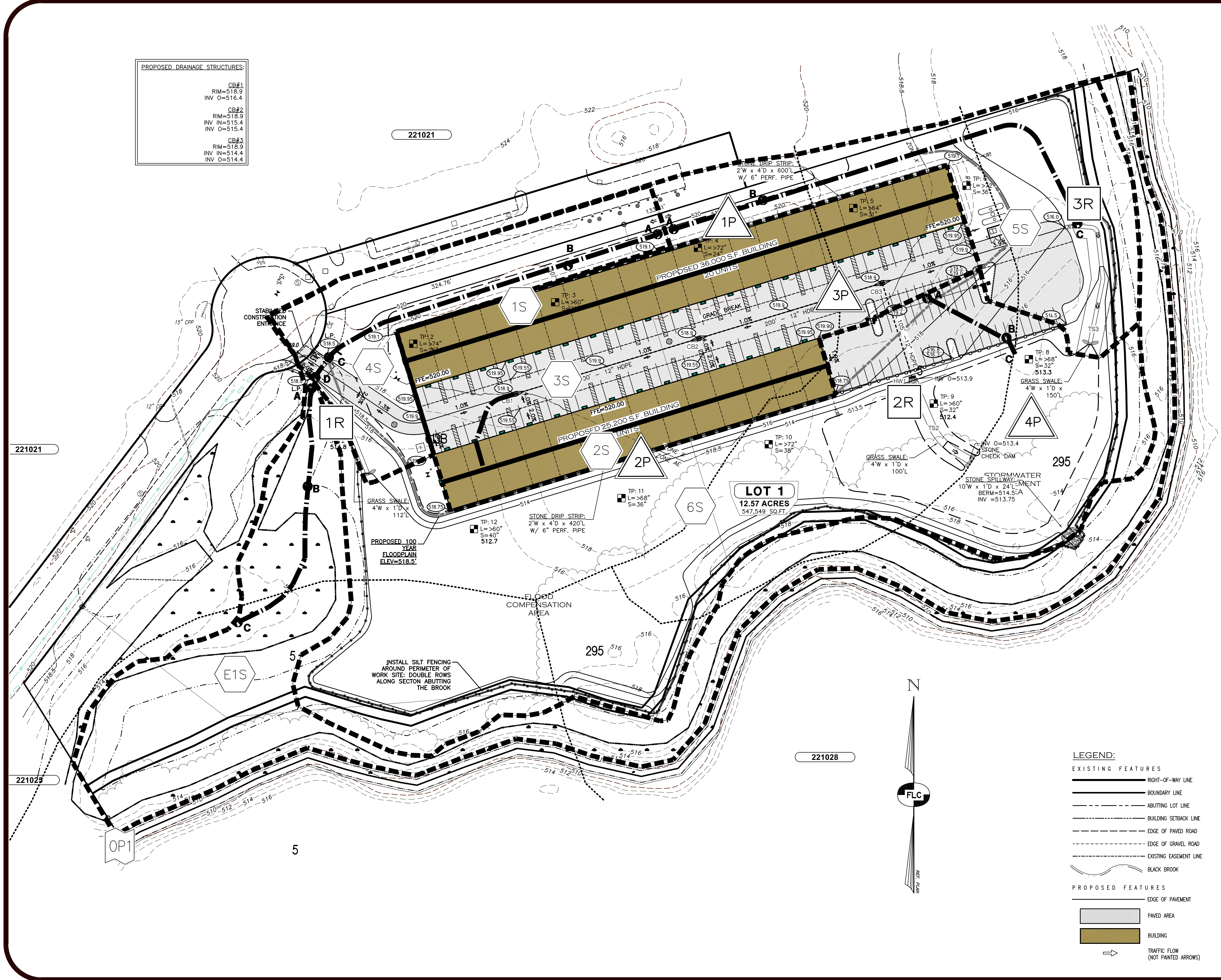
POST-DEVELOPMENT DRAINAGE MAP
TAX MAP PARCEL 221-023 & 221-024
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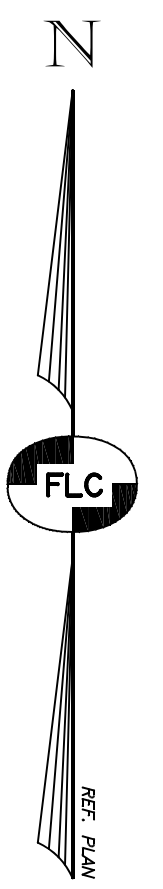
LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
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PROPOSED FEATURES

- EDGE OF PAVEMENT
- PAVED AREA
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- TRAFFIC FLOW (NOT PAINTED ARROWS)



5

From: [John Therriault](#)
To: [Mari Brunner](#); [Sparky Von Plinsky](#)
Subject: Agenda item for February KCC
Date: Thursday, February 16, 2023 3:07:33 PM

Please add an agenda item for payment of \$200 for Bee City USA renewal. It is due by Feb 28. I am working on the annual report.

JT

Sent from my iPhone