



City of Keene Planning Board

AGENDA

Monday, December 22, 2025

6:30 PM

City Hall, 2nd Floor Council Chambers

A. AGENDA ITEMS

- 1) **Call to Order** – Roll Call
- 2) **Minutes of Previous Meeting** – November 24, 2025
- 3) **Adoption of the 2026 Meeting Schedule**
- 4) **Final Vote on Conditional Approvals**
- 5) **Boundary Line Adjustment:**
 - a) **PB-2025-30 – 91 & 105 Maple Ave – Boundary Line Adjustment** – Applicant Huntley Survey & Design, on behalf of owners Cedarcrest and the 1st Baptist Church of Keene, proposes to transfer ~7.5-ac from the ~21.5-ac lot at 105 Maple Ave (TMP# 227-017-000) to the ~6.7-ac lot at 91 Maple Ave (TMP# 227-018-000). The 105 Maple Ave property is in the Low-Density District, and 91 Maple Ave is in the Conservation & Low-Density Districts.
- 6) **Public Hearings:**
 - a) **31 Robbins Rd (TMP# 558-019-000) – Appeal of Street Access Permit Decision** – Applicant and owner Karin Royce is appealing a decision of the City Engineer to deny a request for an exception from Sect. 23.5.4.A.8 of the Land Development Code regarding allowed driveway width. The parcel is 0.41-ac in size and is in the Low-Density District.
 - b) **PB-2025-31 – 62 Maple Ave – Cheshire Medical Center 2-lot Subdivision** – Applicant Huntley Survey & Design, on behalf of owner Cheshire Medical Center, proposes to subdivide the ~50-ac lot located at 62 Maple Ave (TMP# 227-006-000) into two lots ~1.3-ac and ~48.6-ac in size. The parcel is in the Industrial Park District.
 - c) **PB-2025-28 – 98 Peg Shop Rd – 2-lot Subdivision** – Applicant DiBernardo Associates, on behalf of owners Mitchell & Erika Greenwald, proposes to subdivide the ~33-ac lot located at 98 Peg Shop Rd (TMP# 232-022-000) into two lots ~28-ac and ~5-ac in size. The property is in the Rural District.

- d) **PB-2025-29 – 454 Elm St – Cottage Court CUP, Surface Water Protection CUP, & Major Site Plan** – Applicant Fieldstone Land Consultants PLLC, on behalf of owners Paul Chester & Gail Marie Dubriske, proposes to redevelop the property at 454 Elm St (TMP# 521-004-000) into a Cottage Court Development with 18 single-family dwellings. A surface water protection CUP is requested for ~1,435-sf of impact within the 30-foot wetland buffer. The parcel is ~2.3 ac in size and is in the Low-Density District.

7) **Staff Updates**

8) **New Business**

9) **Upcoming Dates of Interest**

- Joint Committee of the Planning Board and PLD – January 12, 6:30 PM
- Planning Board Steering Committee – January 13, 12:00 PM
- Planning Board Site Visit – January 21, 8:00 AM – To Be Confirmed
- Planning Board Meeting – January 26, 6:30 PM

B. MORE TIME ITEMS

- 1) **Training on Site Development Standards**
a) Standards 6 & 7 – Screening & Lighting

C. ADJOURNMENT

City of Keene
New Hampshire

PLANNING BOARD
MEETING MINUTES

**Monday, November 24
2025**

6:30 PM

**Council Chambers,

City Hall**

Members Present:

Harold Farrington, Chair
Councilor Michael Remy
Armando Rangel
Ryan Clancy
Kenneth Kost
Michael Hoefer, Alternate (voting)
Joseph Cocivera, Alternate (voting)

Staff Present:

Mari Brunner, Senior Planner

Members Not Present:

Roberta Mastrogiovanni, Vice Chair
Mayor Jay V. Kahn
Sarah Vezzani
Tammy Adams, Alternate
Stephon Mehu, Alternate

I) Call to Order – Roll Call

Chair Farrington called the meeting to order at 6:30 PM and a roll call was taken. Michael Hoefer and Joseph Cocivera were invited to join the session as voting members.

II) Minutes of Previous Meeting – October 27, 2025

A motion was made by Councilor Remy that the Planning Board approve the October 27, 2025 meeting minutes. The motion was seconded by Armando Rangel and was unanimously approved.

III) Final Vote on Conditional Approvals

Chair Farrington stated this is a new, standing agenda item in response to the recent City of Dover decision issued by the NH Supreme Court. As a matter of practice, the Board will now issue a final vote on all conditionally approved plans after all of the “conditions precedent” have been met. This final vote will be the final approval and will start the 30-day appeal clock.

Ms. Brunner stated there were no items ready for final approval.

IV) Public Hearing: Amendments to the Planning Board Regulations – The Planning Board proposes to amend its Subdivision Regulations, Site Development Standards, Earth Excavation Regulations, and Application Procedures in the Land Development Code, including Sections 20.2, 21.6, 25.3, 25.5, 26.10, 26.12, 26.14 and 26.19. The proposed amendments are intended to clarify language within the code, correct errors with respect to wording, update submittal requirements to match current practice, and reflect recent changes to state law regarding the timeframes for “Active and Substantial Development” and “Substantial Completion” of subdivision and site plan applications. In addition, the proposed amendments would modify the Board’s Site Plan Review Thresholds to create new thresholds for commercial and multifamily street access permits, modify the threshold for new additions, and establish thresholds for proposals to create new residential dwelling units.

Ms. Brunner addressed the Board and stated she is going to start the presentation by giving some context and background about where the land development code came from and what the goals of that project are. Ms. Brunner stated this project started in 2017 and it was the main implementation action that came out of the 2010 Master Plan: to review all land development codes, regulations and zoning and clean them up and locate them in one place. The land development code the City has today was formally adopted in 2021.

The tagline of this project was Building Better Together. The project goals were to make the City’s regulations easier to navigate, reduce confusion, increase efficiency and streamline wherever possible. Ms. Brunner stated throughout the land development code process, the City conducted monthly developer round tables and did a lot of one-on-one outreach to developers to try and understand their main barriers to developing in Keene. The biggest themes that came out of this process is that anything that increases time, increases cost. More importantly, anything that increases uncertainty will make or break whether they decide to pursue a project in Keene.

The idea behind the project was to put all regulations into one place, make them easy to navigate, make the document user-friendly with reference to codes, reduce confusion and help developers understand exactly what is expected of them. As part of this overall effort, the City also created the Minor Project Review Committee and raised the thresholds for projects that go to the Planning Board.

Ms. Brunner noted the Minor Project Review Committee was really intended to be middle tier of review. Projects that previously went to the Planning Board could theoretically go to this Minor Project Review Committee and expect a shorter turnaround time, reducing the cost of the project and incentivizing developers to come up with projects that meet the City’s regulations so that they can go through this quicker and cheaper process.

However, what is being found is that very few projects are qualifying to go to the Minor Project Review Committee based on the thresholds that currently exist. Ms. Brunner stated the feedback staff has received from those that have qualified regarding this Committee has been very positive.

Ms. Brunner next reviewed the Proposed Amendments.

71 1. Taking the statement that staff found in the Public Improvement Section of the Land
72 Development Code - Public Works Regulations Article 23. This Article has a requirement for
73 subdivisions that are not mentioned in the subdivision regulations. The intent here is to build that
74 connection.

75 The language says as follows: *In accordance with Article 23 of this LDC, the owner/developer*
76 *shall provide permanent reference monuments and final subdivision plans shall not be signed*
77 *and recorded until after the monuments have been installed by the developer and verified by the*
78 *Public Works director, or security in amount deemed satisfactory to the public Works director is*
79 *posted, ensuring the monuments will be set*

80 Councilor Remy stated in the interest of simplicity and not having to track this in two locations
81 at any given time and asked if it should be deleted from Article 23.

82 Ms. Brunner stated that was a good point and added staff will be bringing a second ordinance
83 forward to City Council that changes the portions of the LDC that are not within the Planning
84 Board's purview. Article 23 is outside of the Planning Board's purview. The Planning Board
85 can't change it, but City Council can. There is going to be a separate ordinance through the City
86 Council, a companion to this item, which will address that.

87 #2 - Is to define a term that is used in the site development standards multiple times, but is not
88 defined anywhere within the land development code. The term is "primary entrance". Ms.
89 Brunner stated this came up during site plan review a couple years ago. Staff felt it would be
90 helpful to include a definition. She indicated because this is a niche definition, it could
91 potentially have unintended effects if it is made a definition for the whole document, so staff
92 opted to just keep it as a definition for the specific section which is the screening standard in the
93 site development regulations

94 Currently, the screening regulations already state that you cannot have a service area or drive
95 through windows and lanes etc. on a facade with a primary entrance, but it does not define what
96 a primary entrance is. What staff is proposing is under the general standards for screening, add a
97 new Section E, which says, "... *wherever possible, service areas drive through windows and*
98 *lanes, mechanical equipment, parking areas and other areas likely to generate noise, dust traffic*
99 *or other disruptive conditions should not be located adjacent to a primary entrance. For the*
100 *purposes of this section, primary entrance shall mean, the front and or street facing points of*
101 *ingress and egress to a building...*"

102 Ms. Brunner stated this does not change anything other than creating a definition of what we
103 think primary entrance means or what was intended with that. Chair Farrington referred to the
104 McDonald's and Wendy's sites on Winchester Street - their front facade does not have any
105 doorways. The doorways face the street, but they are on the side of the building. Ms. Brunner
106 stated this would be allowed, because it has to be a street facing facade. As long as the drive
107 through window and lane is not parallel to Winchester Street it would be allowed. The Chair felt
108 this language would indicate that McDonald's has no primary entrance. Chair Remy agreed with
109 the Chair and added there could be other cases that do not have a street facing entrance. Ms.
110 Brunner agreed and added hence the reason staff wanted to define it, because you could interpret
111 primary entrance to mean the main entrance to the building, which may or may not have been the
112 intention of this standard. Otherwise, saying that you can't have a drive through window or that
113 you can't have service areas adjacent to it would be restrictive. She added this issue came up

114 with 310 Marlboro Street where the main entrance to the apartments was going to be on the side
115 of the building set back 200 feet from the road. Councilor Remy stated he reads the language to
116 say that the City does not want to see the dumpster right next to a main entrance.

117 Ms. Brunner asked whether the Board agrees that the primary entrance should be narrowed to
118 just entrances along street facing facades. Councilor Remy suggested deleting word *primary*
119 *entrance* because that implies the main entrance.

120 Mr. Hoefer felt there could be a flexibility in an undefined primary entrance. For example, for
121 buildings like McDonald's the primary entrance is off the parking lot.

122 Mr. Clancy asked whether there was a specified distance for a location of a dumpster. Ms.
123 Brunner stated that was part of the reason, to make it clear to somebody when they are trying to
124 design their site what the City is looking for. She added the term primary entrance is used several
125 times in this section of the code. It is also used elsewhere in the code in a different way. Ms.
126 Brunner stated she would be open to changing the term based on the Board's preference, but it
127 would be helpful to clarify for developers what the Board is looking for.

128 Mr. Kost stated the desire is for street facing facades and not having dumpsters when you enter a
129 site. He stated street facing is what the City wants to protect and felt that should be emphasized.
130 Mr. Kost also referred to the term "wherever possible" and wasn't sure if this was a necessary
131 term. Ms. Brunner stated specifically service areas, drive through areas and parking areas, are
132 already in other sections that are stronger that would prohibit it without a waiver or variance.
133 Mechanical equipment that does not have a hard and fast rule, because there are times when due
134 to the feasibility and technical constraints, it may have to be located on a street facing facade.
135 For instance in the downtown, where some parcels have three street facing facades. She added on
136 the list wherever possible would only refer to mechanical equipment.

137 Councilor Remy stated he only sees two places in this chapter where we call something else a
138 primary entrance. He referred Section 26 A.1: *waste collection, waste compaction, recycling*
139 *collection and other similar service areas shall not be located along the business frontage*
140 *building frontage or along a building facade with a primary entrance and shall be screened from*
141 *view from adjacent property.*

142 Section 26 2.B.1 *drive through businesses, drive through windows and lanes shall not be located*
143 *along the building frontage or along a building facade with a primary entrance.*

144 He felt both of these sections are trying to clearly differentiate between frontage and primary
145 entrance. He felt if the City's concern is frontage or street facing points of ingress, then there
146 needs to be a broader change as this language clearly says if there is a main entrance we do not
147 want this type of use next to it. Ms. Brunner stated she interprets this slightly differently. When
148 we talk about frontage, we always identify one frontage and then you might have a street facing
149 façade that is technically not the frontage. She went on to say at the time 310 Marlboro Street
150 was constructed the Planning Board concluded that the dumpster could be next to that door
151 without a waiver because they did not feel like that door was a primary entrance. She indicated
152 that is where she took the cue for the proposed language.

153 Mr. Hoefer asked whether there is a list of definitions versus building this into a Section E. Ms.
154 Brunner stated this option was discussed but there is one other location in the land development
155 code where the term primary entrance is used and staff did not want to cause complications

156 elsewhere in the code by creating a definition that might conflict with what is meant in that
157 section.

158 Councilor Remy suggested deleting *or along a building facade with a primary entrance* from
159 Section 21. 6. 2.A.1 or where it says *waste collection waste, compaction, recycling collection*
160 *and other similar service areas should not be located along the building frontage and shall be*
161 *screened from view from adjacent property or public rights away, not including alleys* - it would
162 remove a section where it says *and along a building facade with a primary entrance AND drive*
163 *through business, drive through windows and lanes shall not be located along the building*
164 *frontage*(This would be the end of the sentence).

165 Ms. Brunner suggested the following language *service areas and drive through windows and*
166 *lanes shall not be located adjacent to a primary entrance for the purposes of this section.*
167 *Primary entrance shall mean the main point of ingress or egress for pedestrians entering the*
168 *building.*

169 Ms. Brunner asked permission to take a straw poll and asked how many Board members would
170 want to allow service areas and drive through windows and lanes to only be restricted from the
171 front. The alternative vote is to say that they are restricted from the front and primary entrances.

172 Chair Farrington and two others voted for the street facing version. The others did not want a
173 drive thru at the main entrance. Mr. Hoefer and Mr. Rangel agreed to that. Ms. Brunner asked
174 whether Mr. Clancy and Mr. Cocivera had a preference. Mr. Clancy asked whether this section
175 was for staff purposes or for the Board. Ms. Brunner stated these are the Board's site
176 development standards. Mr. Clancy asked whether it needs to be defined here or whether it could
177 be defined in the definition section as suggested by Councilor Remy. Ms. Brunner stated it could
178 be defined in the definition section, but she will need to review in other sections of the code
179 where this term is used to avoid confusion.

180 Mr. Kost referred to a shopping center such as Hannaford's where there is parking by the main
181 entrance where it can very hazardous and this proposal can't do anything about such a situation.
182 Ms. Brunner stated this is the reason to keep primary entrance and have it mean the main
183 entrance into the building that most people use. She stated she would just keep it to service areas,
184 drive through windows and lanes, and remove the other items. Right now, in the code, it already
185 says that you can't have parking between the building and the street; it has to be either to the side
186 or behind the building.

187 The Board discussed the different scenarios with drive thru lanes in Keene. Ms. Brunner referred
188 to the Burger King and the Tito's building and stated she does not consider the part that goes by
189 the entrance to be a drive through lane. The drive through lane is the lane that is just for the cars
190 to go around and has the window with menu boards and microphones.

191 Mr. Hoefer agreed and added he would not want a new fast food place to locate a drive thru
192 window right next to their main door. Councilor Remy suggested defining primary entrance in
193 the code and put it in the definitions as the entrance that people use to enter and exit a building
194 because it applies to both this section and Section 9.

195 Ms. Brunner stated this language should then be removed entirely from the Planning Board's
196 changes and then add the definition to the definition section, which is technically not in the

197 Board's purview. Staff will then be bringing an ordinance forward to City Council and will
198 include it in that.

199 Ms. Brunner moved forward with the next change.

200 #3 - Amend the Earth Excavation Regulations - To reflect a vote that the Board has already
201 taken. She reminded the Board that at a meeting several months ago, the Board voted to delegate
202 enforcement authority to staff, and this change is just codifying it in the LDC.

203 #4 - The code still says it requires the submittal of seven full size copies. Ms. Brunner explained
204 the reason for this is that historically, copies of the plans were sent to the various departments
205 that review them through interdepartmental mail. COVID put an end to that practice. Digital
206 copies are used now.

207 Mr. Kost asked if the city still requires Mylar copies. Ms. Brunner stated this is a requirement at
208 the end of the process once everything is approved.

209 #5 – Submittal Requirement – A request from one of the planners, because they often have to
210 request this information and they would prefer that it is articulated in the submittal requirements
211 so applicants are aware that they are going to need the zoning information on the plan. Mr.
212 Hoefer confirmed the information on a plan such as this would only refer to lot sizes and not
213 about the number of bedrooms or bathrooms etc. Ms. Brunner answered in the affirmative and
214 added zone dimensional requirements typically include lot size, frontage, and lot width at the
215 building line, setbacks, impervious coverage, and building height. It is about comparing numbers
216 to make sure they meet the standards.

217 #6 – In the application procedures, applicants have the ability to request an exemption from a
218 submittal requirement; all other items require a waiver. There is a requirement for just boundary
219 line adjustments in the filing section, which is not in the BLA submittal requirements, to submit
220 an updated survey showing the metes and bounds of the revised parcels. For example, for a lot
221 that is 50 acres and another lot that is 1/4 of an acre and a lot line is being adjusted between those
222 two lots, all that should be required is a metes and bounds in the vicinity of where the lot lines
223 are changing. Ms. Brunner noted to require a survey of the entire 50 acres is cost prohibitive.
224 When applicants try to request an exemption they are technically not permitted to because this is
225 not in the submittal requirements. Instead, they have to request a waiver, which is a separate
226 process before the Board. What staff is trying to require is just the metes and bounds for portions
227 of the parcels that are changing.

228 #7 – addresses HB413, which was signed into law and is retroactively effective. This applies to
229 anything from July 1, 2023 on. It changed the time frame for active and substantial development
230 to be three years instead of two years. Substantial completion went from five years to seven
231 years. Once an applicant gets final approval from the Planning Board, they have three years to
232 start the project and seven years to complete the project. If they meet this timeframe then their
233 rights are vested. Future changes to zoning, subdivision or site plan will not affect the applicant.
234 The current code refers to two years.

235 Staff also wanted to clarify because the language currently states, *within two years, starting the*
236 *day following the Board's decision to approve or conditionally approve*. Ms. Brunner stated now
237 that the Board goes through the final approval process, staff wanted to make it clear that it is the
238 vote on the final approval that starts these clocks.

239 #8 – To add a new Section D referred to as Substantial Completion. The reason for this is that the
240 current language does not define what substantial completion means. The same language as
241 active and substantial development, but then items for substantial completion would be roadways
242 to be installed and paved through the base course - this does not necessarily have to be accepted
243 by City Council, but it has to meet the conditions for acceptance, which would be determined by
244 the Public Works Director. Utilities have to be installed and ready for hookup. Lot monuments,
245 driveways and other site features are installed or completed. All permanent on site, storm water
246 management, erosion control, etc. are installed. Buildings and structures, off-site improvements,
247 if they are required. Ms. Brunner noted this refers to “hard infrastructure” and major site features
248 being installed.

249 Mr. Kost asked how a phased plan works in this instance. Ms. Brunner stated 90% of the plans
250 the Board approve are not in phases. In the case where there are phases, the Board has leeway to
251 determine what the time frame for active and substantial development will be for the subsequent
252 phases. Substantial development would be based off that time frame set by the Board.

253 Councilor Remy talked about staff approved changes that would not come back before the Board
254 and asked that this be kept in mind. Ms. Brunner stated if an applicant wants to modify their plan
255 before final approval, they are required to come before the Board. If staff does approve a change
256 after final approval, substantial completion would be reviewed using the most current approved
257 version of the plan.

258 Mr. Hoefer felt there should be one definition of what Substantial Completion is and then all
259 sections refer to that definition versus having to define it multiple times throughout the code.
260 Ms. Brunner in response stated Active and Substantial Development and Substantial Completion
261 are specific to whether it is a site plan or subdivision. There could be one definition for both,
262 although there are some slight differences. For instance, for subdivision, it includes lot
263 monuments. For site plans, it includes some other site features that you would not normally see
264 in a subdivision. She added Section 26-10 is the Board Subdivision Application procedures and
265 Section 26-12 are the Site Plan Application procedures.

266 Mr. Kost felt for a user everything that needs to be used for a subdivision application should be
267 in one location and it would be true for site plan application and liked how it was structured.

268 Ms. Brunner next reviewed Site Plan review thresholds that were reviewed last month. She noted
269 to one change from last month, which was to split out the thresholds for additions between
270 downtown districts and all other districts.

271 Currently, Site Plan review thresholds for a new principal building or structure is anything
272 greater than 5,000 square feet of gross floor area is considered a major site plan. Between 1,000
273 square feet and 5,000 square feet is considered minor site plan.

274 For Additions - In the downtown district it will remain as it is outlined today, which is anything
275 greater than 15% of the gross floor area of the principal building would be a major site plan.
276 Between 10% and 15% would be a minor site plan.

277 Outside of downtown districts, that threshold would be raised to increase the number of projects
278 that could go to the Minor Project Review Committee.

279 New residential units, 25 or more would go to Major Site Plan. Between 10 to 24 would go to
 280 Minor Site Plan.

281 Vehicle trips - Increase of 100 per day or 50 per peak hour would be Major Site Plan, which is
 282 how it exists today.

283 New impervious surfaces – would remain as they are outlined today.

284 No propose changes to land disturbance.

285 Street Access – This is a new proposal. All street access is sent to the Planning Board. Ms.
 286 Brunner stated they would like to have flexibility to send some of those to the Minor Project
 287 Review Committee. In instances where an applicant is removing street access or narrowing it,
 288 perhaps having that reviewed administratively. Any time an exception is required from the street
 289 access standard, this would be sent for Planning Board review. If they are meeting all street
 290 access requirements, they can go to Minor Project Review Committee. If they are creating a new
 291 driveway or they are widening an existing driveway, but they are still staying within the
 292 requirements, they can go before Minor Project Review Committee. If they are reducing the
 293 number of curb cuts or narrowing them, it could be reviewed administratively with the caveat
 294 that the City Engineer would review it as well.

295 Mr. Kost referred to land disturbance of an acre and felt in the downtown an acre is a large area
 296 of land. He noted for instance a business on an acre of land downtown won't go before the
 297 Planning Board even though it is on Main Street; form based code could also be an issue that
 298 could be considered here. He felt this is a large impact in a downtown area.

299 Ms. Brunner referred to the list of thresholds for Major and Minor Site Plan and stated a project
 300 that meets any one of these thresholds would have to be reviewed for Major or Minor Site Plan
 301 Review. She added modifications to the building or a site, such as facade alteration, landscaping,
 302 lighting is at the discretion of the Community Development Director and could warrant review
 303 by the Planning Board. Change of use is also another opportunity for staff to use some discretion
 304 and move items to the Planning Board. In situations like this, staff will also consult with the
 305 Board Chair to get his/her opinion. If an applicant pushes back, "Advice and Comment" is also
 306 an option that is suggested. Mr. Kost felt as long as the Board and staff are comfortable that the
 307 downtown will be properly protected, he is ok with what is being proposed. Ms. Brunner added
 308 another layer of protection for the downtown, at least for historic buildings, is the Historic
 309 District Commission. You cannot demolish a historic building that has been ranked as
 310 contributing or primary, unless you meet specific conditions. Mr. Kost referred to the Ted's site,
 311 Athens Building etc. which are not historic buildings. Ms. Brunner felt realistically most
 312 development downtown would come before the Planning Board. She indicated the instance it
 313 will not be sent to the Board is, if it is adaptive reuse of an existing building.

314 #11 - To give the Minor Project Review Committee explicit authorization to refer projects when
 315 items come before them that does not meet zoning, or if an applicant finds out part way through
 316 the process that they need a waiver. This puts developers on notice as well as the Minor Project
 317 Review Committee members that they then can refer the project to the appropriate Board. If it
 318 does not meet zoning, or if a project requires a waiver, it is not within their jurisdiction; this is
 319 just language to help clarify that.

320 #12 - To specify that a final plan needs to include all professional stamps for anyone who helps
321 prepare the plan. This is something that is required today. This is to make sure that the code
322 reflects that. This is required in the submittal requirements, but not in the filing requirements.
323 Hence, it is just being restated under the filing requirements.

324 #13 - To require a flattened PDF copy of as built plans in addition to the paper and electronic file
325 formats and to also specify the number of paper copies. At the present time, when an applicant
326 submits an as built plan the department retains a copy and one paper copy is sent to Public
327 Works. Planning staff will do a review of the PDF to make sure that it reflects what is supposed
328 to be there and then engineering does a more detailed review of the actual electronic file.

329 #14 - Conditional Use Permit Application Procedures: At the present time, this states that
330 applicants who are seeking a waiver for a conditional use permit shall apply to the Zoning Board
331 of Adjustment for a Variance. However, in the Telecommunications CUP, there is process for
332 the Planning Board to issue a waiver. This change would clarify that, a variance is required
333 unless stated otherwise elsewhere in the LDC.

334 #15 and #16 - To remove the requirement from both the Subdivision Regulations and the Site
335 Plan Regulations that waivers must follow the same process as the application. What this means
336 today is when an applicant submits their application and staff is doing a review, it is a tight
337 timeline; staff try to get projects through in one planning board meeting whenever possible.
338 However, if a waiver is required and that is realized too late in the process, this delays the
339 application because they have to notice the waiver within the required noticing time frame; state
340 statute comes out to 14 days before the meeting. Staff is proposing any waivers that are
341 identified and staff is aware of would still be included in the legal ad language. However, if a
342 waiver is required and this is discovered after the legal ad goes out or if it is discovered during
343 the Planning Board meeting, the Board could still have the ability to determine whether or not to
344 grant a waiver without having the applicant go through the notice process. Ms. Brunner noted
345 noticing waivers is a Keene issue and did not believe other communities require that.

346 Ms. Brunner added this would reduce the timeframe of an applicant as well as reduce the cost
347 because when they have to do a whole round of noticing just for a waiver, that means they have
348 to do the legal ad fee again and the abutter notice fee again.

349 Councilor Remy, suggested in the language for the noticing say *waivers from requirements may*
350 *be requested at the meeting up until the meeting*. Ms. Brunner agreed and stated this could
351 perhaps be added in the abutter notice as legal ads are charged per line. The Councilor asked
352 whether this could dis-incentivize applicants from providing the waivers on time. Ms. Brunner
353 stated she did not think so and added staff does an initial determination of completeness and then
354 do a more thorough review and send the applicant a memo of comments. The applicant then has
355 a revision deadline and this is when they would be required to submit any outstanding items and
356 waivers. If the application is not ready for the public hearing, the Planning Board Steering
357 Committee has the ability to indicate whether it goes on the agenda as well.

358 Councilor Remy also suggested this language: *waiver request shall be submitted prior to the*
359 *revision meeting, except as exempted by the Community Development Director*.

360 Ms. Brunner referred to page 31 of the Board's packet, Section 26, 10.14, all items above Item E
361 has to be met: Request has to be made in writing; They have to cite the specific regulation. She

362 added vast majority of the developers are acting in good faith and with others, there is leeway for
363 the Board to act.

364 Mr. Hoefer stated as long as the Board feels good that that process to identify the need for a
365 waiver is happening ahead of time and this is only to prevent the minor cases that might come up
366 during the review process – he was in agreement with this amendment. Ms. Brunner stated staff
367 also schedules a pre-submission meeting where they meet with the applicant prior to submission
368 of the application. At times, there is significant changes between that point and when they submit
369 the application. Staff will also at times send a Memo of all items required.

370 #17 – Proposal to amend the Earth Excavation application submittal requirements. Specifically,
371 the section refers to exemptions. This amendment is to make it specific about what section it is
372 and where an applicant can request for exemptions. Ms. Brunner further stated Earth Excavation
373 Regulations were written a while ago and have not been used until recently. She noted the
374 section on security does not match other sections on security. Planning Board policy is to not
375 accept performance bonds and to only accept checks or letters of credit. Councilor Remy asked
376 whether it matters whom the letter of credit is from. Ms. Brunner stated she assumes it can only
377 come from a bank and stated she would need to defer to the Finance Department.

378 Master Plan Consistency – This is in line with the recently adopted master plan. There are goals
379 listed under Livable Housing to make sure that the housing development process is transparent,
380 easy to navigate. The City is trying to boost infill development and redevelopment, remove
381 barriers to housing developments.

382 Under the Thriving Economy - Goal 3 - An action item to review the City's regulatory processes
383 to identify potential challenges or constraints that perspective businesses and or developers may
384 face.

385 Under Flourishing Environment - Where it talks about as an aspiration, smart growth, compact,
386 walkable development and infill are promoted to preserve green space and farms and adaptive
387 reuse of buildings is the common building strategy over greenfield development. To make sure
388 regulations are as clear and streamlined as possible is going to help achieve that goal.

389

390 Ms. Brunner next went over the changes from the Board

391 #1 - strike the beginning and to say *the owner shall* instead of referring to Article 23.

392 #2 – to delete this item in its entirety and add the definition of primary entrance to the ordinance
393 that goes to City Council.

394 Ms. Brunner reviewed the changes again:

395 Amendment #1 would be modified to read 20.2.5 – *Monumentation – the owner/developer shall*
396 *provide permanent reference monuments and final subdivision plans....*

397 A motion was made by Councilor Remy that the Planning Board approve amendments to the
398 Planning Board Subdivision regulations, site development standards, earth excavation
399 regulations and application procedures, as shown in the memorandum to the Planning Board
400 dated November 14th, 2025 with an effective date of January 1, 2026, with the exception of

amendment one, striking the words in accordance with Article 23 of this LDC and capitalizing the 1st letter of the next word;

In addition, striking Amendment 2 entirely with the intent that the definition is sent forward to City Council for a different amendment.

The motion was seconded by Armando Rangel and was unanimously approved.

A motion was made by Councilor Remy that the Planning Board refer the amended regulations to City Council for incorporation to Chapter 100 Land Development Code of the City Code of Ordinances. The motion was seconded by Armando Rangel and was unanimously approved.

V) Training on Site Development Standards City has had, and the City Council goals that get adopted every two years, so I just want to review that I'm going to go through the proposed amendment Standard #6 – Screening & Standard #7 – Lighting

Item was tabled for next month.

VI) Staff Updates

Staff is working on an implementation plan for the master plan. Staff is waiting for Council to finish their goals. She indicated next meeting is a full agenda with six public hearings as well as the meeting scheduled for next year. In the New Year, the Board will be starting its review of the CIP.

VII) New Business

None

VIII) Upcoming Dates of Interest

- Joint Committee of the Planning Board and PLD – December 8th, 6:30 PM
- Planning Board Steering Committee – December 9th, 12:00 PM
- Planning Board Site Visit – December 17th, 8:00 AM – To Be Confirmed
- Planning Board Meeting –December 22nd, 6:30 PM

B. More Time Items

C. Adjournment

There being no further business, Chair Farrington adjourned the meeting at 8:18 PM.

Respectfully submitted by,
Krishni Pahl, Minute Taker

Reviewed and edited by,
Mari Brunner, Senior Planner

Planning Board

2026 Meeting Schedule

All meetings are generally held on the 4th Monday of each month at 6:30 PM in the 2nd Floor Council Chambers of City Hall, unless otherwise noted with an *

January 26, 2026

February 23, 2026

March 23, 2026

April 27, 2026

*May 26, 2026 (4th Tuesday)

June 22, 2026

July 27, 2026

August 24, 2026

September 28, 2026

October 26, 2026

November 23, 2026

*December 21, 2026 (3rd Monday)

January 25, 2027

MEMORANDUM

TO: Planning Board
FROM: Community Development Staff
DATE: December 12, 2025
SUBJECT: Agenda Item IV - Final Vote on Conditional Approvals

Recommendation:

To grant final approval for any projects that have met all their “conditions precedent to final approval.”

Background:

This is a standing agenda item in response to the “George Stergiou v. City of Dover” opinion issued by the NH Supreme Court on July 21, 2022. As a matter of practice, the Planning Board issues a final vote on all conditionally approved projects after the “conditions precedent to final approval” have been met. This final vote will be the final approval and will start the 30-day appeal clock.

As of the date of this packet, there are no applications ready for final approval.

If any projects meet their conditions precedent between date of this packet and the meeting, they will be identified and discussed during this agenda item.

All Planning Board actions, including final approvals, are posted on the City of Keene website the day after the meeting at [KeeneNH.gov/planning-board](https://www.keeneNH.gov/planning-board).

PB-2025-30 – BOUNDARY LINE ADJUSTMENT – CEDARCREST & FIRST BAPTIST CHURCH, 91 & 105 MAPLE AVE

Request:

Applicant Huntley Survey & Design, on behalf of owners Cedarcrest and the 1st Baptist Church of Keene, proposes to transfer ~7.5-ac from the ~21.5-ac lot at 105 Maple Ave (TMP# 227-017-000) to the ~6.7-ac lot at 91 Maple Ave (TMP# 227-018-000). The 105 Maple Ave property is in the Low-Density District, and 91 Maple Ave is in the Conservation & Low-Density Districts.

Background:

The two subject parcels are located on the eastern side of Maple Ave, just south of Route 12 and the Keene Middle School property. The Cedarcrest parcel at 91 Maple Ave is located mostly in the Low Density (LD) District with a ~1.7-ac section located in the Conservation (C) District. The property is developed with an ~30,000-sf building, a few outbuildings, a paved parking lot, walkways, and an outdoor seating area. This property also has an approved site plan and CUP for a medium-scale ground-mounted solar energy system to the rear of the main building.

The First Baptist Church parcel at 105 Maple Ave is ~21.5-ac and is located entirely within the LD District. The parcel is developed with an ~13,000-sf church building, a few accessory outbuildings, paved parking areas, walkways, and a telecommunications tower on the rear (eastern) portion of the lot. Adjacent uses include NH Rt. 12; undeveloped land to the east; a cemetery and multi-family housing to the south; and a mix of residential, and institutional uses to the west.

The applicant proposes a boundary line adjustment (BLA) that would transfer ~7.5-ac of land from the First Baptist Church parcel to the Cedarcrest site. There is no development proposed as part of this application. The current and proposed layouts of these parcels are shown in Figures 1 & 2.

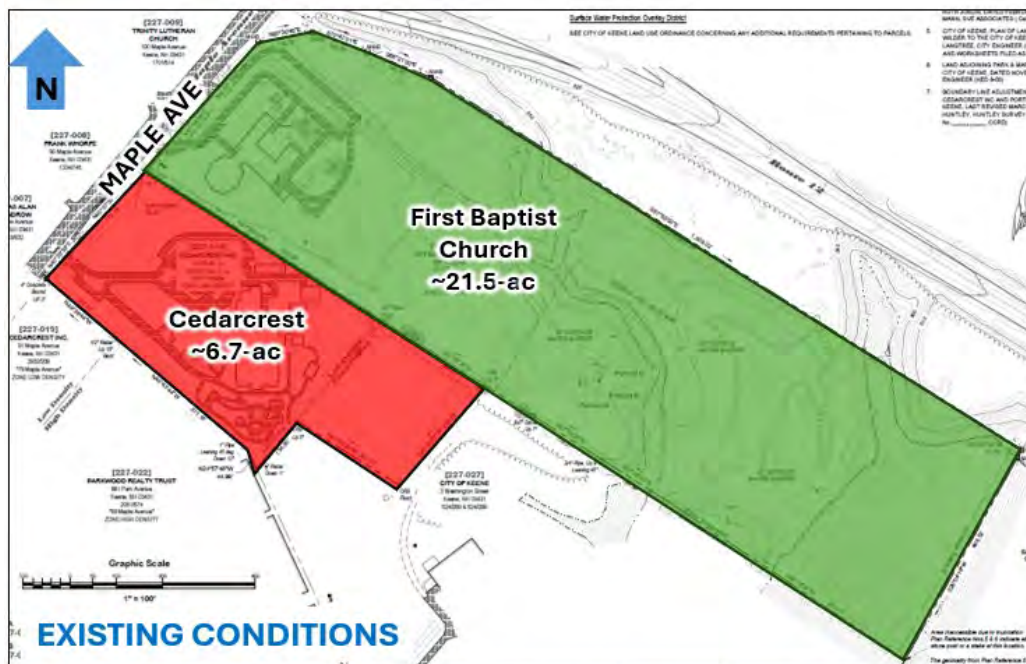


Figure 1. A snippet from the existing conditions plan showing the current layout of the Cedarcrest site at 91 Maple Ave & the First Baptist Church at 105 Maple Ave.

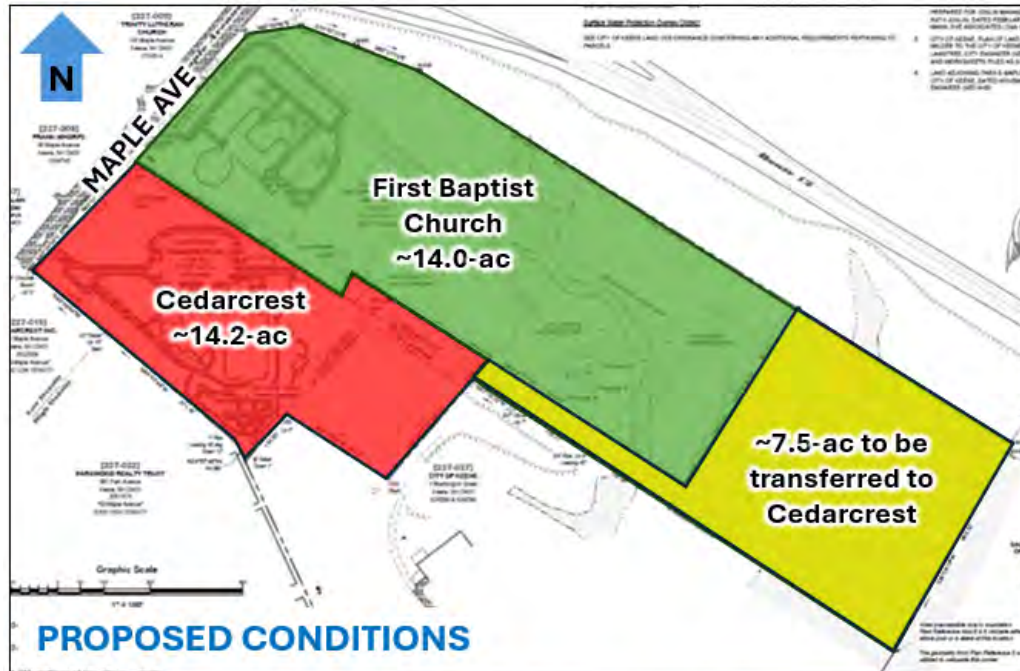


Figure 2. A snippet from the proposed conditions plan showing the area of land to be transferred from the First Baptist Church to Cedarcrest.

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposed lot line adjustment does not have the potential for “regional impact” as defined in RSA 36:55. The Board should make a final determination as to whether the proposal could have the potential for regional impact.

Completeness:

The applicant has requested exemptions from submitting all technical reports. After reviewing these requests, Planning Staff have made the preliminary determination that granting the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as “complete.”

Departmental Comments: There were no departmental comments on this application.

Application Analysis

20.2.1 – LOTS: The proposed lot size and configuration for each parcel, shown in Figure 2 and Table 1, appear to meet all zoning and frontage requirements. This standard appears to be met.

Table 1. Area of Land Affected by Proposed Boundary Line Adjustment

Lot Sizes	Cedarcrest			Church
	LD (Min. 10,000 sf)	C (Min. 5 ac)	Total	LD (Min. 10,000 sf)
Before BLA	5.0-ac	1.7-ac	6.7-ac	21.5-ac
After BLA	12.5-ac	1.7-ac	14.2-ac	14.0-ac

20.2.4 – PRESERVATION OF EXISTING FEATURES: The proposed plan shows the presence of wetlands on the rear portion of the church lot and includes the 30’ buffer around these areas. Note 9 on the plan states that any future development in these areas may require the submittal of a Surface Water Protection Conditional Use Permit (CUP) for review by the City of Keene Planning Board. This standard appears to be met.

20.2.5 – MONUMENTATION: The project narrative states that if approved, the new lot bounds will be monumented using 5/8” rebar with aluminum caps, railroad spikes, or brass disks. Planning Staff recommend that the Board include a precedent condition of approval related to the inspection of these lot monuments by the Public Works Director following their installation, or in lieu of this, the submittal of a security to cover the cost of this inspection. This standard appears to be met.

20.2.6 – SPECIAL FLOOD HAZARD AREAS: The subject parcels are not located within any special flood hazard areas. This standard is not applicable.

20.2.7 – FIRE PROTECTION & WATER SUPPLY: The City’s GIS Database shows that there are two existing fire hydrants on the Cedarcrest parcel as well as a fire hydrant located directly across the street from the church on the Trinity Lutheran School & Church site at 100 Maple Ave. This standard appears to be met.

20.2.8 – UTILITIES: Both parcels are already developed with city water and sewer service, and no new development is proposed. This standard does not apply.

21.9 – TRAFFIC & ACCESS MANAGEMENT: No changes are proposed to the existing frontage or site access for either parcel and no new development is proposed. This standard does not apply.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

“Approve PB-2025-30 as shown on the plan identified as “Boundary Line Adjustment” prepared by Huntley Survey & Design, PLLC at a scale of 1 inch = 100 feet on November 12, 2025 and last revised on December 5, 2025 with the following conditions prior to final approval and signature of the plans by the Planning Board Chair:

- 1. Owners’ signatures appear on the plans.***
- 2. Submittal of four (4) full sized paper copies, two (2) mylar copies, and a flattened PDF version of the final plan set.***
- 3. Submittal of a check in the amount of \$51.00 made out to the City of Keene to cover the cost of recording fees.***
- 4. Inspection of the lot monuments by the Public Works Director, or in lieu of this, the submittal of a security to cover the cost of this inspection.”***



City of Keene, NH



Planning Board Boundary Line Adjustment (BLA) Application

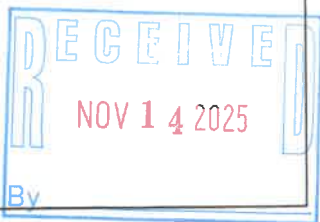
If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Boundary Line Adjustment, Cedarcrest Inc. & 1st Baptist Church of Keene	NUMBER OF PARCELS AFFECTED: 2
PROJECT ADDRESS(ES): 91 & 105 Maple Avenue, Keene NH	

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER #1	PROPERTY OWNER #2
NAME/COMPANY: Cedarcrest, Inc.	NAME/COMPANY: 1st Baptist Church of Keene
MAILING ADDRESS: 91 Maple Avenue, Keene, NH 03431	MAILING ADDRESS: 105 Maple Avenue, Keene, NH 03431
PHONE: (603) 358-3384	PHONE: (603) 352-0340
EMAIL: jyannizze@cedarcrestcenter.org	EMAIL: pastor@firstbaptistkeenenh.org
SIGNATURE: 	SIGNATURE: 
PRINTED NAME: Jim Yannizze	PRINTED NAME: Linda Overall

APPLICANT / AUTHORIZED AGENT	FOR OFFICE USE ONLY:	
NAME/COMPANY: Huntley Survey & Design	TAX MAP PARCEL #(s): 227-018-000, 91 Maple Ave, 5ac, LD	
MAILING ADDRESS: 659 West Road, Temple, NH 03084	227-017-000, 105 Maple Ave, ~18.48ac, LD	
PHONE: Office:(603) 924-1669 Cell:(603) 381-3227	-----	
EMAIL: russ@huntleysurvey.com	PARCEL SIZE: 5ac & 18.48ac	DATE STAMP: 
SIGNATURE:	ZONING: Low Density (both lots)	
PRINTED NAME: Russell Huntley	PROJECT #: PB-2025-30	



City of Keene, NH

Planning Board Boundary Line Adjustment (BLA) Application

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SIGNATURE: 	SIGNATURE:
PRINTED NAME: Jim Yannizze	PRINTED NAME: Linda Overall
APPLICANT / AUTHORIZED AGENT	FOR OFFICE USE ONLY:
NAME/COMPANY: Huntley Survey & Design	TAX MAP PARCEL #(s): 227-018-000, 91 Maple Ave, 5ac, LD 227-017-000, 105 Maple Ave, 18.48ac, LD
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PHONE: Office: (603) 924-1669 Cell: (603) 381-3227	
EMAIL: russ@huntleysurvey.com	PARCEL SIZE: 5ac & 18.48ac
SIGNATURE: 	ZONING: Low Density (Both lots)
PRINTED NAME: Russell Huntley	PROJECT #: PB-2025-30
	DATE STAMP: By _____

Technical Subdivision
Between Lands of
Cedarcrest, Inc. & 1st Baptist Church of Keene

November 13, 2025

Project Narrative

Cedarcrest, Inc. currently owns a 6-acre parcel of land, located at 91 Maple Avenue in Keene and shown on Keene tax maps as parcel 227-017. They wish to acquire a portion of the adjacent lot owned by the 1st Baptist Church of Keene, located at 105 Maple Avenue, shown as tax map parcel 227-18, and currently containing 21.4 acres.

The proposed area to be transferred to Cedarcrest, Inc. consists of the south-easterly 7.49 acres (326,267 Sq.Ft.). of the said Church lot along with an access strip 50 feet wide and running parallel to the boundary line.

Jim Yannizze, Director of Finance at Cedarcrest, Inc., and Linda Overall, Transition Pastor at 1st Baptist Church of Keene, retained Huntley Survey & Design to perform the necessary boundary & topographic surveys for the project. Huntley Survey & Design has prepared the boundary line adjustment plat and application. If approved, the proposed adjustment will be monumented with 5/8" rebar with aluminum caps, railroad spikes, or brass disks at each new corner and all existing, unmarked corners.

The parcel lies within the Low Density District, which requires a minimum area of 10,000 square feet per lot and 60' of road frontage on a Class V or better highway. The proposed transfer does not affect the frontage of either of the lots involved and the areas remain in keeping with the current development in the area.

Proposed Lot 227-018, with the existing building, driveway, and parking lot, will have 319' feet of frontage on Maple Avenue, and 14.19 acres (618,237 Sq.Ft.). Access will remain the driveway off Maple Avenue.

Proposed Lot 227-017, with the existing building, parking lot, and driveways, will have 366.5' feet of frontage on Maple Avenue, and will contain 14.03 acres (611,246 Sq.Ft.). Access will remain the 2 driveways off Maple Avenue.

Both lots are currently serviced by town water and sewer. The lots as proposed meet the requirements of the City of Keene Land Development Code.

No development beyond the boundary adjustment is proposed at this time.

Subdivision Review Standards 19.2

The City of Keene Subdivision review standards will be met, or waivers will be requested as follows:

20.2.1 Lots

The size, configuration, and frontage of both proposed lots meet all requirements of the zoning regulations. The standard is met.

20.2.2 Character of Land

The land does not pose danger to health or peril from fire, flood, poor drainage, excessive slope, or other hazardous conditions. Additionally, no development of the transferred parcel is proposed.

20.2.3 Scattered or Premature Development

This subdivisions does not promote scattered or premature development of land

20.2.4 Preservation of Existing Features

There are no currently proposed changes to the site.

20.2.5 Monumentation

If approved, the proposed adjustment will be monumented with 5/8" rebar with aluminum caps, railroad spikes, or brass disks

20.2.6 Special Flood Hazard Areas

The subject parcels do not lie within a special flood hazard area.

20.2.7 Fire Protection and Water Supply

The subject parcels are served by municipal water supply. There are a number of fire hydrants within the vicinity and no new development is proposed, so the project meets this standard.

Site Development Standards

The City of Keene Site development standards will be met for the proposed subdivision. The proposed parcels will continue as they have and do not contribute any detrimental effects to any of the standards.

Article 21.2 – Drainage & Stormwater Management

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.3 – Sediment and Erosion Control

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.4 – Snow Storage & removal

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.5 – Landscaping

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.6 – Screening

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.7 – Lighting

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.8 – Sewer & Water

Municipal water and sewer are provided and proposed the adjustment will meet the standards of Art.20.8.

Article 21.9 – Traffic and Access Management

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.10 Filling and Excavation

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.11 – Surface Water and Wetlands

No development or site changes to the existing state of land is proposed. The standard does not apply

Article 21.12 – Hazardous and Toxic Materials

No development or site changes to the existing state of land is proposed. The standard does not apply.

Article 21.13 – Noise

Noise levels will remain the same. The standard of the article is met.

Article 21.14 – Architectural and visual appearance

No development or site changes to the existing state of land or building is proposed. The standard does not apply.

FOR PLANNING BOARD REVIEW
-NOT FOR RECORDING-

BENCHMARK
DISK 237-0400
ELEV=532.97'

Zoning Districts LD (Low Density District) REQUIREMENTS

MAX HEIGHT 2 STORIES/35'
LOT SIZE 10,000 sf
FRONTAGE 60'
LOT WIDTH 70'
BUILDING SETBACKS
FRONT 15'
SIDE 10'
REAR 20'

MAX BUILDING COVERAGE 35%
MAX IMPERMEABLE COVERAGE 45%

Surface Water Protection Overlay District

SEE CITY OF KEENE LAND USE ORDINANCE CONCERNING ANY ADDITIONAL REQUIREMENTS PERTAINING TO PARCELS

C (Conservation) REQUIREMENTS

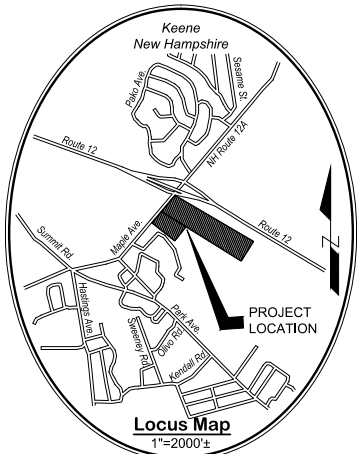
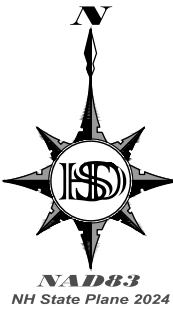
MAX HEIGHT 2 STORIES/35'
LOT SIZE 5 ACRES
FRONTAGE 50'
LOT WIDTH 200'
BUILDING SETBACKS
FRONT 50'
SIDE 50'
REAR 50'

MAX BUILDING COVERAGE 10%
MAX IMPERMEABLE COVERAGE 20%

Plan References

REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS

- SUBDIVISION PLAT, CEDARCREST, MAPLE AVENUE, DATED MAY 19, 1988, BY DAVID A. MANN ASSOCIATES, (Cab. 12 Dr. 00 no, 146 CCRD)
- KEENE CHURCH OF THE NAZARENE, KEENE, NH, DATED MARCH 1984, BY ROY K. PIPER, (Pd.50 Pg.95 CCRD)
- PLANS OF PROPOSED FEDERAL AID, PRIMARY AND FEDERAL AID URBAN PROJECT, NO. FU013-1(7), NH PROJECT P-3436, RT12, (NHDOT Project Plans)
- BOUNDARY LINE ADJUSTMENT & EASEMENT PLAT PREPARED FOR JOSLIN MANAGEMENT CORP & JOHN E. & RUTH JOSLIN, DATED FEBRUARY 22, 1997, BY DAVID A. MANN, SVE ASSOCIATES (Cab.12 Dr.02 No.81 CCRD)
- CITY OF KEENE, PLAN OF LAND CONVEYED BY COOK & WILDER TO THE CITY OF KEENE, DATED 1946 BY C.F. LANGTREE, CITY ENGINEER (KED 8-26) SEE OTHER PLANS AND WORKSHEETS FILED AS (KED 8-26)
- LAND ADJOINING PARK & MAPLE AVENUES, PROPERTY OF CITY OF KEENE, DATED NOVEMBER 24, 1947, BY CITY ENGINEER (KED 8-03)
- BOUNDARY LINE ADJUSTMENT BETWEEN LANDS OF CEDARCREST INC AND PORTIONS OF LANDS OF CITY OF KEENE, LAST REVISED MARCH 25, 2025; BY RUSSELL J. HUNTLEY, HUNTLEY SURVEY & DESIGN, PLLC (Plan No. _____ CCRD)



Notes

- NORTH SHOWN ON THIS PLAN IS REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON A STATIC GPS SURVEY PERFORMED IN NOVEMBER 2024 USING AN IG35 GNSS RECEIVER.
- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM DEEDS, RECORD PLANS & PHYSICAL EVIDENCE FOUND DURING THE FIELD SURVEY.
- TOPOGRAPHY SHOWN ON THIS PLAN WAS DEVELOPED FROM POINT CLOUD DATA (CONNECTICUT RIVER WATERSHED - PUBLISHED IN 2015) OBTAINED FROM <http://lidar.unh.edu/map/> THE VERTICAL DATUM IS NAVD88. CONTOUR INTERVAL IS TWO (2) FEET.
- OWNERS' RECORD AT THE KEENE ASSESSOR'S OFFICE:
 - [227-018] CEDARCREST INCORPORATED, 91 MAPLE AVENUE, KEENE, NH 03431
 - [227-017] 1ST BAPTIST CHURCH OF KEENE, 105 MAPLE AVENUE, KEENE, NH 03431
- ANY UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES SHOWN HAVE BEEN PLOTTED FROM FIELD SURVEY OF SURFACE LOCATIONS AND DATA OBTAINED FROM PREVIOUS MAPS AND RECORDS. THEIR EXISTENCE AND LOCATIONS MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH WERE NOT KNOWN OR INVESTIGATED AT THE TIME OF SURVEY. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY HUNTLEY SURVEY & DESIGN DURING THE MONTH OF OCTOBER, 2024 USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2. PORTIONS OF THE WETLANDS OUTSIDE THE LIMITS OF THE PROJECT SITE ARE SHOWN FROM VISUAL INSPECTION AND TOPOGRAPHY AND ARE MEANT TO INDICATE CONNECTIVITY ONLY.
- THE PARCELS SHOWN ARE LOCATED IN ZONE X AND ARE NOT WITHIN A SPECIAL FLOOD HAZARD AREA. SEE FEMA PANEL 33005C0254E EFFECTIVELY DATED 05/23/2006.
- PARCEL 227-017 IS SUBJECT TO AN EASEMENT TO NH #1 RURAL CELLULAR INC, SEE BOOK 3276 PAGE 569.
- PARCEL 227-017 IS SUBJECT TO CURRENT USE TAXATION.

Surveyor's Certification

PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE THAT MEETS OR EXCEEDS NH LAN 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1. "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.



EXISTING CONDITIONS

LANDS OF Cedarcrest Inc.

located at
Tax Map 227 Lot 18
91 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 2449, Page 439

AND LANDS OF 1st Baptist Church of Keene

located at
Tax Map 227 Lot 17
105 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 693, Page 40

Surveyed 11/2024 Plan prepared 11/12/2025
Project No. H24-052 Cad File No. H24-052 BLADJ.dwg

Huntley Survey & Design, PLLC

NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

NO.	DATE	REVISION	BY

Parcel A
[227-017-03-01] VERIZON WIRELESS PO Box 2549, Addison, TX 75001 2865/412

Parcel B
[227-017-02-01] AT&T 1010 Pine 9E-L-01, St. Louis, MO 63101

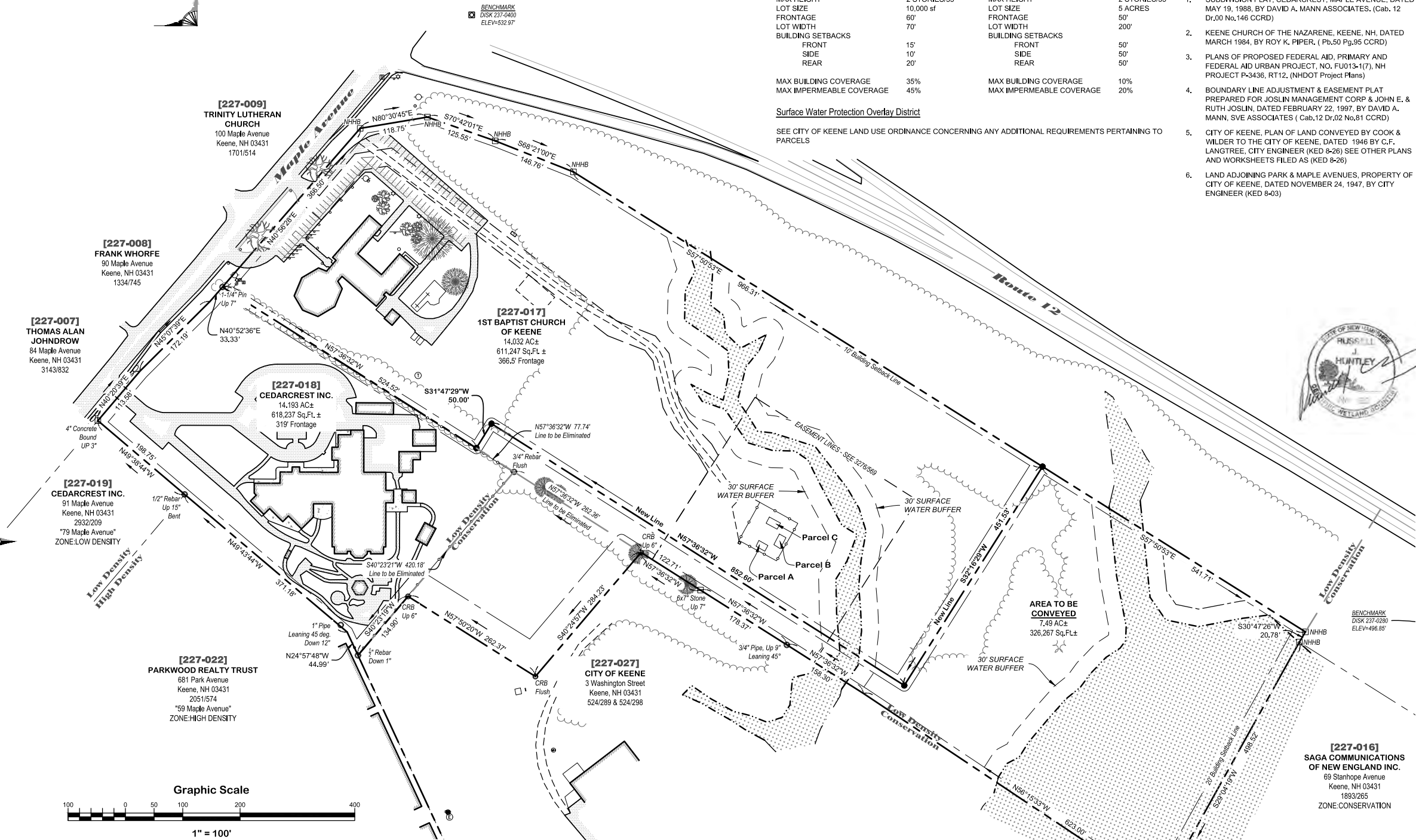
Parcel C
[227-017-01-01] US CELLULAR PO Box 2629, Addison, TX 75001

Symbol Legend

	CATCH BASIN		STONE WALL
	HYDRANT		CHAIN LINK FENCE
	UTILITY POLE		TREE LINE
	LIGHT POLE		EDGE OF PAVEMENT
	TELECOM MANHOLE		CONCRETE
	SIGN		EDGE OF WETLANDS
	SIGN WITH END POSTS		CONIFEROUS TREE
	POST/BOLLARD		STONE/CONCRETE BOUND
	UNDETERMINED UTILITY BOX		CHESHIRE REGISTRY OF DEEDS
	MAIL BOX		TAX MAP PARCEL NUMBER
	IRON PIN/PIPE		DEED VOLUME & PAGE
	STONE/CONCRETE BOUND		NH HIGHWAY BOUND

CCRD
[1-2-3]
123/456
NHHB

FOR PLANNING BOARD REVIEW
-NOT FOR RECORDING-



Zoning Districts

LD (Low Density District) REQUIREMENTS

MAX HEIGHT	2 STORIES/35'
LOT SIZE	10,000 sf
FRONTAGE	60'
LOT WIDTH	70'
BUILDING SETBACKS	
FRONT	15'
SIDE	10'
REAR	20'

MAX BUILDING COVERAGE	35%
MAX IMPERMEABLE COVERAGE	45%

Surface Water Protection Overlay District

SEE CITY OF KEENE LAND USE ORDINANCE CONCERNING ANY ADDITIONAL REQUIREMENTS PERTAINING TO PARCELS

C (Conservation) REQUIREMENTS

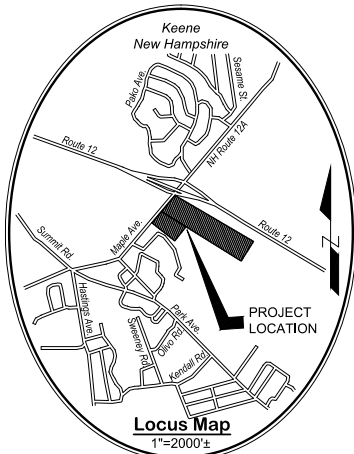
MAX HEIGHT	2 STORIES/35'
LOT SIZE	5 ACRES
FRONTAGE	50'
LOT WIDTH	200'
BUILDING SETBACKS	
FRONT	50'
SIDE	50'
REAR	50'

MAX BUILDING COVERAGE	10%
MAX IMPERMEABLE COVERAGE	20%

Plan References

REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS

- SUBDIVISION PLAT, CEDARCREST, MAPLE AVENUE, DATED MAY 19, 1988, BY DAVID A. MANN ASSOCIATES, (Cab. 12 Dr.00 No.146 CCRD)
- KEENE CHURCH OF THE NAZARENE, KEENE, NH, DATED MARCH 1984, BY ROY K. PIPER, (Pd.50 Pg.95 CCRD)
- PLANS OF PROPOSED FEDERAL AID, PRIMARY AND FEDERAL AID URBAN PROJECT, NO. FU013-1(7), NH PROJECT P-3436, RT12, (NHDOT Project Plans)
- BOUNDARY LINE ADJUSTMENT & EASEMENT PLAT PREPARED FOR JOSLIN MANAGEMENT CORP & JOHN E. & RUTH JOSLIN, DATED FEBRUARY 22, 1997, BY DAVID A. MANN, SVE ASSOCIATES (Cab.12 Dr.02 No.81 CCRD)
- CITY OF KEENE, PLAN OF LAND CONVEYED BY COOK & WILDER TO THE CITY OF KEENE, DATED 1946 BY C.F. LANGTREE, CITY ENGINEER (KED 8-26) SEE OTHER PLANS AND WORKSHEETS FILED AS (KED 8-26)
- LAND ADJOINING PARK & MAPLE AVENUES, PROPERTY OF CITY OF KEENE, DATED NOVEMBER 24, 1947, BY CITY ENGINEER (KED 8-03)



Notes

- NORTH SHOWN ON THIS PLAN IS REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON A STATIC GPS SURVEY PERFORMED IN NOVEMBER 2024 USING AN IG3S GNSS RECEIVER.
- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM DEEDS, RECORD PLANS & PHYSICAL EVIDENCE FOUND DURING THE FIELD SURVEY.
- OWNERS' RECORD AT THE KEENE ASSESSOR'S OFFICE:
[227-018] CEDARCREST INCORPORATED, 91 MAPLE AVENUE, KEENE, NH 03431
[227-017] 1ST BAPTIST CHURCH OF KEENE, 105 MAPLE AVENUE, KEENE, NH 03431
- ANY UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES SHOWN HAVE BEEN PLOTTED FROM FIELD SURVEY OF SURFACE LOCATIONS AND DATA OBTAINED FROM PREVIOUS MAPS AND RECORDS. THEIR EXISTENCE AND LOCATIONS MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH WERE NOT KNOWN OR INVESTIGATED AT THE TIME OF SURVEY. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY HUNTLEY SURVEY & DESIGN DURING THE MONTH OF OCTOBER, 2024 USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHCENTRAL AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2.
- THE PARCELS SHOWN ARE LOCATED IN ZONE X AND ARE NOT WITHIN A SPECIAL FLOOD HAZARD AREA. SEE FEMA PANEL 33005C0254E EFFECTIVELY DATED 05/23/2006.
- PARCEL 227-017 IS SUBJECT TO AN EASEMENT TO NH #1 RURAL CELLULAR INC. SEE BOOK 3276 PAGE 569.
- PARCEL 227-017 IS SUBJECT TO CURRENT USE TAXATION.
- ANY FUTURE DEVELOPMENT WITHIN THE 30' SURFACE WATER BUFFER MAY REQUIRE THE SUBMITTAL OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT FOR REVIEW BY THE CITY OF KEENE PLANNING BOARD.

Surveyor's Certification

PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE THAT MEETS OR EXCEEDS NH LAN 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.



APPROVED BY THE KEENE PLANNING BOARD	
BY _____	CHAIRMAN
AND _____	SECRETARY
ON _____	

Boundary Line Adjustment

BETWEEN LANDS OF
Cedarcrest Inc.
located at
Tax Map 227 Lot 18
91 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 2449, Page 439

AND LANDS OF
1st Baptist Church of Keene
located at
Tax Map 227 Lot 17
105 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 693, Page 40

Surveyed 11/2024
Project No. H24-052

Plan prepared 11/2025
Cad File No. H24-052 BLADJ.dwg

Huntley Survey & Design, PLLC

NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

Symbol Legend

	CATCH BASIN		CHAIN LINK FENCE
	HYDRANT		TREE LINE
	UTILITY POLE		EDGE OF PAVEMENT
	LIGHT POLE		CONCRETE
	TELECOM MANHOLE		JURISDICTIONAL WETLANDS
	SIGN		CONFEDEROUS TREE
	SIGN WITH END POSTS		STONE/CONCRETE BOUND
	POST/BOLLARD		CHESHIRE REGISTRY OF DEEDS
	UNDETERMINED UTILITY BOX		TAX MAP PARCEL NUMBER
	MAIL BOX		DEED VOLUME & PAGE
	IRON PIN/PIPE		NH HIGHWAY BOUND
	STONE/CONCRETE BOUND		
	CAPPED 5/8" REBAR		
	5/8" REBAR WITH CAP (SET)		

Parcel Data

PARCEL	REQUIRED	EXISTING	PROPOSED	CHANGE
[227-018] CEDARCREST	LOW DENSITY CONSERVATION	LOW DENSITY CONSERVATION TOTAL	LOW DENSITY CONSERVATION TOTAL	LOW DENSITY CONSERVATION TOTAL
	ACRES 0.23	5.005 1.698 6.703	12.495 1.698 14.193	7.490 - 7.490
	SQUARE FEET 10,000	218,010 73,960 291,970	544,277 73,960 618,237	326,267 - 326,267
	FRONTAGE 60	319 0 319	319 0 319	- -
	BUILDING SQUARE FEET 31,563	0 31,563	31,563 0 31,563	- -
	% BUILDING COVERAGE 14.5%	0 10.8%	0 5.1%	-8.7% -8.7%
	IMPERMEABLE SQUARE FEET 89,278	0 89,278	0 89,278	- -
	% IMPERMEABLE COVERAGE 45.0%	41.0% 0 30.6%	8.24% 0 14.4%	-24.5% -24.5%
[227-017] 1st BAPTIST CHURCH OF KEENE	LOW DENSITY CONSERVATION	LOW DENSITY CONSERVATION TOTAL	LOW DENSITY CONSERVATION TOTAL	LOW DENSITY CONSERVATION TOTAL
	ACRES 0.23	21.522 937.514 937.514	14.032 611.247 611.247	-7.490 -7.490
	SQUARE FEET 10,000	367 937,514 937,514	367 611,247 611,247	-326,267 -326,267
	FRONTAGE 60	14,450 367 14,450	14,450 367 14,450	- -
	BUILDING SQUARE FEET 14,450	1.5% 70,181 70,181	2.4% 70,181 70,181	0.8% 0.8%
	% BUILDING COVERAGE 35.0%	1.5% 70,181 70,181	2.4% 70,181 70,181	- -
	IMPERMEABLE SQUARE FEET 70,181	7.5% 11.5%	11.5%	4.0% 4.0%
	% IMPERMEABLE COVERAGE 45.0%			

Owner Certification

I CERTIFY THAT I/WE AM/ARE THE CURRENT OWNER(S) OF THE TRACTS SHOWN HEREON AND THAT I APPROVE OF THE SUBDIVISION.

OWNER'S SIGNATURE _____ DATE _____

OWNER'S SIGNATURE _____ DATE _____

1	12/05/25	AREA TABLE EDITS & EDITS PER STAFF REVIEW & COMMENTS	RJH
NO.	DATE	REVISION	BY

STAFF REPORT

APPEAL OF STREET ACCESS PERMIT DECISION – 31 ROBBINS RD

Request:

Applicant and owner Karin Royce is appealing a decision of the City Engineer to deny a request for an exception from Sect. 23.5.4.A.8 of the Land Development Code regarding allowed driveway width. The parcel is 0.41-ac in size and is in the Low-Density District.

Background:

The subject parcel is an existing .41-ac lot located on the north side of Robbins Rd adjacent to the intersection with Hanover St. The property is developed as a single-family residence with an attached garage.

Earlier this year, the owners widened the existing driveway by ~9 feet and the City Engineer's office sent a notice of violation dated August 25 informing them that the work performed in the driveway required a permit and did not appear to meet the City's regulations for residential driveways. Specifically, the driveway exceeded the maximum widths at the curblane (30') and the property line (20'). On October 27, a Street Access Permit application

was submitted and reviewed by the City Engineer's Office. The application with the requested exemption related to width was denied based on a determination that there is no unique characteristic of the land or property which presented a physical hardship. The property owners are appealing the City Engineer's decision and are entitled to a de novo (i.e. – "new") review of the application and exception request in accordance with Section 27.8 of the LDC.

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposed Street Access Permit exception request does not appear to have the potential for "regional impact" as defined in RSA 36:55. The Board should make a final determination on this matter.

Completeness:

The applicant has not requested any exemptions from submittal items as part of this application. Planning Staff recommend that the Planning Board accept the application as "complete."

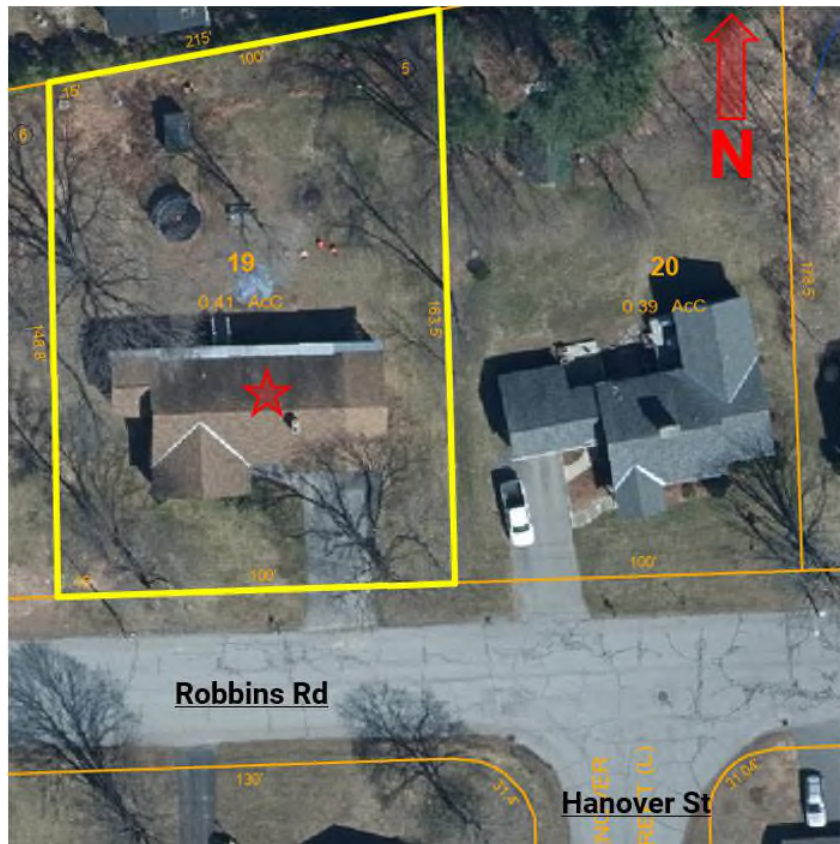


Figure 1. Image of 31 Robbins Road property, outlined in yellow.

STAFF REPORT

Departmental Comments:

1. Engineering Staff Comments

- a. "Based on our review, we have determined that your request does not satisfy the evaluation criteria, specifically, that there are no unique characteristics of the land which present a physical hardship."

APPLICATION ANALYSIS

STREET ACCESS PERMIT REVIEW STANDARD 23.5.4.A:

Street access for single-family dwellings and two-family dwellings, including shared drives, shall not be more than 20-ft wide at the property line and 30-ft wide at the curblane.

The plan submitted by the applicant shows a widening of the driveway along the eastern edge by 9 feet, bringing the width of the driveway to 32 feet. This exceeds the allowed width at the curblane by 2 ft and at the property line by 12 ft.

The Planning Board should evaluate the four criteria listed in Sect. 23.5.6 of the LDC, listed below, in determining whether to grant the driveway exception request.

"23.5.6 Exceptions to Street Access Standards

- A. *Issuance of the exception will not adversely affect the safety of pedestrians, bicyclists, and vehicles using adjacent streets and intersections.*
- B. *Issuance of the exception does not adversely affect the efficiency and capacity of the street or intersection.*
- C. *There are unique characteristics of the land or property which present a physical hardship to the requestor.*
- D. *In no case shall financial hardship be used to justify the granting of the exception."*

RECOMMENDED MOTION:

If the Board is inclined to approve this request, the following motion is recommended:

Exception Request: "Move to grant an exception from Section 23.5.4.A.8 of the Land Development Code to allow for a driveway width greater than 30 ft at the curblane and 20 ft at the property line."

Application Motion: "Move to approve the Street Access Permit for the expansion of the driveway at 31 Robbins Road with no conditions."



City of Keene, NH

Street Access (Driveway) Permit Application

PROJECT INFORMATION

PROPERTY ADDRESS: 31 Robbins Rd, Keene NH 03431	PARCEL SIZE: 0.41 Acres
TAX MAP AND LOT PARCEL #(s): 095 - Lot - 5 - - - APN-MD - 950-10 B-050000 KEEN095010050000	ZONING DISTRICT: LD
PERMIT TYPE: <input checked="" type="checkbox"/> Residential Street Access Permit (for single-family & two-family homes) <input type="checkbox"/> Commercial or Multi-Family Street Access <input type="checkbox"/> Temporary Street Access Permit	

CONTACT INFORMATION

PROPERTY OWNER	APPLICANT (ONLY if different than property owner)
Name/Company: Karin Royce	Name/Company:
Mailing Address: 31 Robbins Rd	Mailing Address:
Phone: 603-499-3423	Phone:
Email: Karinroyce0508@gmail.com	Email:
Signature: X M R	Signature:
Printed Name: Karin M Royce	Printed Name:

REQUIREMENTS

☐ **Location Map:** This map should show the general location of the property. The City of Keene's [GIS Database](#) ([axisgis.com/keenenh](#)) can be used to generate a map.

☐ **Driveway Diagram:** This diagram should show the dimensions and drainage of the proposed driveway.

☐ **Fee:** There is a \$50 fee for Driveway Permit Applications. Please make checks payable to the City of Keene. Credit card payments are accepted in-person or by calling 603-352-5440.

☐ **Description of Project:** The proposed design of a driveway will need to comply with the standards outlined in the [Land Development Code \(LDC\)](#) under **Section 9.3**, **Section 23.5.4**, and **Section 21.9.2** (for commercial or multi-family driveways only)

PLEASE PROVIDE A BRIEF DESCRIPTION OF THE PROPOSED DRIVEWAY LOCATION, DIMENSIONS, SURFACE MATERIAL, GRADING, SIGHT DISTANCE, OFFICE SIGHT IMPROVEMENTS AND DRAINAGE MECHANISM (IF NOT INCLUDED ON THE DRIVEWAY DIAGRAM)

If you have any questions about how to complete this form and/or questions about what information should be provided with your application, please contact the City Engineer at the Public Works Department at 603-352-6550.

FOR CITY USE ONLY

HAS THE ZONING ADMINISTRATOR REVIEWED THE APPLICATION FOR COMPLIANCE WITH THE APPLICABLE ZONING STANDARDS? (Including but not limited to setbacks, lot coverage, location to the rear of either the front setback or front building line.)

☐ Yes ☐ No

DATE OF ZONING ADMINISTRATOR APPROVAL:

DOES THE PROPOSED DRIVEWAY COMPLY WITH ARTICLE 12 OF THE LDC REGARDING HILLSIDE PROTECTION? (If not, the property owner may need to apply for a Hillside CUP.)

☐ Yes ☐ No

APPLICATION STATUS:

☐ Approved ☐ Denied ☐ Approved with Conditions

CONDITIONS:

- ☐ NONE
☐ CULVERT REQUIRED UNDER DRIVEWAY
☐ NO DRAINAGE SHALL BE ALLOWED TO FLOW FROM THE DRIVEWAY ONTO THE CITY OF KEENE RIGHT-OF-WAY
☐ DRIVEWAY SHALL NOT BLOCK STORMWATER GUTTER FLOW IN STREET
☐ OTHER:

EXPIRATION DATE: (Expiration date shall be 2 years from the date of permit issuance):

FOR RESIDENTIAL STREET ACCESS PERMIT APPLICATIONS

CITY ENGINEER'S SIGNATURE

DATE

PROPOSED DATE OF DRIVEWAY INSPECTION:

FOR COMMERCIAL & MULT-FAMILY STREET ACCESS PERMIT APPLICATIONS

PLANNING BOARD (PB) CONDITIONAL APPROVAL DATE:

DATE STAMP:

CONDITIONS OF APPROVAL:

PB FINAL APPROVAL DATE:

PB CHAIR'S SIGNATURE:

DATE OF SIGNATURE:



Karin M. Royce
31 Robbins Road
Keene, NH 03431
603-499-3423
Karinroyce0508@gmail.com

Date: November 3, 2025

City of Keene – Community Development Department
3 Washington Street
Keene, NH 03431

Subject: Appeal of Street Access Permit Decision – Driveway Addition at 31 Robbins Road

Dear Community Development Department,

I am writing to formally appeal the recent street access permit decision regarding my driveway addition at 31 Robbins Road, Keene, NH. I would like to provide a narrative outlining the purpose, conditions, and benefits of the completed project, as well as the reasons I respectfully request reconsideration and approval.

The completed driveway addition does not adversely impact the safety of pedestrians, bicyclists, or vehicles using the surrounding streets. There is no street directly across from the new section of the driveway, and the extension actually improves safety by allowing vehicles to park fully off the roadway. This reduces the need for on-street parking and minimizes potential hazards to both drivers and pedestrians.

Without the additional driveway space, my household experiences significant hardship. I have teenage drivers, and the lack of adequate off-street parking forces them to park on the street, creating safety and convenience issues for both my family and the neighborhood.

This situation also presents a financial hardship. The driveway extension was completed before I became aware that a permit was required. Reconstructing or removing the existing asphalt would create unnecessary expense and hardship while providing no public benefit, since the improvement aligns with safety and visual standards already established by the City.

The material used is asphalt, consistent with the existing driveway and surrounding properties, maintaining a uniform appearance. Prior to the project, I informed my adjacent neighbors, and they expressed no objections or concerns. The addition does not affect drainage, water flow, or any other environmental factors in the area.

For these reasons, I am respectfully appealing the street access permit decision and requesting approval for the existing driveway addition as constructed. I believe this improvement enhances safety, functionality, and the aesthetic value of the property while meeting the intent of the City's driveway and access standards.

Thank you for your time and consideration. Please let me know if additional information or documentation would assist in your review of this appeal.

Sincerely,

Karin M. Royce
31 Robbins Road



Keene, NH 03431

K M R 11/3/25



Karin M. Royce
31 Robbins Road
Keene, NH 03431
603-499-3423
Karinroyce0508@gmail.com

Date: October 23, 2025

City of Keene – Community Development Department
3 Washington Street
Keene, NH 03431

Subject: Narrative for Driveway Addition at 31 Robbins Road

Dear Community Development Department,

I am writing to provide a narrative regarding my request for approval of the driveway addition at my property, located at 31 Robbins Road, Keene, NH.

The proposed (and now completed) driveway addition does not adversely affect the safety of pedestrians, bicyclists, or vehicles using the surrounding streets. There is no street directly across from the new section of the driveway, and the extension actually improves safety by allowing vehicles to park fully off the roadway. This eliminates the need for street parking, reducing potential hazards to drivers and pedestrians alike.

Without the additional space, the situation creates a hardship for my household. I have teenage drivers, and without sufficient driveway space, they must park on the street, which poses both safety and convenience challenges.

This project also presents a financial hardship because the driveway extension has already been completed. I was unaware that a permit was required prior to beginning the work. Having to remove or reconstruct the completed asphalt would impose a significant financial burden and return us to the same parking and safety issues described above.

The surface material is asphalt, chosen to match the existing driveway and maintain consistency with surrounding properties. The neighbors directly adjacent to my property were informed of the project before it began and expressed no objections or concerns. The addition

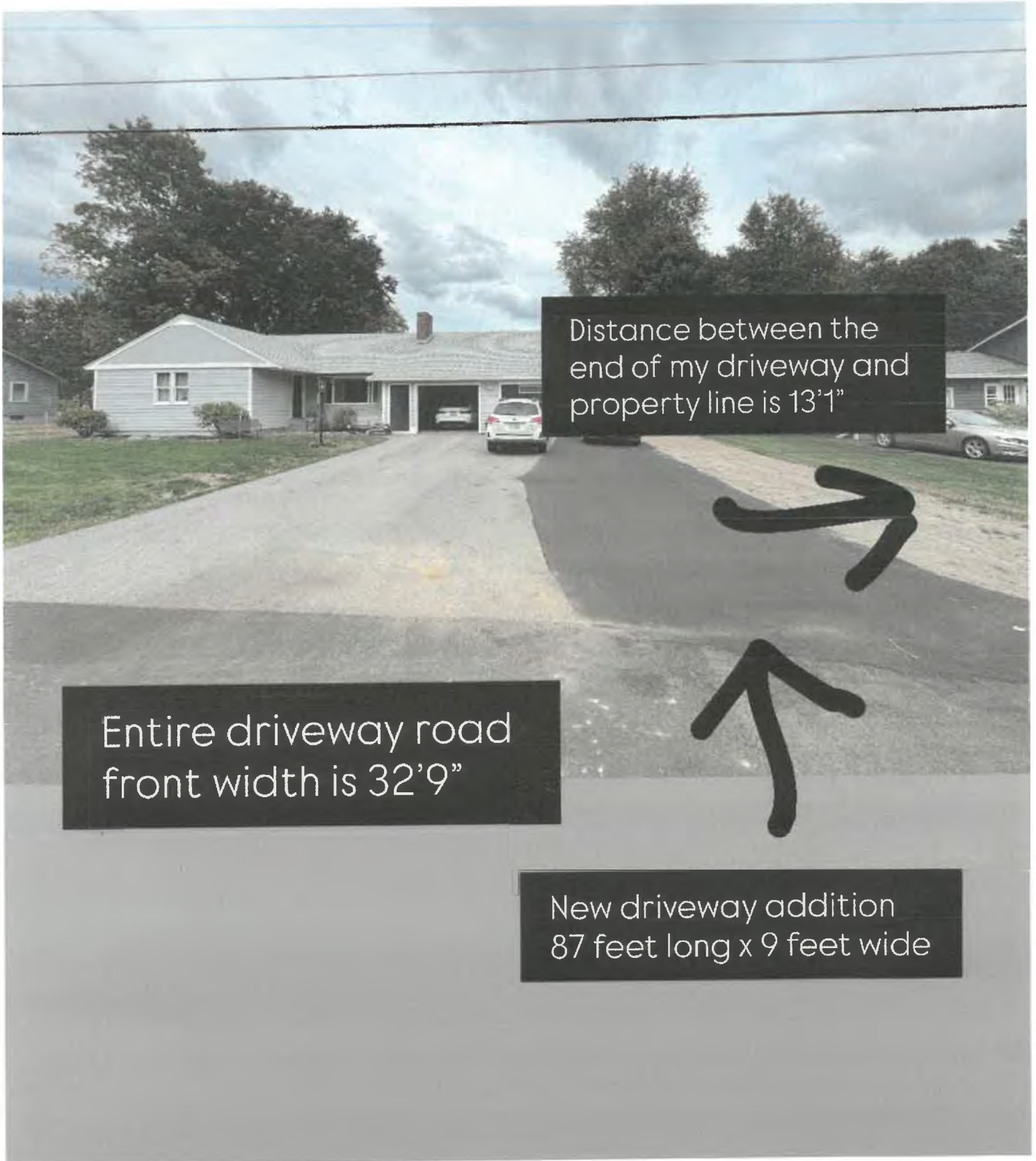
does not affect any drainage patterns or water flow in the area.

For these reasons, I respectfully request approval for the existing driveway addition as constructed. I believe it enhances safety, functionality, and the overall appearance of the property while aligning with the intent of the City's driveway and access standards.

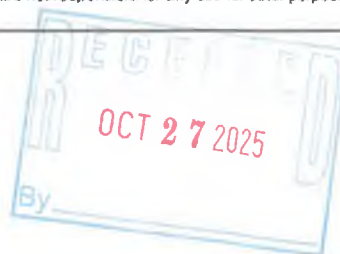
Thank you for your time and consideration. Please let me know if any additional information or documentation is required.

Sincerely,

Karin M. Royce
31 Robbins Road
Keene, NH 03431









GEMINI, PRVING
802 380-3783



August 25, 2025

Karin M. Royce
31 Robbins Road
Keene, NH 03431

Sent by Certified Mail

Ms. Royce,

The purpose of this letter is to inform you of an observed violation of the Keene City Code, Section 70-135 regarding City requirements for driveways. It has been brought to our attention that your property at 31 Robbins Road recently had an unpermitted driveway installed without submitting and obtaining the required City permits and approvals. We are enclosing a sketch of the nonconformance area, specifically the installed paved area is in nonconformance with the following City codes and standards:

City Code Section 70-135 of the City Code of Ordinances provides requirements for street access, specifically that street access for single family homes and duplexes, included shared street access, shall not be more than 20 feet wide at the property line and 30 feet wide at the curbline.

If you wish to submit a permit application for review and consideration for these installed site improvements, you will need also submit for review and approval a variance from the driveway standards. Please contact our Community Development office if you wish to submit a permit application for consideration in pursuit of those approvals. If not, the paved area to the east of the pre-existing driveway described herein must be discontinued from use restored to vegetation prior to **September 5, 2025**. If violations of the City Code continue after the date of this letter, general penalties will be pursued by this office.

If you have any questions, please feel free to contact the Public Works office at 603-352-6550 or you can contact me directly by email at bruoff@keenenh.gov.

Respectfully,

Bryan Ruoff, P.E.
City Engineer

cc. Donald Lussier, Public Works Director
Paul Andrus, Community Development Director



October 28, 2025

Karen M. Royce
31 Robbins Road
Keene, NH 03431

Sent via Email

RE: Application Request for an Exception to Driveway Standards – 31 Robbins Road

Dear Ms. Royce,


We are in receipt of your street access permit application and associated request for an exception to the driveway standards, defined in City Code. We have reviewed your application and request and have taken into consideration the specific criteria for granting an exception, as defined in Sec. 23.5.6 Exceptions to Street Access Standards of the City's Land Development Code, which specifies:

Requests for exceptions to the street access standards in Section 23.5 shall be made in writing to the appropriate permit issuing authority, as defined in Section 23.5.3, which shall have authority to approve or disapprove the requested exception in accordance with the application and review procedures for street access permits in Section 26.16 and upon evaluation the following criteria.

- A. Issuance of the exception will not adversely affect the safety of pedestrians, bicyclists, and vehicles using adjacent streets and intersections.*
- B. Issuance of the exception does not adversely affect the efficiency and capacity of the street or intersection.*
- C. There are unique characteristics of the land or property which present a physical hardship to the requester.*
- D. In no case shall financial hardship be used to justify the granting of the exception.*

Based on our review, we have determined that your request does not satisfy the evaluation criteria, specifically, that there are no unique characteristics of the land which present a physical hardship. You have the right to appeal this decision. Appeals must be submitted in writing to the Planning Board within 30 days.

If you have any questions or need any additional information, please feel free to contact me at 603-352-6550 or by email at bruoff@keenenh.gov

Respectfully,

Bryan M. Ruoff, P.E.
City Engineer

cc: Harrold Farrington, Planning Board Chairman
Paul Andres, Planning Director

PB-2025-31 – 2-LOT SUBDIVISION – CHESHIRE MEDICAL CENTER WEST CAMPUS, 62 MAPLE AVE

Request:

Applicant Huntley Survey & Design, on behalf of owner Cheshire Medical Center, proposes to subdivide the ~50-ac lot located at 62 Maple Ave (TMP 227-006-000) into two lots ~1.3-ac and ~48.6-ac in size. The parcel is in the Industrial Park District.

Background:

The subject parcel at 62 Maple Ave is ~50-ac and serves as the site of Cheshire Medical Center's West Campus. The property fronts on Maple Ave and Route 12 (Figure 1). The eastern half of the site along Maple Ave is developed with an ~143,000-sf building and associated parking area. The western portion of the site is forested with areas of wetlands located along the south and northwest portions of the lot.

Adjacent uses include Route 12 (state highway), residential uses, and institutional uses to the north, east and south, and undeveloped land to the west.

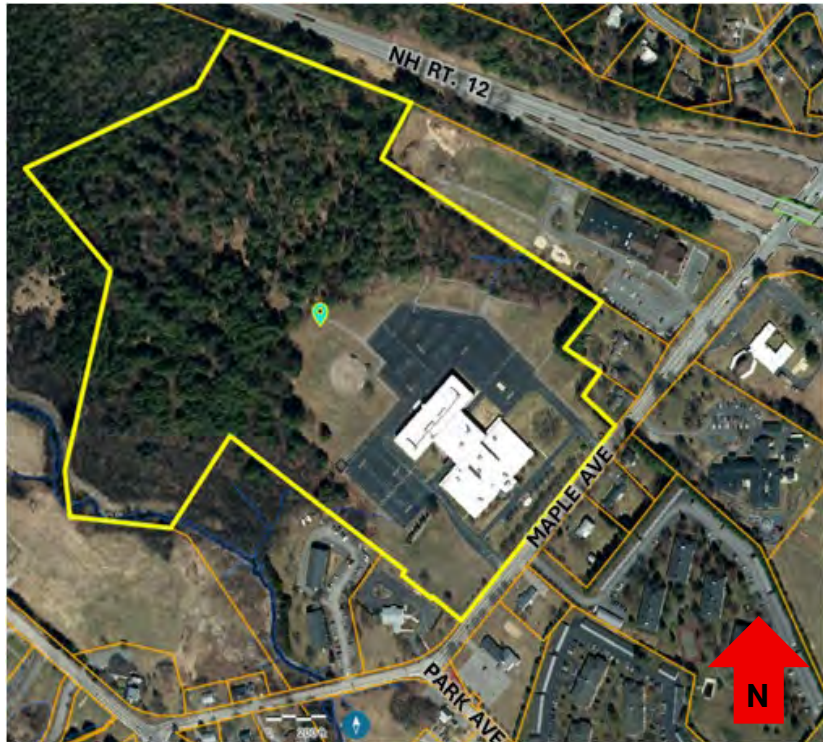


Figure 1. Aerial imagery from 2021/2022 showing the parcel at 62 Maple Ave.

The applicant proposes to create an ~1.28-ac developable lot with frontage on Maple Ave. The property is currently in the Industrial Park District; however, a zoning map amendment is currently in process that would change the zoning designation of this property to Medium Density (O-2025-34-A). A decision on the proposed map amendment is expected at the December 18, 2025 City Council meeting. No development is proposed for the new lot at this time.

Determination of Regional Impact:

After reviewing the application, staff have made a preliminary evaluation that the proposal does not have the potential for "regional impact" as defined in RSA 36:55. The Board should make a final determination as to whether the proposal could have the potential for regional impact.

Completeness:

The applicant has requested exemptions from submitting all technical reports. After reviewing this request, Planning Staff have made the preliminary determination that granting the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as "complete."

Departmental Comments:

- **Zoning Staff Comments:** There are no zoning concerns with this application as long as the proposed zoning map amendment is approved.

APPLICATION ANALYSIS

20.2.1 – LOTS: Proposed Lot 1 will be ~1.28-ac in size with ~189' of frontage along Maple Ave., and Lot 2 will be ~48.6-ac in size with ~631.9' of frontage along Maple Ave (Figure 2). If the zoning designation of the property is changed to Medium Density, the proposal will comply with all applicable zoning dimensional requirements for that district. Planning Staff will provide an update on the status of the map amendment at the December 22 Planning Board meeting.

20.2.2 – CHARACTER OF LAND FOR SUBDIVISION:

The project narrative states that there are no jurisdictional wetlands or special flood hazard areas located on Lot 1; however, Lot 2 contains areas of both jurisdictional wetlands and special flood hazard areas as shown on the subdivision plan attached to this staff report. No development is proposed in any of these areas as part of this application, and Note 8 on the plan states that any future development within these areas may require a Surface Water Protection CUP and/or a Floodplain Development Permit. This standard appears to be met.

20.2.3 – SCATTERED OR PREMATURE DEVELOPMENT: The proposed new lot is located in a developed area along a city collector street with access to city water and sewer. This standard appears to be met.

20.2.4 – PRESERVATION OF EXISTING FEATURES: The proposed subdivision plan shows areas of wetlands along the western and southern portions of Lot 2; however, no development proposed in these areas. This standard appears to be met.

20.2.5 – MONUMENTATION: The project narrative states that if the subdivision is approved, new lot monuments consisting of 5/8" rebar with aluminum caps, railroad spikes, or brass discs will be installed. Planning Staff recommend that the Board include a condition of approval related to the inspection of the lot monuments by the Public Works Director, or in lieu of a lot monument inspection, the submittal of a security to cover this cost. This standard appears to be met.

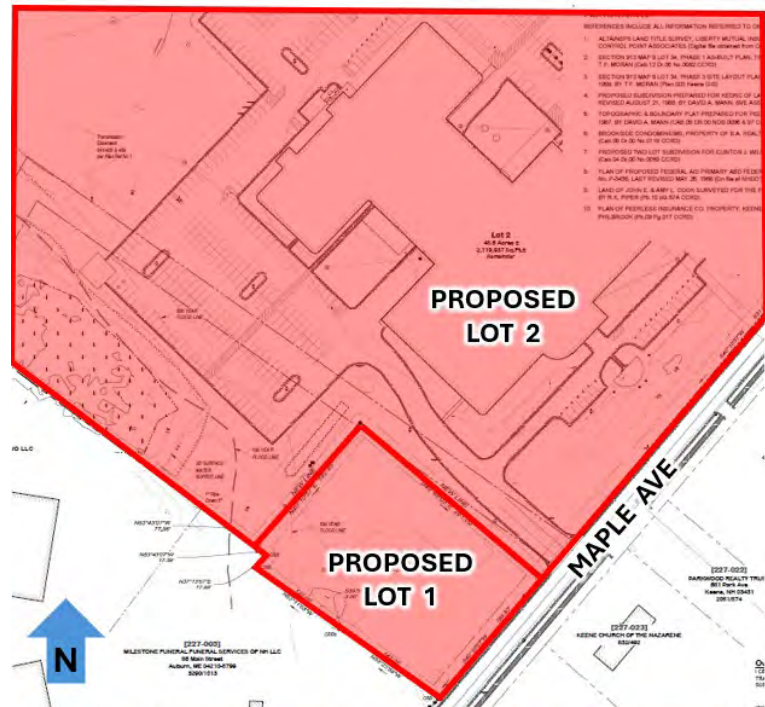


Figure 2. A snippet from the subdivision plan showing the proposed location of Lots 1 & 2.

20.2.6 – SPECIAL FLOOD HAZARD AREAS: The southern portion of Lot 2 has areas of wetlands and special flood hazard areas due to the presence of Black Brook on and adjacent to the parcel. The narrative states that neither the wetlands nor the special flood hazard areas will be impacted by the proposed subdivision. This standard appears to be met.

20.2.7 – FIRE PROTECTION & WATER SUPPLY: The subject parcel currently has access to City water from Maple Ave. Additionally, the City's GIS Database shows that there is an existing fire hydrant on the parcel near the northwestern corner of the building as well as a hydrant located near the front of the site along Maple Ave. This standard appears to be met.

20.2.8 – UTILITIES: Both lots will have access to City water and sewer services along Maple Ave. This standard appears to be met.

21.9 - TRAFFIC & ACCESS MANAGEMENT: Lot 1 will have ~189' of frontage along Maple Ave to accommodate future street access and no changes are proposed to either of the two existing curb cuts for Lot 2. This standard appears to be met.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

"Approve PB-2025-31 as shown on the plan identified as "Two Lot Subdivision Plan" prepared by Huntley Survey & Design, PLLC at a scale of 1 inch = 50 feet on November 14, 2025 and last revised on December 3, 2025 with the following conditions prior to final approval and signature of the plans by the Planning Board Chair:

- 1. Owner's signature appears on the plans.***
- 2. Submittal of four (4) full sized paper copies, two (2) mylar copies, and a flattened PDF version of the final plan set.***
- 3. Submittal of a check in the amount of \$51.00 made out to the City of Keene to cover the cost of recording fees.***
- 4. Inspection of the lot monuments by the Public Works Director, or in lieu of this, the submittal of a security to cover the cost of this inspection."***





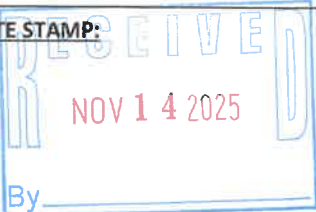
City of Keene, NH
Planning Board
Subdivision Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME:	Cheshire Medical Center Subdivision	NUMBER OF LOTS PROPOSED:	2
PROJECT ADDRESS(ES):	62 Maple Avenue, Keene, NH		

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER		APPLICANT	
NAME/COMPANY:	Joseph Perras -Cheshire Medical Center	NAME/COMPANY:	Russell Huntley
MAILING ADDRESS:	580 Court Street, Keene, NH 03431	MAILING ADDRESS:	659 West Road, Temple, NH 03084
PHONE:	(603) 354-5454 X2000	PHONE:	(603) 924-1669
EMAIL:	jperras@cheshire-med.com	EMAIL:	russ@huntleysurvey.com
SIGNATURE:		SIGNATURE:	
PRINTED NAME:	JOSEPH PERRAS, MD	PRINTED NAME:	Russ Huntley
AUTHORIZED AGENT (if different than Owner/Applicant)		FOR OFFICE USE ONLY:	
NAME/COMPANY:		TAX MAP PARCEL #(s): 227-006-000- - - -	
MAILING ADDRESS:		- - - - -	
PHONE:		- - - - -	
EMAIL:		PARCEL SIZE:	DATE STAMP:
SIGNATURE:		50 acres	
PRINTED NAME:		ZONING:	
		Industrial Park	
		PROJECT #:	
		PB-2025-31	

Two Lot Subdivision
Land of Cheshire Medical Center
62 Maple Avenue, Keene, NH

Project Narrative
October 7, 2025

The Cheshire Medical Center currently owns a 49.95-acre parcel of land, tax map parcel 227-006, located at 62 Maple Avenue in Keene. They wish to subdivide the parcel into two lots. The proposed lots are as follows: The first proposed lot contains the existing building at 62 Maple Avenue along with the parking lot, and roughly 30 acres of undeveloped, wooded land. The second proposed lot is a 1.28-acre parcel of grass lawn off Maple Avenue, adjacent to the driveway. This parcel is to be purchased by the City of Keene.

Don Lussier, Public Works Director for the City of Keene, retained Huntley Survey & Design to perform the necessary boundary & topographic surveys for the project. Huntley survey has prepared the subdivision plat and application. If approved, the proposed subdivision will be monumented with 5/8" rebar with aluminum caps, railroad spikes, or brass disks at each new corner and all existing, unmarked corners.

Lot 1 (as labelled on the attached plan) will have 189' feet of frontage on Maple Avenue, and 1.28 acres (55,881 Sq.Ft.). Access will be the driveway off Maple Avenue. There are no jurisdictional wetlands or flood hazard areas located on proposed Lot 1.

Lot 2, with the existing building, parking lot, and driveway, will have 631.9' feet of frontage on Maple Avenue and will contain 48.6 acres (2,119,937 Sq.Ft.). Access will continue to be the driveway off Maple Avenue. This larger, remainder lot contains both significant areas of jurisdictional wetlands and flood hazard areas. Neither the flood hazard area, nor the wetlands will be impacted by this subdivision.

A zoning change is being/has been concurrently submitted by the City of Keene to change the Industrial Park Zone off Maple Avenue and Route 12 to Medium Density.

The developed lot is currently serviced by town water and sewer. The lots as proposed will meet the requirements of the City of Keene Land Development Code.

No development beyond the division of the lots is proposed at this time.

Subdivision Review Standards 20.2

The City of Keene Subdivision review standards will be met, or waivers will be requested as follows:

20.2.1 Lots

The standard is met.

20.2.2 Character of Land

The standard is met, and/or lot is already developed.

20.2.3 Scattered or Premature Development

The same as Standard 20.2.2

20.2.4 Preservation of Existing Features

There are no currently proposed changes to the site.

20.2.5 Monumentation

If approved, the proposed subdivision will be monumented with 5/8" rebar with aluminum caps, railroad spikes, or brass disks

20.2.6 Special Flood Hazard Areas

The standard is met.

20.2.7 Fire Protection and Water Supply

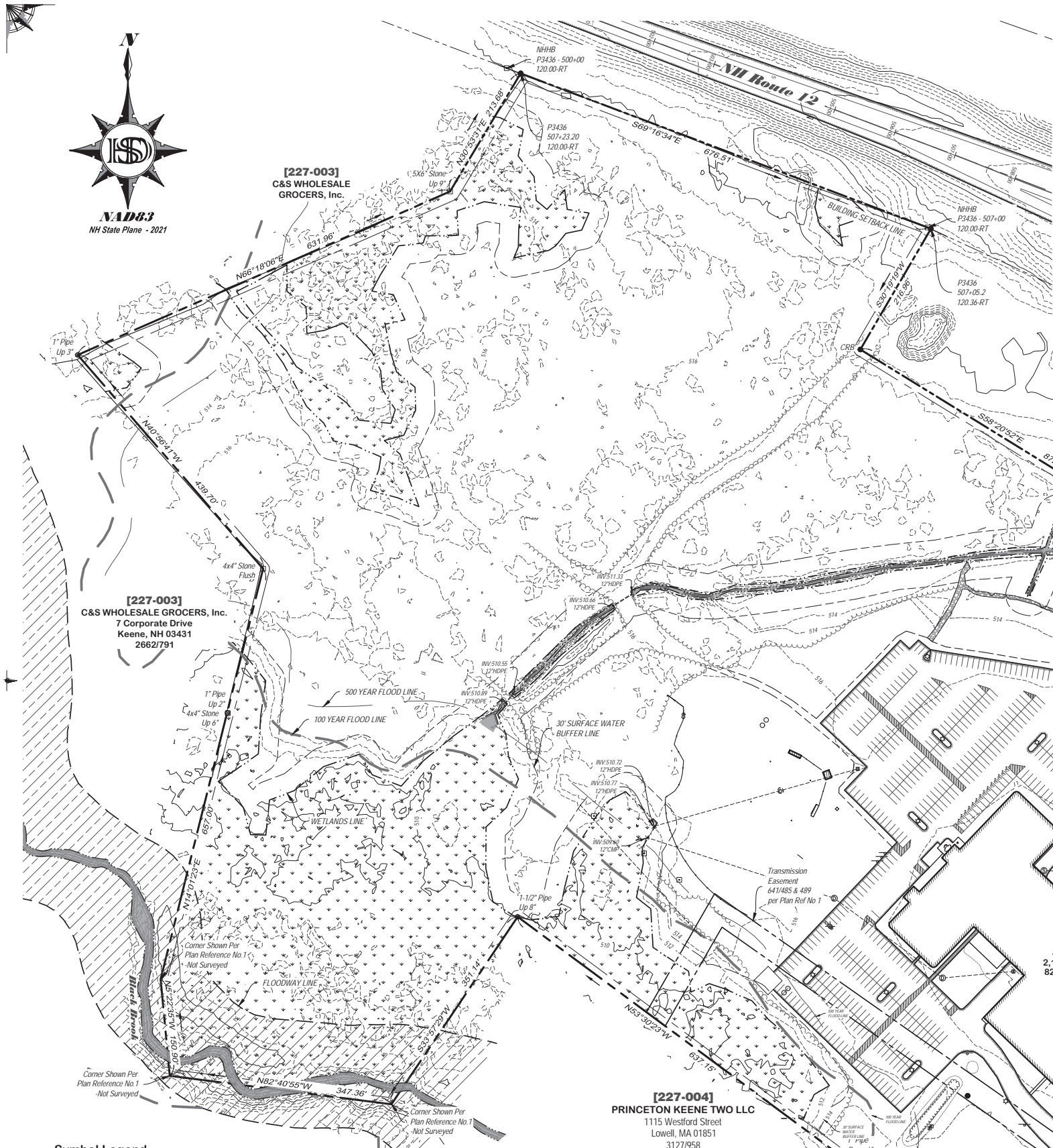
The subject parcels lie within the Downtown area and are served by municipal water supply. There are a number of fire hydrants within the vicinity and no new development is proposed, so the project meets this standard.

Site Development Standards

The City of Keene Site development standards will be met for the proposed subdivision. No development or site changes to the existing state of land is proposed. These standards do not apply.



NAD83
NH State Plane - 2021



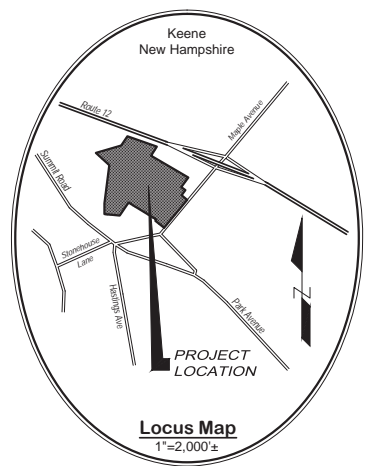
Symbol Legend

	CATCH BASIN		STONE WALL
	DRAIN MANHOLE		CHAIN LINK FENCE
	HYDRANT		WOOD RAIL/STOCKADE/MESH FENCE
	WATER VALVE		BARBED WIRE FENCE
	WATER LINE		EDGE OF WATER
	SEWER MANHOLE		TREE LINE
	MANHOLE		EDGE OF PAVEMENT
	UTILITY POLE W/GUY WIRES, OVERHEAD LINES AND NUMBERS		EDGE OF GRAVEL
	LIGHT POLE		EDGE OF WETLANDS
	UNDETERMINED UTILITY BOX		IRON PIN/PIPE
	CHESHIRE REGISTRY OF DEEDS		STONE/CONCRETE BOUND
	TAX MAP PARCEL NUMBER		CRB SET
	DEED VOLUME & PAGE		5/8" REBAR WITH ALUMINUM CAP

Plan References

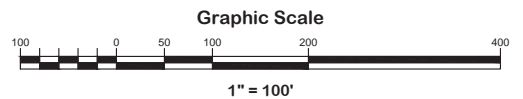
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- PLAN OF PEERLESS INSURANCE CO. PROPERTY, KEENE, NH, DATED JANUARY 7, 1957, BY GEORGE G. PHILBROOK (Pb.09 Pg.017 CCRD)



Notes

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- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM RECORD DEEDS, SURVEYS AND PHYSICAL EVIDENCE FOUND DURING THE CURRENT FIELD SURVEY.
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Surveyor's Certification

PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE OF 0.04 + 100 ppm THAT MEETS OR EXCEEDS NH LAN 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR RURAL AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS. LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.



Existing Conditions Plan

LAND OF
Cheshire Medical Center
located at
Tax Map 227 Lot 06
62 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 3164, Page 1025

Surveyed 11/2021 Plan prepared 08/30/2025
Project No. H25-047 Cad File No. H25-047.dwg

Huntley Survey & Design, PLLC

NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

Zoning Districts

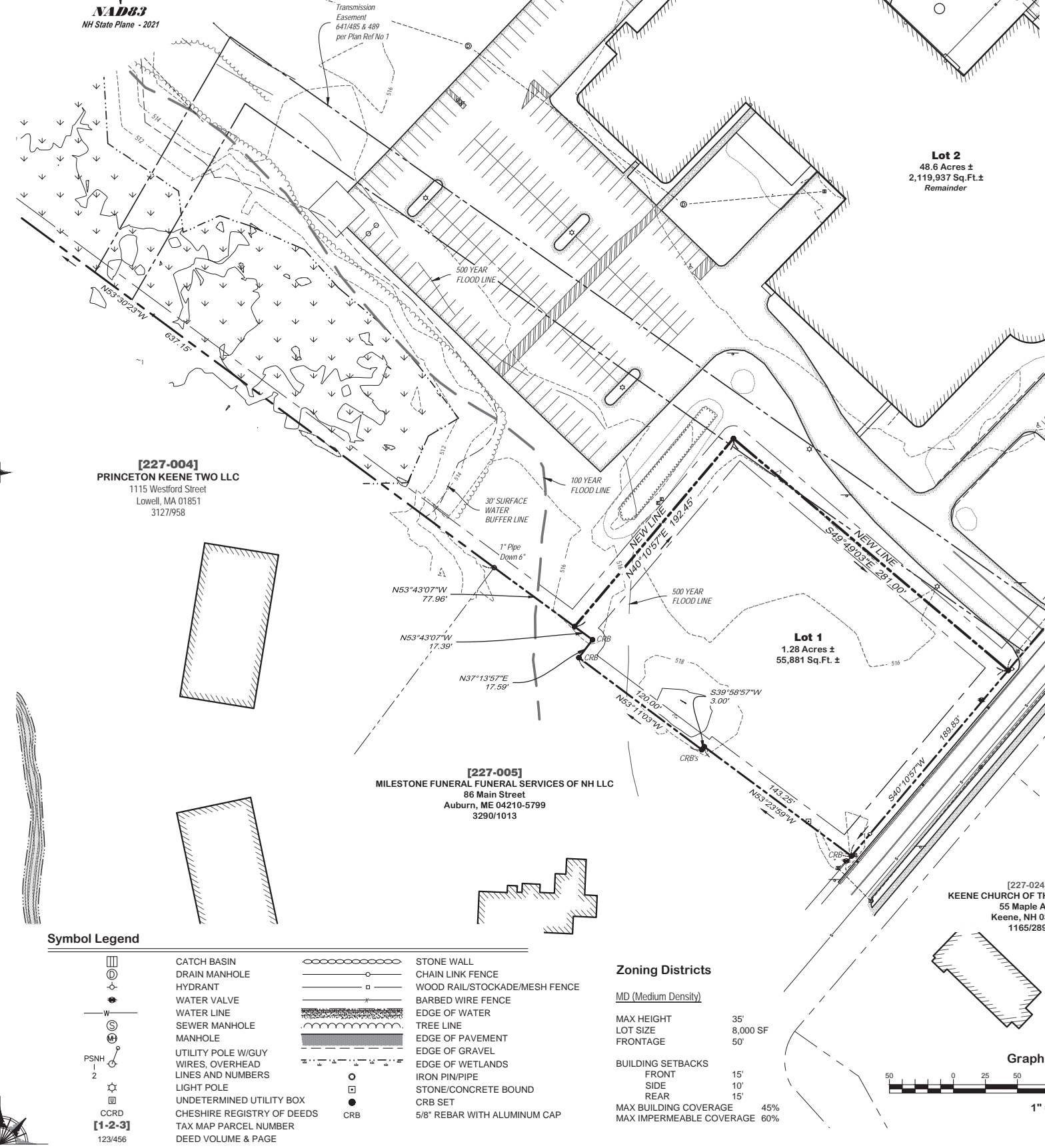
MD (Medium Density)

MAX HEIGHT 35'
LOT SIZE 8,000 SF
FRONTAGE 50'

BUILDING SETBACKS
FRONT 15'
SIDE 10'
REAR 15'

MAX BUILDING COVERAGE 45%
MAX IMPERMEABLE COVERAGE 60%

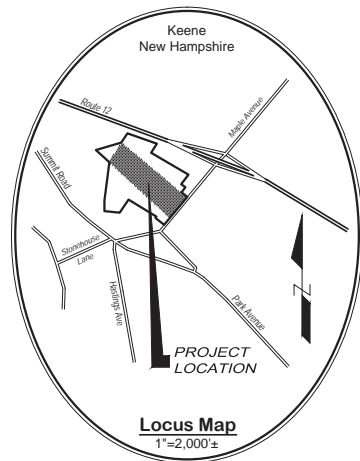
NO.	DATE	Revisions per Staff Comments	BY
1	12/03/25		RJH



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8. ANY FUTURE DEVELOPMENT WITHIN THE SURFACE WATER BUFFER OR SPECIAL FLOOD HAZARD AREAS MAY REQUIRE THE SUBMITTAL OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT AND/OR A FLOODPLAIN DEVELOPMENT PERMIT TO THE CITY OF KEENE COMMUNITY DEVELOPMENT DEPARTMENT.

	DIMENSIONAL REQUIREMENT DATA			
	REQUIRED	EXISTING	PROPOSED	
	MEDIUM DENSITY	[227-006]	LOT 1	LOT 2
ACRES	0.18	49.95	1.28	48.67
SQUARE FEET	8,000	2,175,817	55,881	2,119,936
FRONTAGE IN FEET	50	822	190	632
BUILDING SQ. FT.		95,155	0	95,155
% BUILDING COVERAGE	45%	4.40%	0.00%	4.50%
IMPERMEABLE SQ. FT.		342,564	0	342,564
% IMPERMEABLE COVERAGE	60%	15.70%	0.00%	16.20%

Surveyor's Certification

PURSUANT TO RSA 676: 18 III AND RSA 672: 14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE OF 0.04 + 100 ppm THAT MEETS OR EXCEEDS NH LAN 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR RURAL AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.

Owner Certification

I CERTIFY THAT I/WE AM/ARE THE CURRENT OWNER(S) OF THE TRACTS SHOWN HEREON AND THAT I APPROVE OF THE SUBDIVISION.

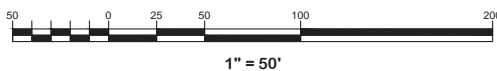
DATE

DATE

APPROVED BY THE
KEENE PLANNING BOARD

BY _____ CHAIRMAN
AND _____ SECRETARY
ON _____

Graphic Scale



Symbol Legend

	CATCH BASIN		STONE WALL
	DRAIN MANHOLE		CHAIN LINK FENCE
	HYDRANT		WOOD RAIL/STOCKADE/MESH FENCE
	WATER VALVE		BARBED WIRE FENCE
	WATER LINE		EDGE OF WATER
	SEWER MANHOLE		TREE LINE
	MANHOLE		EDGE OF PAVEMENT
	UTILITY POLE W/GUY		EDGE OF GRAVEL
	WIRES, OVERHEAD LINES AND NUMBERS		EDGE OF WETLANDS
	LIGHT POLE		IRON PIN/PIPE
	UNDETERMINED UTILITY BOX		STONE/CONCRETE BOUND
	CHESHIRE REGISTRY OF DEEDS		CRB SET
	TAX MAP PARCEL NUMBER		5/8" REBAR WITH ALUMINUM CAP
	DEED VOLUME & PAGE		

Zoning Districts

MD (Medium Density)

MAX HEIGHT	35'
LOT SIZE	8,000 SF
FRONTAGE	50'
BUILDING SETBACKS	
FRONT	15'
SIDE	10'
REAR	15'
MAX BUILDING COVERAGE	45%
MAX IMPERMEABLE COVERAGE	60%

Two Lot Subdivision Plan

LAND OF
Cheshire Medical Center

located at
Tax Map 227 Lot 06
62 Maple Avenue, Keene, Cheshire County, New Hampshire
Book 3164, Page 1025

Surveyed 11/2021 Plan prepared 11/14/2025
Project No. H25-047 Cad File No. H25-047.dwg

Huntley Survey & Design, PLLC

NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com

STAFF REPORT

PB-2025-28–TWO LOT SUBDIVISION, 98 PEG SHOP RD

Request: Applicant DiBernardo Associates, on behalf of owners Mitchell & Erika Greenwald, proposes to subdivide the ~33-ac lot located at 98 Peg Shop Rd (TMP# 232-022-000) into two lots ~28-ac and ~5-ac in size. The property is in the Rural District.

Background:

The subject parcel is a 33.29-ac single-family lot located on the north side of Peg Shop Rd, ~0.5 miles northeast of Jordan Rd. The southern end of the property is developed with a single-family residence and accessory structures.

The parcel is characterized by slopes with the low point near Peg Shop Rd, steepening to the north. A few pockets of wetlands are delineated in the northeast corner of the lot and a 250-ft-wide National Grid Utility easement runs along the length of the east property boundary. The proposal is to subdivide the parcel to create a new residential building lot with frontage on Peg Shop Road.

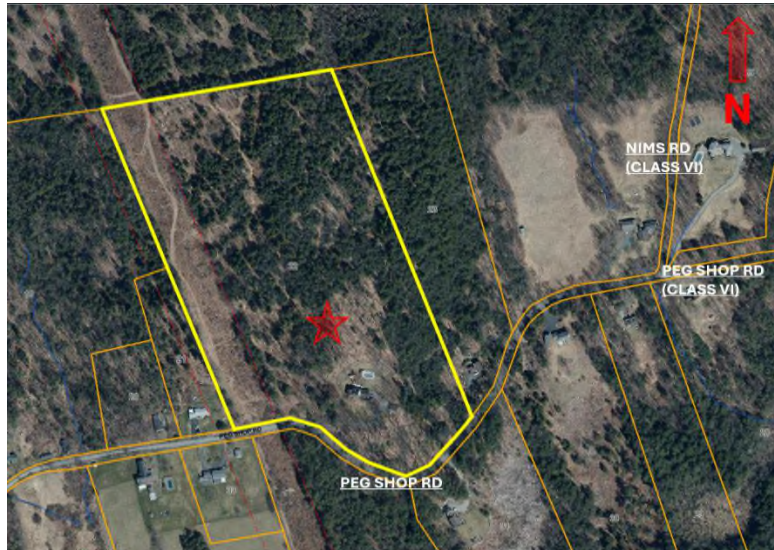


Fig 1: 98 Peg Shop Rd outlined in yellow

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposal does not appear to have the potential for “regional impact” as defined in RSA 36:55. The Board should make a final determination as to whether the proposal could have the potential for regional impact.

Completeness:

The applicant requests exemptions from submitting a drainage report, traffic analysis, and a soil analysis. After reviewing these requests, Planning Staff recommend that the Board grant the requested waivers and accept the application as “complete.”

Application Analysis

20.2.1 – LOTS: The proposed subdivision would create a new, ~5-ac residential building lot with ~200 feet of frontage. The parent parcel will continue to conform with all zoning regulations with a lot size of ~28.3-ac and ~938 feet of frontage on a Class V Road. The Rural District requires 50 feet of frontage and a minimum lot size of 2 acres. It appears that this standard has been met.

20.2.2 – CHARACTER OF LAND FOR SUBDIVISION: The applicant states in their narrative that the proposed lot is suitable for development and will not pose a danger due to hazardous conditions. Development is likely to occur closer to Peg Shop Road due to the steep topography to the rear of the lot. It appears that this standard has been met.

STAFF REPORT

20.3.2 – SCATTERED OR PREMATURE DEVELOPMENT: The application proposes to create a single building lot on a City-maintained class V road in an existing rural residential neighborhood. The development potential of the lot, which could be developed as a single family home with or without an accessory dwelling unit (ADU), is such that the proposal is unlikely to create any hardship for City services. It appears that this standard has been met.

20.2.4 – PRESERVATION OF EXISTING FEATURES: The applicant states in their narrative that the proposed lot design takes existing features into consideration by requiring development to be located closer to the road. Steep slopes and wetlands located to the rear of the lot will not be able to be impacted by development due to the lot narrowing to the north. This will ensure these natural features are maintained. It appears that this standard has been met.

20.2.5 – MONUMENTATION: The applicant proposes to install 5/8" diameter iron rods at all points shown on the plan. A condition of approval related to the installation of lot monuments and their inspection, or financial security to be submitted in lieu of setting the pins is included in the motion language below. It appears that this standard has been met.

20.2.6 – SPECIAL FLOOD HAZARD AREAS: The subject property is not located within any special flood hazard area. This standard is not applicable.

20.2.7 – FIRE PROTECTION & WATER SUPPLY: The applicant states in their narrative that the proposed subdivision has frontage on a class V road that will allow for reasonable access for emergency vehicle access. It appears that this standard has been met.

20.2.8 – UTILITIES: The proposed lot will utilize private well and septic utilities as there is no public water or sewer service on Peg Shop Road. Test pits have been conducted that demonstrate suitable soils for a septic system. It appears that this standard has been met.

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

"Approve PB-2025-28 as shown on the plan set identified as "Plan Showing Subdivision of Property of Mitchell H. Greenwald Revocable Trust, Erika Greenwald Revocable Trust" prepared by DiBernardo Associates, LLC at 1 inch = 100 feet on September 24, 2025, and last revised on December 3, 2025 with the following conditions prior to final approval and signature of the plans by the Planning Board Chair:

- 1. Owner's signature appears on all sheets of the final plan set.***
- 2. Submittal of four (4) full sized paper copies, two (2) mylar copies, and a PDF version of the final plan set.***
- 3. Submittal of a check in the amount of \$51 made out to the City of Keene to cover the cost of recording fees.***
- 4. Installation and inspection of lot monuments by the Public Works Director or their designee, or in lieu of this, the submittal of a security to cover the cost of the installation of these monuments.***



City of Keene, NH Planning Board Subdivision Application

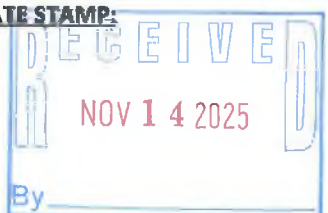

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Subdivision for Greenwald	NUMBER OF LOTS PROPOSED: 2
PROJECT ADDRESS(ES): 98 Peg Shop Road	

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER	APPLICANT
NAME/COMPANY: Mitchell & Erika Greenwald	NAME/COMPANY: Same as Owner
MAILING ADDRESS: PO Box 361 Keene, NH 03431	MAILING ADDRESS:
PHONE: 603-357-3035	PHONE:
EMAIL: mg@greenwaldrealty.com	EMAIL:
SIGNATURE: 	SIGNATURE:
PRINTED NAME: Erika Greenwald Mitchell Greenwald	PRINTED NAME:

AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:	
NAME/COMPANY: Joseph DiBernardo	TAX MAP PARCEL #(s): 232-022-000-_____ _____ _____	DATE STAMP:  By _____
MAILING ADDRESS: 113 Church St North Walpole, NH 03609		
PHONE: 802-376-9009		
EMAIL: joe@nhvtsurvey.com	PARCEL SIZE: 33.18	
SIGNATURE: 	ZONING: Rural	
PRINTED NAME: Joseph DiBernardo	PROJECT #: PB-2025-28	

Greenwald Subdivision Narrative
98 Peg Shop Road
Keene, NH

Mitchell and Erika Greenwald live at 98 Peg Shop Road in Keene, NH and are subdividing their parcel (232-022-000-000) into two lots. Their parcel currently consists of 33.29 acres, by survey, and are subdividing off a 5 acres lot east of their existing house. The existing and proposed use is and will be residential. The vacant 5-acre lot has 200.05 feet of frontage on Peg Shop Road, which is a class V town highway. The access point will be through a barway in the stonewall near pole number 26/39. The 5-acre lot slopes up as you traverse north, but suitable soils were found on the southern part of the lot that will support a Septic System.

This proposal complies with the Site Development Standards in Article 21 of the LDC because it does not present an unsafe development and the development of the land is appropriate for available public and private facilities. Due to the fact that this proposal is for a two-lot subdivision, it is ensuring that this development will maintain and enhance quality of life, while not imposing unreasonable costs upon the city.

This proposal complies with the Subdivision Regulations Article 20 of LDC because it conforms to the Zoning Regulations and dimensional requirements for the Rural District.

20.2 Review Standards

20.2.1

(A) The two lots shown on the subdivision plan meet the minimum zoning requirements for the Rural District.

(B) Both Lots have frontage on Peg Shop Road which is Class V City maintained road.

(B-1) Both Lots exceed the 50 foot minimum frontage requirement.

(C) Peg Shop Road is a Class V City Maintained Road.

20.2.2 – The proposed lots are of such a character that they do not pose a danger due to hazardous conditions. Both lots are easily accessible by emergency and City vehicles and personnel via Peg Shop Road.

20.2.3 – The Subdivision proposal does not constitute a scattered or premature subdivision and will not create hardships on the City's services.

20.2.4 – The subdivision proposal does consider existing features such as steep slopes and wetlands and the proposal does not comprise those features. The development of the parcel will be near the road as the lot narrows as it traverses north making it unable to develop the northern part of the parcel, therefore, preserving existing natural features.

20.2.5 – Permanent 5/8” diameter iron rods with identification number “963” will be installed where shown on the plan.

20.2.6 – The subdivision proposal is outside of any Special Flood Hazard Areas as shown on the Federal Insurance Rate Maps.

20.2.7 – The Subdivision proposal utilizes an existing Class V road (Peg Shop Road) for access making for easy emergency vehicle access.

20.2.8 – The Subdivision proposal will have private Water and Septic systems due to the lack of City Water and Sewer on Peg Shop Road.



A & D Klumb Environmental, LLC

September 11, 2025

Mr. Joe DiBernardo
DiBernardo Associates, LLC
PO Box 52
Bellows Falls, VT 05101

RE: Wetland Report – Peg Shop Road, Keene, NH

Dear Mr. DiBernardo,

On August 19, 2025, Audra Klumb, NH Certified Wetland Scientist #222, delineated the wetlands on a portion of the property located at 98 Peg Shop Road in Keene, NH (Tax Map 232 Lot 022). The 33-acre property is proposed to be subdivided, with 5-acres along the eastern boundary being separated from the parent parcel. Only the 5-acre portion to be subdivided was reviewed for wetlands.

Wetlands are defined by the US Army Corps of Engineers as: “Those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.” Wetlands are typically determined by reviewing soils, vegetation, and hydrology. All wetlands delineated on the property were flagged with pink WETLAND DELINEATION flagging labeled alphanumerically.

The 5-acre review area includes a long narrow triangular slice of the eastern end of the property with approximately 157-feet along Peg Shop Road and a depth of 1482-feet to 1529-feet to the rear of the parcel. Three wetlands were identified within the review area.

Wetland-A is an isolated depression located approximately halfway into the parcel along the eastern property boundary. The wetland is an emergent/scrub shrub wetland dominated by tussock sedge (*Carex stricta*), fringed sedge (*Carex critinia*), dark green bulrush (*Scirpus atrovirens*), lamp rush, (*Juncus effusus*), fowl meadow grass (*Poa palustris*), yellow birch (*Betula alleghaniensis*), red maple (*Acer rubrum*), winterberry holly (*Ilex verticillata*), and eastern hemlock (*Tsuga canadensis*). The wetland appears to function as a vernal pool. The boundary of the wetland was flagged A-1 through A-29.

Wetland-B is a sparsely vegetated isolated depression, also located along the eastern property boundary. The small amount of vegetation growing in and around the wetland included eastern hemlock, red maple, and white pine (*Pinus strobus*). The boundary of the wetland was flagged B-1 through B-9. This wetland did not appear to hold water long enough to support breeding and development of vernal pool indicator species.

Wetland-C is located at the back end of the property and continues north beyond the property boundary and review limits. The wetland is a scrub shrub wetland dominated by cinnamon fern (*Osmundastrum cinnamomeum*), gold thread (*Coptis trifolia*), bunchberry (*Cornus canadensis*), high bush blueberry (*Vaccinium corymbosum*), hobblebush (*Viburnum lantanoides*), serviceberry (*Amelanchier* sp.), winterberry holly, red maple, and American beech (*Fagus grandifolia*). Portions of the C-Wetland included areas that function as vernal pools. The boundary of the wetland, within the review area, was flagged C-1 through C-6.

The City of Keene includes a Surface Water Protection Overlay District. All delineated wetlands are included within the district. Within the Rural Zoning District wetlands are protected with a 75-foot wide buffer (Regulation 11.3.1). Please review the Keene NH Land Development Code for permitted uses within the wetlands and wetland buffers.

Wetland impacts should be avoided if possible. Any necessary direct wetland impacts would require a permit from the NH DES Wetlands Bureau.

Included, please find photographs of the wetland areas and the wetland sketch map. This sketch is an approximation of the delineated boundary and not an accurate depiction. The wetland flags should be located by a surveyor and shown on the existing conditions plan. Please contact me with any questions regarding the wetland delineation or report of findings.

Sincerely,



Audra L. Klumb, CWS#222
President

Enclosures: Photographs and Wetland Sketch Map

Resources:

Cowardin et.al., 1979. *Classification of Wetlands and Deepwater Habitats of the United States*; US Department of the Interior, Fish and Wildlife Service, Washington, DC

Environmental Laboratory. (1987). "*Corps of Engineers Wetlands Delineation Manual*," Technical Report Y-87-1, U.S. Army Engineer Waterways Experiment Station, Vicksburg, MS.

Environmental Laboratory. 2012. "*Army Corps of Engineers Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, (Version 2.0)" ERDC/EL TR-12-1, U.S. Army Engineer Research and Development Center, Vicksburg, MS.

Munsell Color (Firm). *Munsell Soil Color Charts: with Genuine Munsell Color Chips*. 2009. Revised, Printed in 2012. Grand Rapids, MI

Keene, City of. *Land Development Code*. Effective September 1, 2021; Last Amended February 2025. <https://keenenh.gov/>

U.S. Army Corps of Engineers. (2023). *2022 National Wetland Plant List*, version 3.6. U.S. Army Engineer Research and Development Center, Vicksburg, MS. <http://wetland-plants.usace.army.mil/>

United States Department of Agriculture Natural Resources Conservation Service. 2017. *Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 8.1*, L.M. Vasilas, G.W. Hurt, and J.F. Berkowitz (eds.). USDA, NRCS, in cooperation with the National Technical Committee for Hydric Soils







-B.





Photo 5. View north of Wetland-C near wetland flag C-1.



Photo 6. View north within Wetland-C showing an area that functions as a vernal pool.



SAUL + JANET GRAY JUN.
 1115 275
 SEE PLANBOOK 52 PAGE 21
 JACKSON HILL RD. CHESTERFIELD, N.H.

$56^{\circ}32'50''E$ 1529.77' →

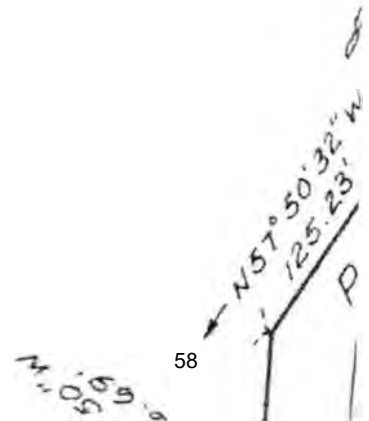
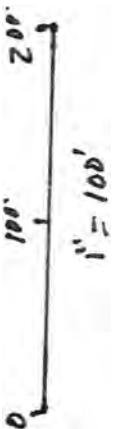


LOT 1
 AREA
 5.00 AC.

← $N1^{\circ}15'45''W$
 1482.19'

1482.19'
 $S1^{\circ}15'45''E$ →

LOT 2
 AREA 28.18 AC.



Observation Date: 9/22/2025

Observer: Audra Klumb, NH Designer # 1684

Project Location: 98 Peg Shop Rd, Keene, NH

Test Pit #: 1

Horizon	Depth	Color	Texture	Structure	Consistency	Redox Features	Fragments	Notes
A	0-6"	10YR 2/2	Sandy loam	Subangular blocky	Friable	None	15% cobble 5% gravel	many roots
Bw1	6-24"	10YR 4/6	Very fine sandy loam	Subangular blocky	Friable	None	15% cobble 5% gravel	common roots
Bw2	24-26"	2.5Y 5/6	Loamy fine sand	Single grain	Friable	None	20% cobble 25% gravel	
Cd	36"+	2.5Y 5/3	Sand	Massive	Very firm	2.5Y 5/6 10% 10 YR 5/8 2% 10YR 4/6 5%	25% cobble 15% gravel	Very dense

ESHW: 36"

Roots: 24"

Observed Water: No

Ledge: Not Observed

Restrictive Layer: 36"

Hole Depth: 72"

Notes:

Test pit was conducted during a drought. Soils were dry throughout the profile. Soils were moistened to determine color.



Observation Date: 9/22/2025

Observer: Audra Klumb, NH Designer # 1684

Project Location: 98 Peg Shop Rd, Keene, NH

Test Pit #: 2

Horizon	Depth	Color	Texture	Structure	Consistency	Redox Features	Fragments	Notes
A	0-4"	10YR 2/2	Sandy loam	Granular	Friable	None	10% Boulder	Many roots
Bw1	4-16"	10YR 3/4	Very fine sandy loam	Subangular Blocky	Friable	None	10% Boulder 10% Cobble	Many roots
Bw2	16-32"	10YR 4/4	Very fine sandy loam	Subangular Blocky	Friable	None	10% Boulder 10% Cobble	Few roots
C	32-60"	2.5Y 5/4	Sand	Massive	Dense	10YR 4/6 5% 7.5YR 3/4 2%	10% Cobble 5% Gravel	Consistency varied from loose sand to dense

ESHW: 32"

Roots: 32"

Observed Water: No

Ledge: Not Observed

Restrictive Layer: 32"

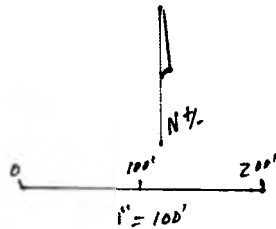
Hole Depth: 60"

Notes:

Test pit was conducted during a drought. Soils were dry throughout the profile. Soils were moistened to determine color. Boulders limited hole depth.



Wetland delineation completed on August 19, 2025
Septic Test Pits reviewed on September 22, 2025
by Audra Klumb NH CWS#222, Designer #1684



Wetland and Septic Test Pit Sketch Map

Wetland delineation completed on August 19, 2025
Septic Test Pits reviewed on September 22, 2025
Audra Klumb NH CWS#222, Designer #1684

LOT 2
AREA 28.18 AC

LOT 1
AREA 5.00 AC.

SAUL + JANET GRAYSON
1115 275
SEE PLANBOOK 52 PAGE 21
JACKSON HILL RD. CHESTERFIELD, N.H.

SEPTIC TEST PIT #1 X
SEPTIC TEST PIT #2 X

WETLAND AREAS: A-1, A-16, B-6, B-9, C-6

BOUNDARY BEARINGS AND DISTANCES:
N 1° 15' 45" W 1482.19'
S 6° 32' 50" E 1529.77'
S 10° 15' 45" E 1482.19'
N 57° 50' 32" W 125.23'
N 34° 09' 34" W 98.211'
N 21° 05' 53" W 111.86'
N 53° 16' 35" W 91.47'
N 64° 47' 09" W 66.80'
S 82° 09' 22" W 53.50'
S 59° 47' 19" W 42.67'
N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W 91.47'N 64° 47' 09" W 66.80'S 82° 09' 22" W 53.50'S 59° 47' 19" W 42.67'N 61° 46' 55" W 12.66'N 1° 15' 45" W 1482.19'S 6° 32' 50" E 1529.77'N 57° 50' 32" W 125.23'N 34° 09' 34" W 98.211'N 21° 05' 53" W 111.86'N 53° 16' 35" W

Observation Date: 9/22/2025
Observer: Audra Klumb, NH Designer # 1684
Project Location: 98 Peg Shop Rd, Keene, NH

Test Pit #: 1

Horizon	Depth	Color	Texture	Structure	Consistency	Redox Features	Fragments	Notes
A	0-6"	10YR 2/2	Sandy loam	Subangular blocky	Friable	None	15% cobble 5% gravel	many roots
Bw1	6-24"	10YR 4/6	Very fine sandy loam	Subangular blocky	Friable	None	15% cobble 5% gravel	common roots
Bw2	24-26"	2.5Y 5/6	Loamy fine sand	Single grain	Friable	None	20% cobble 25% gravel	
Cd	36"+	2.5Y 5/3	Sand	Massive	Very firm	2.5Y 5/6 10% 10YR 5/8 2% 10YR 4/6 5%	25% cobble 15% gravel	Very dense

ESHW: 36"
Roots: 24"
Observed Water: No
Ledges: Not Observed
Restrictive Layer: 36"
Hole Depth: 72"

Notes:
Test pit was conducted during a drought. Soils were dry throughout the profile. Soils were moistened to determine color.



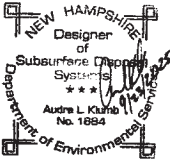
Observation Date: 9/22/2025
Observer: Audra Klumb, NH Designer # 1684
Project Location: 98 Peg Shop Rd, Keene, NH

Test Pit #: 2

Horizon	Depth	Color	Texture	Structure	Consistency	Redox Features	Fragments	Notes
A	0-4"	10YR 2/2	Sandy loam	Granular	Friable	None	10% Boulder	Many roots
Bw1	4-16"	10YR 3/4	Very fine sandy loam	Subangular Blocky	Friable	None	10% Boulder 10% Cobble	Many roots
Bw2	16-32"	10YR 4/4	Very fine sandy loam	Subangular Blocky	Friable	None	10% Boulder 10% Cobble	Few roots
C	32-60"	2.5Y 5/4	Sand	Massive	Dense	10YR 4/6 5% 7.5YR 3/4 2%	10% Cobble 5% Gravel	Consistency varied from loose sand to dense

ESHW: 32"
Roots: 32"
Observed Water: No
Ledges: Not Observed
Restrictive Layer: 32"
Hole Depth: 60"

Notes:
Test pit was conducted during a drought. Soils were dry throughout the profile. Soils were moistened to determine color. Boulders limited hole depth.



~ NOTES ~

- METHOD OF SURVEY: LEICA TS16 TOTAL STATION & STONEX S900 GPS.
- BEARINGS ARE REFERENCED TO THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD83) GRID NORTH. ELEVATIONS ARE TIED TO NORTH AMERICAN VERTICAL DATUM (NAVD88).
- DIBERNARDO ASSOCIATES IS NOT RESPONSIBLE FOR PROPERTY DESCRIPTIONS PREPARED BY OTHER PERSONS FOR CONVEYANCE OF THE PROPERTY SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE SOLE USE OF MITCHELL H. GREENWALD REVOCABLE TRUST AND ERIKA GREENWALD REVOCABLE TRUST AND IS NOT INTENDED TO BE USED BY ANY OTHER INDIVIDUAL OR BUSINESS WITHOUT THE CONSENT OF SAID PARTIES AND DIBERNARDO ASSOCIATES, LLC.
- WETLAND DELINEATION AND TEST PIT DATA PROVIDED BY A & D KLUMB ENVIRONMENTAL, LLC. PO BOX 155 CANTERBURY, NH 03224.
- PROPERTY SHOWN HEREON IS LOCATED IN THE RURAL DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
MINIMUM LOT SIZE: 2 ACRES
MINIMUM LOT WIDTH AT BUILDING: 200'
MINIMUM ROAD FRONTAGE: 50'
FRONT YARD BUILDING SETBACK: 50'
REAR YARD BUILDING SETBACK: 50'
SIDE YARD BUILDING SETBACK: 50'
MAXIMUM BUILDING COVERAGE: 10%
MAXIMUM IMPERVIOUS COVERAGE: 20%
MAXIMUM STORIES ABOVE GRADE: 2
MAXIMUM BUILDING HEIGHT: 35'
- ANY FUTURE DEVELOPMENT WITHIN THE SURFACE WATER BUFFER MAY REQUIRE THE SUBMITTAL OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT TO THE CITY OF KEEN COMMUNITY DEVELOPMENT DEPARTMENT.

~ REFERENCE PLANS ~

- PLAN ENTITLED "CHARLES H. TOWNS' TOWNS FARM AND BARRETT PASTURE KEENE, N.H." PREPARED BY WILLIAM P. HOUSE. DATED MAY 20, 1966.
- PLAN ENTITLED "PROPOSED SUBDIVISION PLAN OF LAND OF JOHN W. TOWNS, JR. KEENE, N.H." PREPARED BY WILLIAM P. HOUSE. DATED 1966 AND LAST REVISED ON APRIL 6, 1984.
- PLAN ENTITLED "PROPOSED SUBDIVISION FOR MITCHELL H. GREENWALD & ERIKA GREENWALD CITY OF KEENE CHESHIRE CO NEW HAMPSHIRE" PREPARED BY HARRY H. HARRINGTON. DATED NOVEMBER 1985. JOB NUMBER 161.
- PLAN ENTITLED "PLAT OF MITCHELL H. + ERIKA GREENWALD SUBDIVISION KEENE, N.H." PREPARED BY THOMAS W. FLAVIN, JR. ON JULY 1, 1987 AND REVISED ON SEPTEMBER 8, 1987.

JAMES ROBERT RAVESI
170 JORDAN ROAD
KEENE, NH 03431
TAX MAP 230 LOT 20

HENRY C. SPINDLER 2005 REVOCABLE TRUST
HENRY C. SPINDLER, TRUSTEE
60 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 19

BEACH HILL OF KEENE LLC
P.O. BOX 82
KEENE, NH 03431
TAX MAP 232 LOT 20

CRAIG B. MARTEL
JENNIFER L. PRATT
82 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 21

CHRISTOPHER M. WILDER
REBECCA E. WILDER
81 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 33

ELISSA ANNA ZENGEL REVOCABLE TRUST
103 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 32

THOMAS F. MCKENNEY, II
KELLY J. MCKENNEY
107 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 31

BETTY JEAN HAYWOOD REV. TRUST
127 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 30

~ OWNERS SIGNATURE ~

MITCHELL H. GREENWALD

ERIKA GREENWALD

~ SURVEYOR'S CERTIFICATION ~

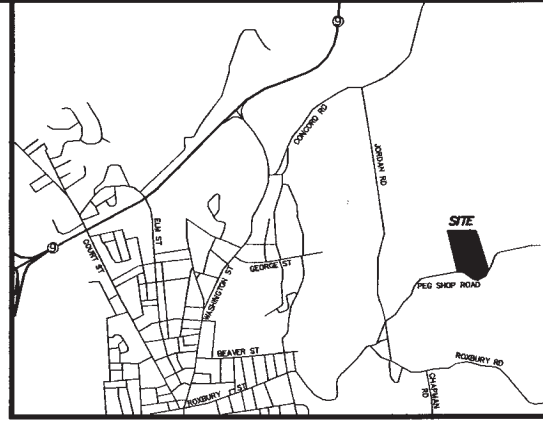
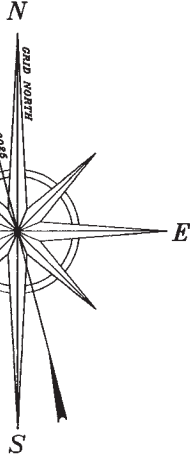
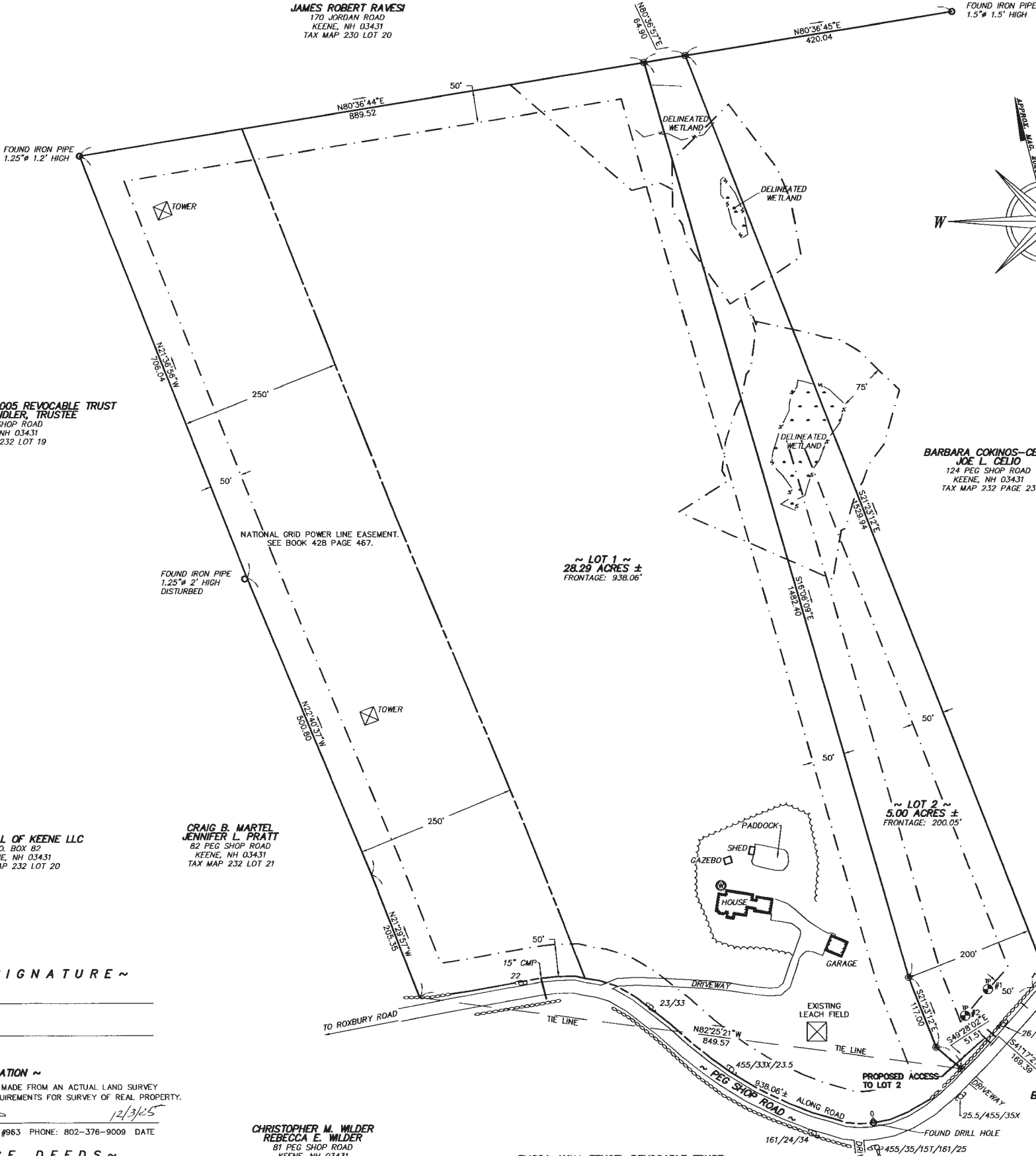
I CERTIFY THAT THIS PLAT IS MADE FROM AN ACTUAL LAND SURVEY AND MEETS THE MINIMUM REQUIREMENTS FOR SURVEY OF REAL PROPERTY.

JOSEPH A. DIBERNARDO, LLS. #963 PHONE: 802-376-9009 DATE 12/3/25

~ REFERENCE DEEDS ~

RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS

- DEED FROM JOHN W. TOWNS, JR. TO MITCHELL H. GREENWALD & ERIKA GREENWALD. RECORDED IN BOOK 1063 AT PAGE 658 ON JUNE 11, 1984.
- DEED FROM MITCHELL H. GREENWALD AND ERIKA GREENWALD TO SAUL GRAYSON AND JANET GRAYSON. RECORDED IN BOOK 1115 AT PAGE 275 ON DECEMBER 9, 1985.



~ SOIL LEGEND ~

61D - TUNBRIDGE-LYMAN-ROCK OUTCROP COMPLEX, 15-25% SLOPES
72B - BERKSHIRE FINE SANDY LOAM, 3-8% SLOPES
77B - MARLOW FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
77C - MARLOW FINE SANDY LOAM, 8-15% SLOPES, VERY STONY
79B - PERU FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
143C - MONADNOCK FINE SANDY LOAM, 8-15% SLOPES, VERY STONY

~ LEGEND ~

- PROPERTY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACKS
- IRON PIN FOUND
- 5/8" IRON ROD SET
- STONE WALL
- POST & RAIL FENCE
- UTILITY POLE
- TEST PIT
- WELL
- SOIL LINES
- TREE LINE

~ CERTIFICATION ~

THE SUBDIVISION REGULATIONS OF THE CITY OF KEENE, N.H. ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAT IS CONTINGENT ON COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO, TOGETHER WITH THE FOLLOWING INFORMATION.

APPROVED BY THE KEENE PLANNING BOARD ON _____

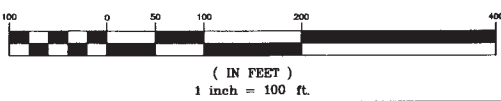
CERTIFIED BY CHAIRMAN _____

AND SECRETARY _____

~ REVISIONS ~

NO.	DATE	DESCRIPTION	BY
1.	11-12-25	ADDED SIGNATURE BLOCKS AND LEACH FIELD.	JAD
2.	12-03-25	ADDED WETLAND SETBACKS & NOTE 7.	JAD

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

PLAN SHOWING SUBDIVISION OF PROPERTY OF

MITCHELL H. GREENWALD REVOCABLE TRUST
ERIKA GREENWALD REVOCABLE TRUST

P.O. BOX 381
KEENE, NH 03461
TAX MAP 232 LOT 22

PEG SHOP ROAD ~ CHESHIRE COUNTY ~ KEENE, NH

DIBERNARDO ASSOCIATES, LLC
VT NH
LICENSED LAND SURVEYORS

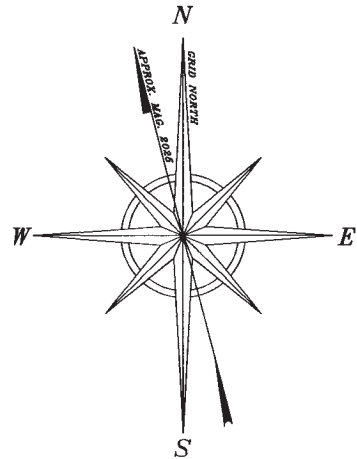
115 CHURCH STREET
NORTH WALPOLE, NH 03602
802-463-3031 ~ 603-358-5509

DATE SEPT. 24, 2025 SCALE 1"=100'

DRAWN BY JW CK'D BY JAD

SURVEYED BY BG, JP

DWG.NO. 3655-1 © COPYRIGHT 2025 DIBERNARDO ASSOCIATES, LLC.



JAMES ROBERT RAVESI
170 JORDAN ROAD
KEENE, NH 03431
TAX MAP 230 LOT 20

FOUND IRON PIPE
1.25" 1.2' HIGH

FOUND IRON PIPE
1.5" 1.5' HIGH

HENRY C. SPINDLER 2005 REVOCABLE TRUST
HENRY C. SPINDLER, TRUSTEE
60 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 19

FOUND IRON PIPE
1.25" 2' HIGH
DISTURBED

NATIONAL GRID POWER LINE EASEMENT.
SEE BOOK 428 PAGE 467.

~ AREA ~
33.29 ACRES ±
FRONTAGE: 1,138.11'

BARBARA COKINOS-CELIO
JOE L. CELIO
124 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 PAGE 23

BEACH HILL OF KEENE LLC
P.O. BOX 82
KEENE, NH 03431
TAX MAP 232 LOT 20

CRAIG B. MARTEL
JENNIFER L. PRATT
82 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 21

~ OWNERS SIGNATURE ~

MITCHELL H. GREENWALD

ERIKA GREENWALD

~ CHAPTER 676:18 SECTION III CERTIFICATION ~

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

~ SURVEYOR'S CERTIFICATION ~

I CERTIFY THAT THIS PLAT IS MADE FROM AN ACTUAL LAND SURVEY AND MEETS THE MINIMUM REQUIREMENTS FOR SURVEY OF REAL PROPERTY.

JOSEPH A. DIBERNARDO, L.L.S. #963 PHONE: 802-376-9009 DATE

~ REFERENCE DEEDS ~

RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS

- DEED FROM JOHN W. TOWNS, JR. TO MITCHELL H. GREENWALD & ERIKA GREENWALD. RECORDED IN BOOK 1063 AT PAGE 658 ON JUNE 11, 1984.
- DEED FROM MITCHELL H. GREENWALD AND ERIKA GREENWALD TO SAUL GRAYSON AND JANET GRAYSON. RECORDED IN BOOK 1115 AT PAGE 275 ON DECEMBER 9, 1985.

~ NOTES ~

- METHOD OF SURVEY: LEICA TS16 TOTAL STATION & STONEX S900 GPS.
- BEARINGS ARE REFERENCED TO THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD83) GRID NORTH. ELEVATIONS ARE TIED TO NORTH AMERICAN VERTICAL DATUM (NAVD88).
- DIBERNARDO ASSOCIATES IS NOT RESPONSIBLE FOR PROPERTY DESCRIPTIONS PREPARED BY OTHER PERSONS FOR CONVEYANCE OF THE PROPERTY SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE SOLE USE OF MITCHELL H. GREENWALD REVOCABLE TRUST AND ERIKA GREENWALD REVOCABLE TRUST AND IS NOT INTENDED TO BE USED BY ANY OTHER INDIVIDUAL OR BUSINESS WITHOUT THE CONSENT OF SAID PARTIES AND DIBERNARDO ASSOCIATES, LLC.
- WETLAND DELINEATION AND TEST PIT DATA PROVIDED BY A & D KLUMB ENVIRONMENTAL, LLC. PO BOX 155 CANTERBURY, NH 03224.
- PROPERTY SHOWN HEREON IS LOCATED IN THE RURAL DISTRICT. DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:
MINIMUM LOT SIZE: 2 ACRES
MINIMUM LOT WIDTH AT BUILDING: 200'
MINIMUM ROAD FRONTAGE: 50'
FRONT YARD BUILDING SETBACK: 50'
REAR YARD BUILDING SETBACK: 50'
SIDE YARD BUILDING SETBACK: 50'
MAXIMUM BUILDING COVERAGE: 10%
MAXIMUM IMPERVIOUS COVERAGE: 20%
MAXIMUM STORIES ABOVE GRADE: 2
MAXIMUM BUILDING HEIGHT: 35'
- THE PROPERTY IS LOCATED IN THE SPECIAL FLOOD HAZARD AREA ZONE X.

~ REFERENCE PLANS ~

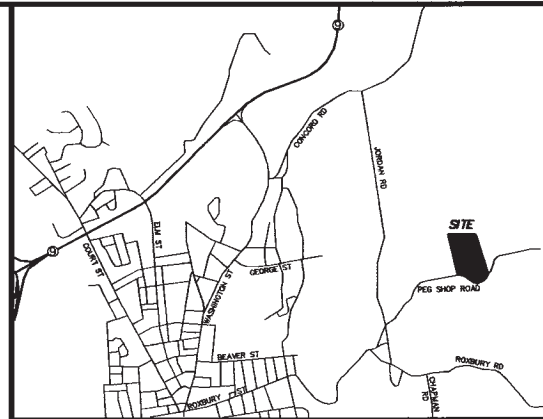
- PLAN ENTITLED "CHARLES H. TOWNS' TOWNS FARM AND BARRETT PASTURE KEENE, N.H." PREPARED BY WILLIAM P. HOUSE. DATED MAY 20, 1966.
- PLAN ENTITLED "PROPOSED SUBDIVISION PLAN OF LAND OF JOHN W. TOWNS, JR. KEENE, N.H." PREPARED BY WILLIAM P. HOUSE. DATED 1966 AND LAST REVISED ON APRIL 6, 1984.
- PLAN ENTITLED "PROPOSED SUBDIVISION FOR MITCHELL H. GREENWALD & ERIKA GREENWALD CITY OF KEENE CHESHIRE CO NEW HAMPSHIRE" PREPARED BY HARRY H. HARRINGTON. DATED NOVEMBER 1985. JOB NUMBER 161.
- PLAN ENTITLED "PLAT OF MITCHELL H. + ERIKA GREENWALD SUBDIVISION KEENE, N.H." PREPARED BY THOMAS W. FLAVIN, JR. ON JULY 1, 1987 AND REVISED ON SEPTEMBER 8, 1987.

CHRISTOPHER M. WILDER
REBECCA E. WILDER
81 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 33

ELISSA ANNA ZENGEL REVOCABLE TRUST
103 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 32

THOMAS F. MCKENNEY, II
KELLY J. MCKENNEY
107 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 31

BETTY JEAN HAYWOOD REV. TRUST
127 PEG SHOP ROAD
KEENE, NH 03431
TAX MAP 232 LOT 30



~ LOCATION MAP ~

~ SOIL LEGEND ~

- 61D - TUNBRIDGE-LYMAN-ROCK OUTCROP COMPLEX, 15-25% SLOPES
72B - BERKSHIRE FINE SANDY LOAM, 3-8% SLOPES
77B - MARLOW FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
77C - MARLOW FINE SANDY LOAM, 8-15% SLOPES, VERY STONY
79B - PERU FINE SANDY LOAM, 0-8% SLOPES, VERY STONY
143C - MONADNOCK FINE SANDY LOAM, 8-15% SLOPES, VERY STONY

~ LEGEND ~

- PROPERTY LINE
RIGHT OF WAY LINE
BUILDING SETBACKS
IRON PIN FOUND
5/8" IRON ROD SET
STONE WALL
POST & RAIL FENCE
UTILITY POLE
TEST PIT
WELL
SOIL LINES

~ REVISIONS ~

NO.	DATE	DESCRIPTION	BY
1.	11-12-25	ADDED SIGNATURE BLOCKS AND LEACH FIELD.	JAD
2.	12-03-25	ADDED WETLAND SETBACKS.	JAD

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

PLAN SHOWING PROPERTY OF

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ERIKA GREENWALD REVOCABLE TRUST

P.O. BOX 361
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TAX MAP 232 LOT 22

PEG SHOP ROAD ~ CHESHIRE COUNTY ~ KEENE, NH

DIBERNARDO ASSOCIATES, LLC
VT NH
LICENSED LAND SURVEYORS

115 CHURCH STREET
NORTH WALPOLE, NH 03062
802-483-3031 ~ 803-358-5509

DATE SEPT. 24, 2025 SCALE 1"=100'

DRAWN BY JW CK'D BY JAD

SURVEYED BY BG, JP

DWG. NO. 3655

© COPYRIGHT 2025 DIBERNARDO ASSOCIATES, LLC.

PB-2025-29 – MAJOR SITE PLAN, COTTAGE COURT CUP, & SURFACE WATER PROTECTION CUP – ELMSIDE DEVELOPMENT, 454 ELM ST

Request:

Applicant Fieldstone Land Consultants PLLC, on behalf of owners Paul Chester & Gail Marie Dubriske, proposes to redevelop the property at 454 Elm St (TMP# 521-004-000) into a Cottage Court Development with 18 single-family dwellings. A surface water protection CUP is requested for ~1,435-sf of impact within the 30-foot wetland buffer. The parcel is ~2.3 ac in size and is in the Low-Density District.

Background:

The subject property is an ~2.3-acre lot located on Elm St directly adjacent to Route 9 and across from the entrance to Timberlane Dr (Figure 1). The property is developed with an historic single-family residence, once home to the Sadoques Family, and is located ~0.1 mi (650 ft) northwest of Fuller School. The rear portion of the lot, which was formerly part of the Right-of-Way for the Franklin Pierce Highway, is forested with a small area of wetlands. Historic stone walls delineate portions of the rear property boundaries.

The applicant proposes to demolish the existing house and redevelop the property as a cottage court condominium development with 18 single family dwellings. A Surface Water Protection CUP is requested to reduce the wetland buffer from 30 feet to 10 feet. The application has been referred to the Conservation Commission for review and recommendation at their December 15 meeting. Any recommendations from the Commission will be shared with the Planning Board at the December 22 meeting.



Figure 1: Image of the property and proposed development in relation to nearby roads, provided by the applicant.

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposal does not appear to have the potential for “regional impact” as defined in RSA 36:55. The Board should make a final determination as to whether the proposal could have the potential for regional impact.

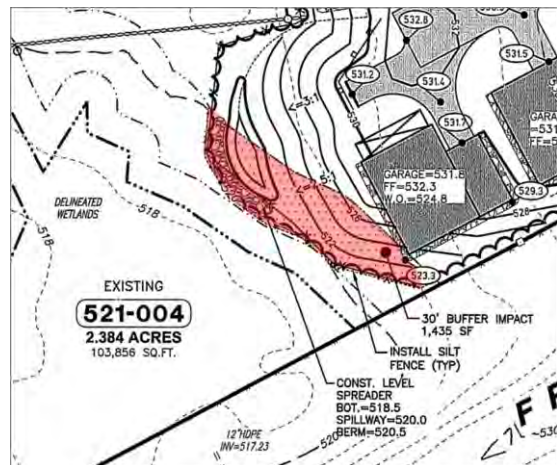
Completeness:

The applicant has requested exemptions from submitting separate existing and proposed subdivision plans and all technical reports. After reviewing these requests, Planning Staff recommend that the Board grant the requested exemptions and accept the application as “complete.”

Application Analysis:

Surface Water Protection Standards (Section 11.6 of the LDC)

- 2.A-B **Buffer Encroachment:** The proposed buffer encroachment includes grading within the 30-ft wetland buffer for the foundation of dwelling unit 9 and a level spreader. The estimated total area of impact to the 30-foot buffer is 1,435 sf (no impact is proposed to the 10-foot buffer). The applicant notes that the intent is to maximize the development of the site under the Cottage Court Development Overlay. Avoiding or reducing grading within the 30-foot buffer would reduce the number of units that could be developed.
- 2.C **Surface Water Impacts:** The applicant states in their narrative that there are no direct impacts to the surface water system with this proposal. No information is provided in the application regarding the soils, vegetation, or wildlife habitat on the site; however, based on the NH Wildlife Action Plan, this site is not located in a Tier 1 (highest ranked habitat in NH), Tier 2 (highest ranked habitat in biological region), or Tier 3 (supporting landscape) area. The habitat type is listed as “Developed Impervious” and “Developed or Barren land.”
- 2.D-E **Surface Water Buffer:** The applicant is seeking a buffer reduction on the property from 30 ft to 10 ft and proposes to clear an area of existing vegetation within the 30-foot buffer to accommodate grading and the installation of a level spreader (Figure 2). The applicant states that this system will mitigate stormwater impacts on the wetland. They also note that they consider this to be a minor impact and believe that the stormwater management system is an extraordinary measure for surface water mitigation. The Board will need to determine if the proposal meets the requirement for a property-wide surface water protection buffer reduction and should consider any recommendations from the Conservation Commission in making this determination.



Cottage Court Standards (Section 17.5 of the LDC)

- 3.A **Dwelling Unit Sizes:** The application proposes three unit types; types 1 & 2 are proposed to be 1,365 SF gfa and type 3 is proposed to be 895 sf gfa. This gives the development a site-wide average of 1,248 sf gfa. All three building types have a footprint of 895 SF. It appears that this standard has been met.
- 3.B **Parking:** The applicant states in their narrative that there are no shared parking areas proposed with this development. Each unit will have enough space in their driveway for one vehicle as well as enough space in the garage for an additional vehicle. It appears that this standard has been met.
- 3.C **Building Separation:** The applicant states in their narrative that all buildings on the proposed development have been separated to meet applicable building and fire codes. The two closest buildings in the development are 10 ft apart. It appears that this standard has been met.
- 3.D **Driveways:** The individual unit driveways are proposed to be 9 ft wide and 18 ft long. Turn arounds are provided where needed so that vehicles are able to reorient as needed to better navigate the site. It appears that this standard has been met.
- 3.E **Internal Roads:** The shared private driveway used to circulate through the site is proposed to be 20 ft wide, with a bump out to 28 ft wide to accommodate the shared mailbox area. This area comes at the request of the Post Office and is located near the entrance to the development. The common driveway is proposed to be constructed to City standards and will use cape cod style curbing. A hammerhead turn around is proposed to facilitate the navigation of larger and emergency vehicles. A truck turning plan has been submitted that shows a City fire truck and delivery vehicle are able to safely navigate the site. It appears that this standard has been met.
- 3.F **Screening:** The applicant states in their narrative that a vegetated buffer is proposed along the frontage of the development on Elm St. The existing vegetation along the northern property line will be maintained and an existing fence along the southern property line will also be maintained. Since the development is single-family dwellings in a neighborhood with a predominantly single-family development pattern, additional screening is not required. It appears that this standard has been met.

Site Development Standards

- 21.2 **Drainage:** The applicant states in their narrative that the site is designed to direct stormwater away from buildings and off roadways. Detention basins are proposed along Elm St and a level spreader is proposed on the southwestern corner of the property. Catch basins are proposed along the driveway that drain to the detention basins. The submitted drainage report states that the proposed stormwater management system has been designed for the 2 Year, 10 Year, 25 Year, and 50 Year storm events. The report concludes that the proposed development will not increase in the peak rates of runoff leaving the site. It appears that this standard has been met.

- 21.3 Sediment & Erosion Control: The applicant states in their narrative that the development proposes to utilize a stabilized construction entrance, silt fencing, and catch basin silt socks during construction. Slopes will be permanently stabilized with vegetation, stone rip-rap, stone check dams, and erosion control matting. Staff recommend a condition of approval related to the inspection of temporary erosion control measures prior to construction. This standard appears to be met.
- 21.4 Snow Storage & Removal: The applicant states in their narrative that snow will be stored on site along the driveway and adjacent to the residential drives. Snow storage areas are identified adjacent to the main entrance, next to unit 1, and along the end of the driveway adjacent to unit 13. It appears that this standard has been met.
- 21.5 Landscaping: The Landscape Plan shows the installation of a selection of shrubs and trees along the Elm St frontage. The narrative also notes that the future owners of the condo units will be able to install their own landscaping on their sub-parcels. The proposed landscaping includes nine (9) Rhododendrons, six (6) Dogwood shrubs, eight (8) Winterberry shrubs, four (4) Hawthorn trees, and one (1) Red Maple tree. The proposal also includes a native northeast pollinator wildflower seed mix near the wetland area. A condition of approval related to a financial security for the proposed landscaping is included in the suggested motion language. It appears that this standard has been met.
- 21.6 Screening: The applicant states in their narrative that existing trees along the perimeter of the development will be maintained where possible for natural screening from the road. The transformers in the development will be screened by shrubs. Additional screening is proposed along Elm St for the stormwater management areas and the entire site. There are existing stockade fences along the north and south property lines that will be maintained. It appears that this standard has been met.
- 21.7 Lighting: The Lighting Plan shows the installation of full cutoff wall mounted light fixtures on the garage of each unit. The proposed lights will have a color temperature of 3000 and a color rendering index (CRI) of 90. The development does not propose any driveway lighting or parking lot lighting. It appears that this standard is met.
- 21.8 Sewer & Water: The development will be served by municipal water and sewer. New mains will be installed on the property and then transferred to the City via easements. Domestic lines will be run to each individual unit. It appears that this standard has been met.
- 21.9 Traffic & Access Management: A single street access point is proposed near the center of the frontage, north of the Timberlane Dr intersection. The main drive will be a 20 ft wide driveway that is approximately 300 ft long and ends in a 50 ft long hammerhead turn around. Additional driveway spurs are proposed to provide access to individual units with turn-round space to allow vehicles to orient to leave the site.

The application includes ITE Traffic Manual trip generation estimates for the proposed development. The units are considered single-family dwellings with an estimated weekday AM peak hour of 14 vehicle trips and an estimated weekday PM peak hour of 18 vehicle trips. The estimated traffic generation falls below the threshold of 50 trips per peak hour or 100 trips per day that would require a full traffic study, and the development is not

expected to diminish the capacity or safety of Elm St. It appears that this standard has been met.

- 21.10 Filling & Excavation: The applicant states in their narrative that the development will require both filling and excavation on different portions of the site. Material on-site will be utilized whenever possible. Additional select material will need to be brought on site and stockpiled as needed. A truck route plan is not required as the project site has direct access from Court St via Elm St. It appears that this standard has been met.
- 21.11 Surface Waters & Wetlands: The applicant states in their narrative that there is no proposed impact to surface waters located on the property. There is a wetland system located on the southwestern corner of the property, adjacent to unit 9. The applicant has submitted a Surface Water Conditional Use Permit to reduce the protection buffer from 30 ft to 10 ft. The proposal requires grading and the installation of stormwater management systems within the 30 ft buffer area. The Board will need to decide whether to grant the reduction in the surface water buffer.
- 21.12 Hazardous & Toxic Materials: The applicant states in their narrative that there are no hazardous or toxic materials associated with this development. This standard has been met.
- 21.13 Noise: The applicant states in their narrative that the proposed development will generate an amount of noise typical with a residential development. It appears that this standard has been met.
- 21.14 Architecture & Visual Appearance: The applicant states in their narrative that the units are proposed to be two- and three-bedroom single-family residential dwellings of various heights ranging from 32.5 ft to just under 22 ft. The colors will be “neutral tones that fit in with the surrounding neighborhoods.” The applicant further states that the homes are designed to fit into the “cottage style” and include two-story Cape, drive-under garage Cape, and one-story Ranch style architecture (Figure 3). Utilizing the Cottage Court CUP architectural guidelines, the Board will need to determine if this standard has been met.



Figure 3. Image of the three architectural styles proposed, including a Cape-style unit (left), a Cape with garage under (middle), and a ranch style unit (right).

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

"Approve PB-2025-29 as shown on the plan set identified as "Elmside Cottage Court Housing" prepared by Fieldstone Land Consultants, PLLC at 1 inch = 30 feet on November 14, 2025 and last revised on December 2, 2025 with the following conditions:

- 1. Prior to final approval and signature of the plans by the Planning Board Chair, the following conditions shall be met:***
 - a. Owner's signature appears on the title page, condo site plan, and master site plan.***
 - b. Submittal of five (5) full sized paper copies of the plan set, including elevations, and a digital copy of the final plan set.***
 - c. Submittal of a security in a form and amount acceptable to the Community Development Director to cover the cost of landscaping, sediment and erosion control measures, and "as built" plans.***
 - d. Submittal of draft written documentation of the required utility easements and any other necessary legal instruments required for this application, which shall be subject to review by the City Attorney.***
- 2. Subsequent to final approval and signature of the final plans by the Planning Board Chair, the following conditions shall be met:***
 - a. Prior to the commencement of site work, the Community Development Department shall be notified when all erosion control measures have been installed, and the 30 ft surface water buffer is flagged by a surveyor licensed in the state of NH. Community Development staff shall inspect the erosion control measures and wetland flagging to ensure compliance with the approved plans and all City of Keene regulations.***
 - b. Submittal of recorded utility easements and any other legal instruments necessary for this application to the Community Development Department.***
 - c. The applicant shall obtain final acceptance of the new utilities from the Keene City Council following the completion of all infrastructure construction.***
 - d. Following the initial installation of plantings, the Community Development Department shall be contacted to perform an initial landscaping inspection to ensure compliance with the approved landscaping plan and all City of Keene regulations.***
 - e. One year after the installation of landscaping, the Community Development Department should be contacted to perform a final landscaping inspection to ensure that all plantings are in good health."***



TO: Planning Board

FROM: Mari Brunner, Senior Planner

DATE: December 18, 2025

SUBJECT: Conservation Commission Recommendations for PB-2025-29 and Modifications Proposed by the Applicant

Recommendation:

For your consideration during Board deliberation of application PB-2025-29.

Background:

The Conservation Commission conducted a site visit and reviewed the application for PB-2025-29 for an 18-unit Cottage Court development, Major Site Plan, and Surface Water Protection Conditional Use Permit (CUP) at 454 Elm Street on Monday, December 15. The Commission members heard a presentation from the applicant and discussed the potential impacts to a wetland located on the rear of the property.

Questions and Concerns that were raised by Commission members include:

- Unanimous concerns regarding the requested buffer reduction from 30 feet to 10 feet for the entire property (applicant has revised proposal so that a buffer reduction is no longer requested. Instead, they are requesting a CUP for ~1,400 sf of buffer impact.)
- Potential runoff issues during large storm events (addressed by applicant – runoff will be handled by the proposed stormwater design).
- Snow storage at the end of the driveway may cause snowmelt containing silt and road salt to drain into the wetland area (applicant's response was that there is a guardrail at the end of the driveway that will help mitigate this concern).
- Ongoing maintenance and management of the stormwater system (applicant noted that this would be done by the homeowners' association).
- The fact that all impacts to the wetland could be avoided by reducing the number of housing units.
- Lack of plantings and trees throughout the interior of the development (at the suggestion of the Commission, the applicant has added native plantings throughout, as shown on the revised Landscaping Plan attached to this memo).

Ultimately, the Commission made two motions. The first was to recommend that the design be modified to avoid any impact to the 30 ft surface water buffer (passed 6-1). The second was to recommend that the southwest slope of the buffer area be replanted with native, pollinator-friendly shrubs and seed mix, and that small street trees be planted throughout the development to help mitigate impacts to the city stormwater system (passed unanimously).



City of Keene, NH

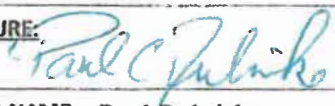
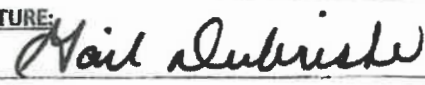
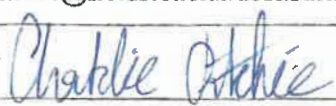
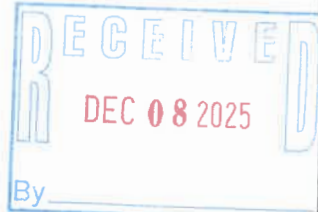
Site Plan Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Elmside		TYPE OF APPLICATION BEING SUBMITTED:
PROJECT ADDRESS(ES): 454 Elm Street		<input checked="" type="checkbox"/> MAJOR PROJECT APPLICATION <input type="checkbox"/> MINOR PROJECT APPLICATION
EXISTING OR PREVIOUS USE: Single Family Residential	PROPOSED USE: Cottage Court Development	
GROSS FLOOR AREA OF NEW CONSTRUCTION (in square feet) 22,480± SF	GROSS FLOOR AREA OF EXISTING BUILDINGS/STRUCTURES (in square feet) 1,818 SF	
AREA OF PROPOSED NEW IMPERVIOUS SURFACES (in square feet) 37,700± SF	TOTAL AREA OF LAND DISTURBANCE (in square feet) 79,400 SF	

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER	APPLICANT
NAME/COMPANY: Paul Chester & Gail Marie Dubriske	NAME/COMPANY: *Same as Owner*
MAILING ADDRESS: 454 Elm Street, Keene, NH 03431	MAILING ADDRESS:
PHONE: (603) 903-4342	PHONE:
EMAIL: pauldubriske@gmail.com	EMAIL:
SIGNATURE: 	SIGNATURE: 
PRINTED NAME: Paul Dubriske	PRINTED NAME: GAIL Dubriske
AUTHORIZED AGENT (if different than Owner/Applicant)	FOR OFFICE USE ONLY:
NAME/COMPANY: Fieldstone Land Consultants, PLLC	TAX MAP PARCEL #(s): 521 - 004 - 000 - _____
MAILING ADDRESS: 206 Elm Street, Milford, NH 03055	_____
PHONE: 603-672-5456	PARCEL SIZE: 2.384
EMAIL: cebranon@fieldstonelandconsultants.com clritchie@fieldstonelandconsultants.com	ZONING DISTRICT: Low Density
SIGNATURE: 	DATE STAMP: 
PRINTED NAME: Chuck Ritchie	PROJECT #: PB-2025-29

* Revised 12-8-25
* Originally submitted
on 11-14-25



City of Keene, NH

Cottage Court Conditional Use Permit (CUP) Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keene.nh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Elmside

NUMBER OF NEW DWELLING UNITS PROPOSED: 18

(Please note: Proposals that include the creation of 5 or more new units will require concurrent Major Site Plan review. See the Major/Minor Site Plan application for additional information.)

PROJECT ADDRESS(ES): 454 Elm Street

DOES THIS PROJECT INCLUDE A PROPOSAL TO SUBDIVIDE ONE OR MORE PARCELS?

☐ YES
☒ NO

**AVERAGE GROSS FLOOR AREA
OF ALL PROPOSED UNITS (In SF):** 1,248 SF

(If yes, a Subdivision application will need to be submitted and reviewed concurrently with the Cottage Court application. See the Article 20 of the [Land Development Code \(LDC\)](#) for additional information.)

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER

NAME/COMPANY: Paul Chester & Gail Marie Dubriske

MAILING ADDRESS: 454 Elm Street, Keene, NH 03431

PHONE: (603) 903-4342

EMAIL: pauldubriske@gmail.com

SIGNATURE:

PRINTED NAME: Paul Dubriske

APPLICANT

NAME/COMPANY: *Same as Owner*

MAILING ADDRESS:

PHONE:

EMAIL:

SIGNATURE:

PRINTED NAME:

GAIL Dubriske

AUTHORIZED AGENT

(if different than Owner/Applicant)

NAME/COMPANY: Fieldstone Land Consultants, PLLC

MAILING ADDRESS: 206 Elm Street, Milford, NH 03055

PHONE: 603-672-5456

EMAIL: cebranon@fieldstonelandconsultants.com
clritchie@fieldstonelandconsultants.com

SIGNATURE:

PRINTED NAME: Chuck Ritchie

FOR OFFICE USE ONLY:

TAX MAP PARCEL #(s):

521-004-000

PARCEL SIZE:

2.384

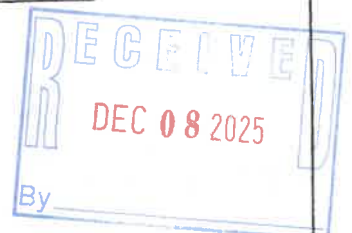
ZONING DISTRICT:

Low Density

PROJECT #:

PB-2025-29

DATE STAMP:





City of Keene, NH

Surface Water Protection Conditional Use Permit (CUP) Application

If you have questions about how to complete this form, please call: (603) 352-5440 or email: communitydevelopment@keenenh.gov

SECTION 1: PROJECT INFORMATION

PROJECT NAME: Elmside

PROJECT ADDRESS(ES): 454 Elm Street, Keene, NH 03431

SECTION 2: CONTACT INFORMATION

PROPERTY OWNER

NAME/COMPANY: Paul Chester & Gail Marie Dubriske

MAILING ADDRESS: 454 Elm Street, Keene, NH 03431

PHONE: (603) 903-4342

EMAIL: pauldubriske@gmail.com

SIGNATURE:

Paul Dubriske

PRINTED NAME: Paul Dubriske

APPLICANT

NAME/COMPANY: *Same as Owner*

MAILING ADDRESS:

PHONE:

EMAIL:

SIGNATURE:

Gail Dubriske

PRINTED NAME:

GAIL Dubriske

AUTHORIZED AGENT

(if different than Owner/Applicant)

NAME/COMPANY: Fieldstone Land Consultants, PLLC

MAILING ADDRESS: 206 Elm Street, Milford, NH 03055

PHONE: 603-672-5456

EMAIL: cebranon@fieldstonelandconsultants.com
clritchie@fieldstonelandconsultants.com

SIGNATURE:

Chuck Ritchie

PRINTED NAME: Chuck Ritchie

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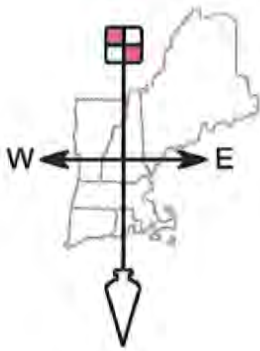
Low Density

PROJECT #:

PB-2025-29

DATE STAMP:





FIELDSTONE

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

Cottage Court Development

Site Plan, Cottage Court, and Surface Water CUP Narrative

Paul & Gail Dubriske
Tax Map Parcel 521, Lot 4
Elm Street, Keene, New Hampshire

November 14, 2025
Revised: December 1, 2025

Project Narrative:

Fieldstone Land Consultants, on behalf of Paul and Gail Dubriske, is submitting a Cottage Court Overlay development plan for Planning Board review. The proposal consists of developing Tax Map Lot 521-4 located on Elm Street, in a Cottage Court single-family residential development with 18 dwelling units. The applicant has decided to utilize the recently adopted Cottage Court Overlay regulations with a private driveway. This layout will provide condominium style ownership for future homeowners with a goal of providing much needed affordable, owner-occupied housing.

The existing Tax Map Lot 521-4 has 2.384 acres with 284.79 feet of frontage along Elm Street and 607.24 feet of frontage on Franklin Pierce Highway (Route 9 & 10). The lot is located in the Low-Density District and is currently developed with a single-family residential house and driveway. The property is cleared in the front and wooded further west at the back of the site. There is a stormwater management at the front (eastern) portion of the site and wetlands fed by drainage from the highway at the back (western) portion of the lot.

The proposed buildings will have access from Elm Street via a central driveway that ends in a hammerhead turnaround. This project does not propose any impacts to wetlands. A homeowner's association will be formed to provide maintenance of the access road and common facilities and amenities.

The sizes of the units will vary, as there is a mix of two-bedroom and three-bedroom designs. The buildings will be 1-2 stories, and all will include a garage. The building designs contemplate a modern New England style architecture and will meet the Cottage Court standards. The plans for these units have been provided for review and comment.

The residential development will be serviced by the municipal water and sanitary sewer infrastructure that is located along Elm Street and along the front of the property. Easements will be provided to the City of Keene where necessary for the infrastructure. The stormwater management will be constructed on site in the location currently used for stormwater and will be maintained by the homeowner's association.

The development will require three applications from the Planning Board; a Major Site Plan

Paul & Gail Dubriske CUP & SPR
Tax Map Parcel 521-004
Elm St. Keene, NH

Page 2

application, the Cottage Court Conditional Use Permit (CUP), and a Surface Water Conditional Use Permit. The development standards for all applications are outlined below with descriptions on how the standards are met.

Cottage Court Overlay CUP Standards (Article 17.5.3 of the LDC):

17.5.3.A Dwelling Unit Sizes: The dwelling unit sizes vary based on the three house styles; all units will meet the maximum of 900 footprint area, and 1250 S.F. in average gross floor area (average for the whole development). The unit sizes are listed on SP-1 sheet.

17.5.3.B Parking: There are no parking lots proposed for this site. Each dwelling unit can fit at least 1 space per driveway and an additional 1 space in an attached garage on each unit.

17.5.3.C Building Separation: The buildings are separated to meet building and fire codes. The two closest buildings are 10.0 feet apart.

17.5.3.D Driveways: The driveways will meet the requirements of this section. The main private drive will be 20' wide with cape cod curbing. The driveways will be 9' wide and a minimum of 18' long. Intersections of the spur and main driveway will have radial corners to allow for turnaround of emergency vehicles, such as a ladder truck.

17.5.3.E Internal Roads: The development will not have a "road" with a defined right-of-way. There will be an easement for water & sewer utilities, owned by the City of Keene.

17.5.3.F Screening: The proposed buildings will be screened from adjacent properties and the City Street. There is a vegetated buffer to planted along road frontage on Elm Street and a fence is proposed along the northern property line. The western boundary will remain vegetated and the existing fence will remain along the southern boundary to the highway.

Site Development Standards (Article 21 of the LDC):

21.2. Drainage & Stormwater: The site will be designed to convey the drainage away from the buildings and off the paved driveways. The stormwater will be managed to provide treatment and retention of rainstorm runoff waters. The systems have been designed to match or reduce the stormwater runoff that exists on the undeveloped site for the 2, 10, 25, and 50 year storm events, as required by the City of Keene.

21.3 Sediment & Erosion Control: Temporary erosion control measures consisting of catch basin silt-socks, silt fencing, and a stabilized construction entrance will be used during the construction process. The permanent erosion control measures will consist of stone rip-rap, stone check dams, established vegetation, erosion control matting, and asphalt pavement.

21.4 Snow Storage & Removal: Snow will be stored on site. The snow will be plowed to the sides of the roads and driveways of the homes.

21.5 Landscaping: Landscaping will meet the City LDC standards and is provided along the roadway and entrance of the development. Plantings around the homes will be based on the homeowners' preference.

21.6 Screening: The perimeter of the site will have trees maintained where possible for natural screening from the public way. The transformers for the development will be screened by shrubs. There is landscaping proposed along the stormwater management area on Elm and a fence along the northern property line which will provide overall screening for the

development.

21.7 Lighting: All lighting will meet the City LDC standards and will not impact the public. Details are shown on the LT-1 Lighting Plan.

21.8 Sewer & Water: Sewer and water will be municipal services, which includes domestic water and sanitary sewer to each building. Easements will be provided to the City to allow access to the municipal infrastructure where necessary.

21.9 Traffic & Access Management: Access will be off Elm Street with a private drive, built to City road standards. The estimated trip generation for the site is 14 vehicle trips (3 entering, 11 exiting) during weekday AM peak hour. Estimated trip generation during weekday pm peak hour is 18 vehicle trips (11 entering, 7 exiting). Based on the ITE Manual, the trip generation falls below the 100 vehicles or more peak hour traffic volume at the intersection with Elm Street. We do not foresee this development having a negative impact on the function of Elm Street or require any improvements to the City Street.

21.10 Filling & Excavation: The proposed grading will require filling in some areas and excavation in other areas. The materials used to fill on site, will be stock piled on the property. Select gravels and fill material for construction will need to be imported to the site. Any excavations within the City right-of-way will be outlined in the Excavation Permit with Keene Public Works.

21.11 Surface Waters & Wetlands: There are no impacts to the delineated wetlands on the site for the project. The homes, drives, and associated grading will not impact the wetland resources. The wetland buffer of 30' will be impacted by grading around structures. One structure (dwelling unit) will require grading that will impact the buffer. The majority of the proposed work within the 30' buffer is for stormwater management.

21.12 Hazardous & Toxic Materials: There are none associated with this project.

21.13 Noise: Noise increase will be minimal for the residential use.

21.14 Architecture & Visual Appearance: The architecture will be 2–3-bedroom dwellings that vary in height. The colors will be natural tones and fit with the nearby neighborhoods in the City. The homes will be smaller in footprint and fit in with the "Cottage" style as outlined in the LDC. The three styles have been submitted for review. This includes a 2-story Cape, drive-under garage Cape, and 1-story Ranch style.

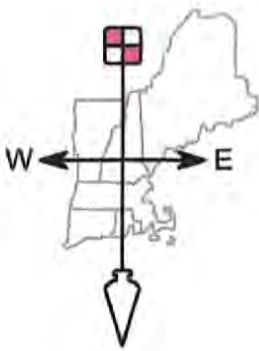
Surface Water Protection CUP Standards (Article 11 of the LDC):

11.6.2A Generally: The proposed use is designed to utilize the Cottage Court overlay district to its fullest.

11.6.2B Buffer Encroachment: The proposed use encroaches the wetland buffer in one (1) location where grading for stormwater is over the 30' buffer. Totaling to an area of 1,435 S.F.

11.6.2C Surface water Impacts: There is no proposed direct impact to surface water on site.

11.6.2D-E Surface Water Buffer: The proposed design has stormwater improvements within the 30' buffer. These impacts to the buffer will not impact the wetlands and ensure the water quality of runoff is treated prior to flowing to the wetland resource. Erosion control measures are specified to protect the adjacent wetlands in the areas of encroachment.



FIELDSTONE

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Surveying ♦ Engineering
Land Planning ♦ Septic Designs

Evan Clements
Community Development Planner
City of Keene
3 Washington St – 4th Floor
Keene, NH 03431

December 1, 2025

**RE: Response to Staff Comments
PB-2025-29: Elm Street
Elmside Cottage Court Development**

Mr. Clements:

On behalf of our client, Paul C. & Gail M. Dubriske, we are hereby submitting revised plans based on the staff comment letter, dated November 26, 2025. The comments and our responses are listed below:

1. Per Section 26.14.6 of the Land Development Code (LDC) – “On-Site Posting of Public Hearing,” a sign shall be posted on the site providing notice of the use applied for and the date and time of the public hearing. A sign for on-site posting can be obtained from the Community Development Department. The office can be contacted at 603-352-5440 to schedule a time to pick up the sign. Please be aware that it is the responsibility of the applicant to post the sign at least 10 days prior to the public hearing and return the sign to the department no later than 10 calendar days after completion of the public hearing.

The applicant will call and pick up the sign to be posted prior to December 12th.

2. Per Section 11.6.3.A of the LDC – “Referral to the Conservation Commission,” all applications for a surface water protection conditional use permit shall be forwarded to the Conservation Commission a minimum of 5-business days prior to the Commission’s next regularly scheduled meeting. The next regularly scheduled Conservation Commission meeting is Monday, December 15, 2025 at 5:00 pm in room 22 of the Parks & Recreation Center located at 312 Washing St. In addition, the Conservation Commission may conduct a site visit of the property.

- a. Please, confirm that a representative for this project is able to attend both the Conservation Commission site visit at 3:30 pm and the meeting at 5:00 pm on December 15.

We are available for site walk and conservation commission meeting on December 15th at 3:30 and 5:00 pm.

3. The submitted application lists Paul Chester Dubriske and Gail Marie Dubriske as property owners, however, only Paul Chester Dubriske has signed the application. Please have all owners of the property sign the application or submit a completed affidavit with the missing owner’s signature.

Signature pages of the applications and a revised letter of authorization signed by both owners is included in this revised submission.

4. Please add a plan note reference for the incorporation of a portion of the Franklin Pierce Highway right-of-way into the subject property. Adding a note referencing plan number 25117 with the Cheshire County Registry of Deeds should be sufficient. Please provide some additional information on how the return of road layout was done without local Planning Board action.

Reference plan #5 on sheet EX-1 lists plan 25117 of the Cheshire County Registry of deeds as a reference plan. The subject lot, Old Right of Way, and parcel C depicted on the reference plan will be merged as stated in note #1 and #2 on sheet EX-1.

5. The plan shows both the 30' wetland buffer and a 10' wetland buffer. Please clarify the intent of the Surface Water Conditional Use Permit. Is the request for the SWCUP to reduce the wetland buffer on the property or for the proposed impact to the 30' buffer.
 - a. If the request is for buffer reduction, please describe the extraordinary measures proposed as is required by section 11.3.1.C of the Land Development Code.

The intent is for the SWCUP to reduce the wetland buffer on site from 30' down to 10'. The proposed impact to the 30' buffer includes grading for the foundation of unit 9 and some lawn area, both of which grade into a stormwater management area that is also in the buffer. The proposed level spreader mitigates the impacts of stormwater from the development and is a very minor impact to the surface water buffer. There are no impervious surfaces proposed within the 30' buffer and a proposed use of stormwater management, we believe the use is an extraordinary measure for surface water mitigation.
 - b. If the request is for buffer impacts, please indicate how much area of the buffer is proposed to be impacted in the narrative.

While the intent is to reduce the buffer, the plan proposes 1,435 square feet of buffer disturbance which is called out on sheet GR-1 and added to the Surface Water CUP Standard section 11.6.2B Buffer Encroachments of the project narrative.
 - c. Add a note to the proposed conditions plan stating that any future development within the surface water buffer may require the submittal of a Surface Water Protection Conditional Use Permit to the City of Keene Community Development Department.

Note #19 on sheet SP-1 has been added stating the above.
6. The zoning table on the Condominium Site Plan references the underlying zoning dimensional requirements of the Low-Density district. Please also indicate that this property is in the Cottage Court Overlay District, which has no minimum lot size and a minimum tract frontage of 30'.

The zoning table on sheet CD-1 has been revised to include zoning requirements for the cottage court district overlay.
7. Two of the proposed snow storage areas appear to be proposed on sub-parcels for units 9 & 13. Will these locations be usable as they are not located on common land?

A blanket easement for the entire site is proposed benefitting the Homeowners Association for snow storage, utilities, and drainage. Condo documents and easement documents are pending.
8. Two transformers and their landscape screening are proposed on the boundary line between the sub-parcels for units 3 & 4 and 7 & 8. Will there be an issue with this infrastructure not being located on common land?

A blanket easement for the entire site is proposed benefitting the Homeowners Association for snow storage, utilities, and drainage and is noted as note #20 on sheet SP-1.
9. The proposed light fixtures appear to be full cut-off fixtures. Please confirm that the bulbs for the fixtures at installation will have a CRI rating of over 70 and a color temperature no greater than 3,500 K.

Sheet LT-1 has been revised to include the performance metrics of the proposed lighting fixtures. The CRI rating is 90 and CCT (correlated color temperature) is 3,000 K.
10. During the pre-submission meeting a communal post office mailbox was discussed. Has there been any communication with the Post Office relating to the need for a communal post office mailbox? If a box is proposed, please add it to the plan.

A communal mailbox is proposed at the entrance to the development.

11. The proposed landscaping along Elm Street appears to be in close proximity to the proposed drainage structures. Will the landscaping have sufficient room to establish and be maintained?

The intent is for the landscaping along the front of the site to replace vegetation lost when improving the stormwater area. The landscaping is proposed to mimic existing landscaping and should be able to be maintained despite proximity to drainage structures. Smaller vegetation such as shrubs, rather than trees are proposed closer to the headwalls and driveway.

12. During the pre-submission meeting, a hydrant at the entrance was discussed due to the long dead end. This is the Fire Department's preferred location. A 2" flush drain at the end of the water line for water quality would negate the need for two fire hydrants. Please add the fire hydrant location to the plan.

A fire hydrant is proposed to be installed at the entrance to the site.

13. The 74,800 listed disturbance on the application and stormwater report appears to only account for the on-site disturbance, this disturbance area number must be corrected to reflect all earth disturbance necessary for the construction of the project in order to confirm the necessary permits and requirements associated with the project in accordance with Env-Wq 1500.

The disturbance beyond the property lines is limited to construction of the entrance as it ties in to Elm Street. The additional disturbance for the work in the right of way results in a total of 79,400± square feet which has been included in the application and revised in the submitted application and stormwater narrative.

14. It is unclear from the plans but assumed that the proposed water and sewer infrastructure will be privately owned and maintained, please add additional notes to the plans specifying this.

The proposed water and sewer mains are proposed to be built to City Standards and an easement granted over them to allow the city to take ownership and maintain them. Note #17 on sheet SP-1 states the intent for the utilities. A proposed easement for the utilities is shown on sheet CD-1 and additional easement details including bearings, distances, and language are pending approval.

15. The proposed sewer main from the development dead ends in Elm Street; the intent is unclear (please clarify). In addition, in accordance with Env Wq 700 the sewer collection system is required to connect to the City's system with a manhole and be submitted to NHDES Water and Sewer Divisions for their review and approval.

The proposed sewer main is proposed to tie-in to existing sewer main with a manhole (SMH5). This has been called out on sheet PP-1 and UT-1.

16. The plans specify the proposed sewer main crossing over the proposed water main; allowances for this crossing will need to be detailed and provided in accordance with Env Wq 700 required standards.

Horizontal distance of 10' is maintained except for crossing location, and a minimum vertical separation of 18" is provided.

17. The City has revised its standard for drop inlets to specify "drop bowls" in lieu of the detail provided, please either change the detail on the plan or eliminate this detail if not required for the proposed construction.

The project does not propose a drop inlet; therefore, the detail has been removed.

18. Please revise the sewer laterals connections to be to the sewer main in lieu of connecting to sewer manholes, as currently proposed.

Proposed sewer services have been revised to tie in to the proposed sewer mains, not directly into proposed manholes.

19. There are several references in the plan details to cast in place concrete thrust blocks; however, only precast thrust blocks will be accepted by the City. Please revise.
Details 2, 3, 4, and 7 on sheet DT-5 have been revised to proposed pre-cast thrust blocks
20. It should be understood and specified on the plans that the proposed development will require an above ground heated water meter pit and backflow preventor to provide the domestic water main to the buildings, this must be specified on the plans for clarity.
The intent is for the water line in Elmside Court to be operated by the city. The line has been revised to be ductile iron and an easement proposed to be granted to the city of Keene,
21. Please confirm whether a fire line will be provided for the proposed development in addition to the proposed domestic water line.
There is not a separate fire line proposed, only domestic water service into the homes. There is a hydrant proposed at the front of the site.
22. There is a note to "install wet tap and connect to ex water main". Is there not an existing valve for this service? If not, one is required to be installed as part of the work. The preference, as discussed in the pre-submission meeting, would be to connect to the 8" water main in Timberlane drive and extend an 8" water service to replace the existing City 6" DIP water main that extends through the property. Additionally, it would be preferred if the water main were not installed under the proposed stormwater detention areas for the City to be able to access and maintain the water main without disturbing these areas and potentially future wetlands.
We are rerouting the water line which would require a new tap, which has been revised to be installed with valve. The water main has been revised to tie in to the existing 8" water line from Timberlane Drive, and an 8" CL52 ductile iron pipe is specified for the new water main. The location has also been adjusted to stay out from under the stormwater basin as much as possible without having to relocate telephone poles or the sidewalk.
23. The proposed UGE is shown going through SMH#3 and appears to end at building#12 and 16. Electric services are shown going to some of the proposed units but not all of them, please clarify.
Electrical services have been revised to serve each house and not run over the manhole. The intent is for each unit to have individual electrical service.
24. A water main is shown on the plans but no water services to the buildings are shown, the intent is unclear. Additionally, depending on the locations of the water services the two dead end sections of water main would require a hydrant or blow off for water quality.
Water services are shown on revised plans, the intent is for each house to have individual connection from the proposed water main. An end cap and release valve is called for at the end of the Elmside water line.
25. Please specify CL52 DI water main, in lieu of just 'water main' for the City portion of the water main. Additionally, an easement is required to be specified on the plans and provided for the future access and maintenance of this portion of the replaced City Water main.
The water main material is proposed as 8" CL52 DI, and an easement to the City is proposed for access and maintenance as depicted on sheet CD-1.
26. The proposed replacement water main shows connecting to the existing water main in two locations for the replacement, but valves and couplings would need to be specified on the plans and installed in these locations in order to pressure test the new water main.
Valves are called to be installed at both of the connection points for the new water line.
27. The replacement water main is proposed with a sag and will require a hydrant be installed within these limits to blow out the sediment that will collect in that section of the main.

A hydrant is proposed adjacent to the driveway entrance, along the low point of the new water line.

28. The developer prior to construction will be required to obtain an excavation and utility connection permit for the proposed improvements, please include a note on the plans specifying this for clarity. Note #12 on sheet UT-1 has been added and states the above requirement regarding excavation and utility permits.
29. Borings, subsurface soil investigation and assessment are necessary to confirm the necessary bearing capacity for the proposed retaining wall. Additionally, this retaining wall should be detailed with dimensions and be drawn to scale on the plans, it appears that there may be insufficient room for the installation of the wall adjacent to the proposed unit at this location. The wall is only a maximum 5.9' feet tall. The dimensions from the building to face of retaining wall (6.5'), face of wall to property line (6'), and thickness of the wall (2.5') are labeled on Sheet SP-1. For a retaining wall this height soil testing would typically be done during final wall design.
30. The sidewalk through the driveway is required to be installed as 8" thick reinforced concrete sidewalk / apron in accordance with City Code of Ordinances and Public Works standards, please revise the plans to include this and add details for this construction. Given the nature of the development, concrete panels with ADA tactile ramps are as required at either side of the drive crossing. A detail for city sidewalk and ADA compliant ramps has been added to sheets DT-2 and detailed on the site plan sheets.
31. The narrative states that the project will generate less than 100 trips per day. Please provide trip generation estimates to support this statement. To clarify, the trip generation from the site is projected to be less than 100 vehicles at the peak hour volume, not daily traffic volume. Based on ITE Trip Generation Manual, each single-family house in the 18-unit development will generate 1.01 weekday peak hour pm trips and 0.77 weekday peak am trips. This results in 18 peak pm trips and 14 peak am trips. The applicable pages of the ITE Trip Generation have been included in the revised submission materials.
32. Given the proposed slopes adjacent to the hammer head turn around at the end of the proposed private road, guardrail is required to be specified/provided. Guardrail (or equivalent) protection at the end of the turnaround is proposed.
33. A level spreader is specified on the plans but no details are provided, please provide for clarity and construction. A level spreader detail has been included as detail 10 on sheet DT-3.
34. Please provide truck turning movements for a delivery truck and fire engine demonstrating that the proposed radii and the hammer head turnout around are both sufficiently sized/designed for the turning movements of these vehicles. A turning exhibit plan has been included in the revised materials. Turning movements for a 30' box truck/delivery vehicle are depicted as well as City of Keene firetruck.
35. The plans show what appears to be a proposed utility pole within the limits of the stormwater retention area, this is recommended to be moved outside of this stormwater retention area. The utility pole has been revised at the right-of-way line in order to stay as far from the stormwater area as possible as well as keep distance off the revised 8" water main. The elevation of the base of the pole is 517.0 which is over 2' higher than the rim of the basin outlet structure.
36. The plans specify a proposed stop sign at the Street access' intersection with Elm Street. If a stop sign at this location meets the warrants described in the MUTCD, and is recommended by the design

engineer of record, then a request is required to be submitted to City Council for their review and approval to install a Stop sign at this location, in accordance with City Code. Additionally, the plans specify a bollard mounted stop sign which would be more appropriate for a commercial parking area and not a street stop sign.

The stop sign has been revised to be installed on the subject property, outside the City right of way. The stop sign detail with bollard has been removed.

37. The plans specify the proposed sewer line with less than four feet of cover, which would require pipe insulation to be provided, please specify on the plans and provide a detail for pipe insulation.

The profile depicting the sewer line calls for 2" of rigid foam insulation to be installed when less than 4' of cover. The Standard Trench Detail on the Sewer Construction Details (DT-4) has been revised to show the insulation and noted in the same detail as note #10.

38. The typical cross section specifies an underdrain and an underdrain headwall detail, but the underdrain is not shown on the site plan, please provide to confirm there are not proposed conflicts.

The underdrain, if required during construction will be installed below the curblin and is able to be tied into one of the four catch basins in the drive.

39. The plans specify a revised connection to the existing catch basin in the Elm Street right of way. Please specify the replacement of this catch basin with a pre-cast catch basin in lieu of coring and modifying the existing basin.

The existing catch basin is proposed to be replaced as called out on sheet GR-1.

40. The configuration of the private shared driveway access for the drives, in some instances, appear problematic, specifically where there are conflicts between drive access between two driveways, the driveways are shown angled away from the direction of travel and/or there is no means to turn around prior to entering the private road, specifically units 11, 17/18, 12, 16, & 10; it is recommended that these driveways /structures be reviewed and adjusted to eliminate potential conflicts.

A number of improvements including increasing radius of driveways, removing bends, and widening driveways have been made to units 10, 11, 12, 17, and 18 as well as units 1 and 2. Each unit will allow a vehicle to turn into the driveway as well as back out. The proposed private drive should suffice to allow for homeowners to turnaround in the road. The driveway for unit 16 was not revised as the slight rotation favors vehicles turning in when coming from the main entrance.

41. Please provide rip rap sizing calculations in accordance with the current version of the NHDES Stormwater Manual.

Rip rap calculations are included in the revised materials and sizing included in the rip-rap protection outlet detail on sheet DT-3.

42. The proposed private driveway designation 'Elm side' specified on the plans will need to be provided with a road designation (i.e. road, court, street, way, avenue, etc.).

Elmside Court is proposed as the driveway designation.

We believe that the above responses and revised plans have addressed the items outlined by City staff. If you have any questions or need further clarification, please do not hesitate to contact me at clritchie@fieldstonelandconsultants.com or (603) 672-5456.

Best Regards,

Fieldstone Land Consultants, PLLC



Chuck L. Ritchie

Project Engineer

Single-Family Detached Housing (210)

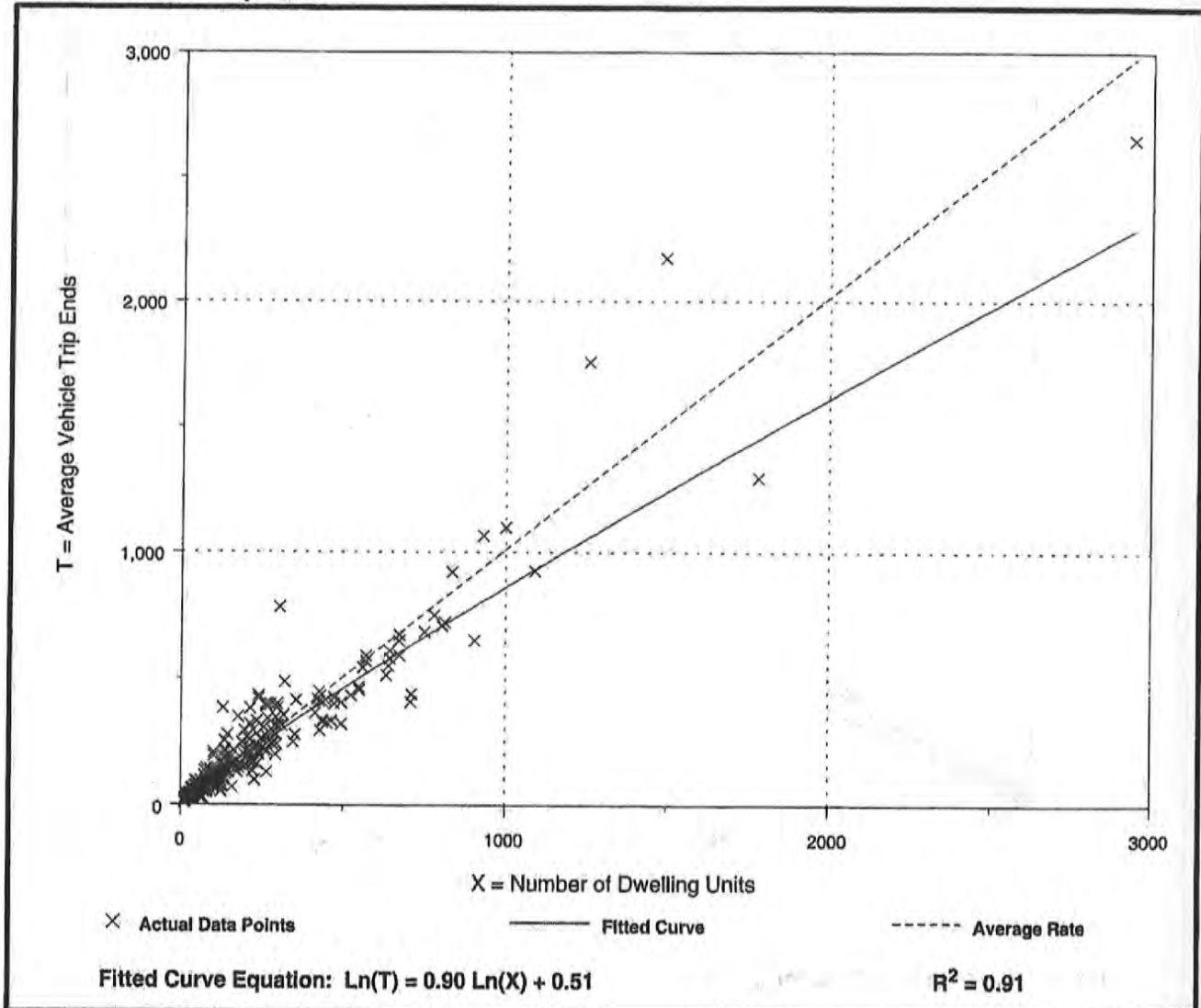
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Number of Studies: 314
 Avg. Number of Dwelling Units: 208
 Directional Distribution: 63% entering, 37% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
1.01	0.42 - 2.98	1.05

Data Plot and Equation



Single-Family Detached Housing (210)

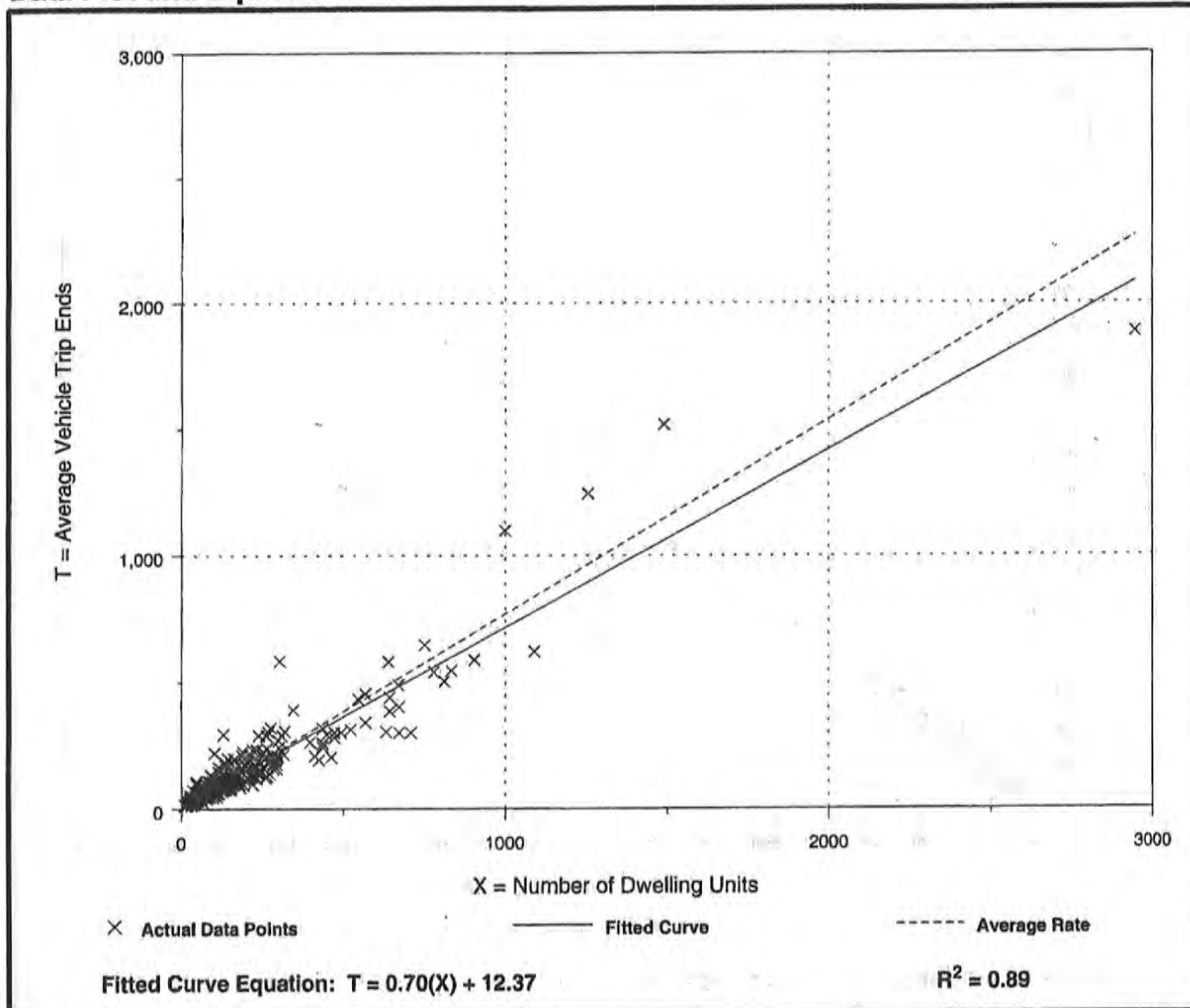
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
A.M. Peak Hour of Generator

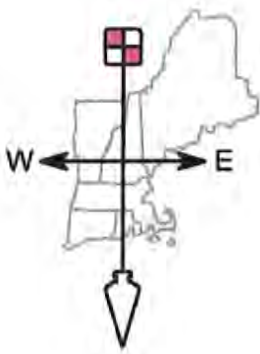
Number of Studies: 341
 Avg. Number of Dwelling Units: 181
 Directional Distribution: 26% entering, 74% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.77	0.33 - 2.27	0.91

Data Plot and Equation





FIELDSTONE

LAND CONSULTANTS, PLLC

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206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

STORM WATER MANAGEMENT REPORT PAUL & GAIL DUBRISKE – COTTAGE COURT KEENE, NEW HAMPSHIRE

Prepared for:
Paul & Gail Dubriske

November 11, 2025
Revised: December 2, 2025

I) INTRODUCTION

This stormwater management report was conducted for a proposed site development for a cottage Court Overlay single-family housing development. The proposal consists of developing Tax Map Lot 521-4 located at 454 Elm Street, in a Cottage Court single-family residential development with 18 single family dwelling units. The applicant has decided to utilize the recently adopted Cottage Court Overlay regulations with a private driveway. This layout will provide condominium style ownership for future homeowners with a goal of providing much needed affordable, owner-occupied housing.

The existing Tax Map Lot 521-4 has 2.384 acres with 284.79 feet of frontage along Elm Street and 607.24 feet of frontage on Franklin Pierce Highway. The lot is located in the Low-Density District and is currently developed with a single-family house and driveway. The house is located at the eastern portion of the site with wooded area and wetlands to the west.

The proposed buildings will have access from Elm Street via a central driveway. There is one small wetland buffer impact at the western most end of the proposed development for grading and stormwater management. A homeowner's association will be formed to provide maintenance of the access road and common facilities and amenities. The stormwater management will be constructed on site and maintained by the homeowner's association. The project will disturb 79,400± S.F. of land.

II) SITE DESCRIPTION (EXISTING)

The existing site is Tax Map Lot 521-004 has 2.384 acres and is developed with a single-family house and driveway. The front of the site along Elm Street is a stormwater management area with vegetation. This outlets into the city closed drainage in Elm Street. At the west end of the property is a jurisdictional wetland which is partially fed by runoff from the Highway along the south property line.

The NRCS Web Soil Survey indicates that the soils present on the site are mainly Monadnock fine sandy loams with Searsport mucky peat at the front and rear of the site. Monadnock is a hydrologic group "B" soil and Searsport is a hydrologic group "D" soil. Per Ksat Values for New Hampshire soils, the infiltration rate is 2.0 in/hr, after applying a factor of safety of 2, an infiltration rate of 1 in/hr was used for design.

III) METHODOLOGY

The quantity of runoff and the conveyance of that flow through the site are determined using the software package HydroCAD r 10.0 by HydroCAD Software Solutions, LLC. HydroCAD is a computer aided design program for modeling storm water hydrology based on the Soil Conservation Service (SCS) TR-20 method combined with standard hydraulics calculations used to model stormwater systems, such as detention basins, culverts, swales, and catch basins.

The stormwater management systems are designed in accordance with the methodology for the "Best Management Practices" (BMP's), as outlined in the New Hampshire Storm Water Manual, Volume 2.

IV) DRAINAGE DESIGN

In accordance with the City of Keene LDC, there will be no increase in the peak flow of surface runoff. In order to demonstrate this the two (2), ten (10), twenty-five (25) and fifty (50) year frequency storm events have been evaluated. The values for each storm modeled match the Extreme Precipitation Estimates, as listed by the Northeast Regional Climate Center, specifically for the property in Keene NH (see below). These design storms have been analyzed to compare the Pre and Post-development peak flow rates for the site (see attached comparison tables below).

2 Year = 2.75" 10 Year = 3.98" 25 Year = 4.91" 50 Year = 5.76"

Pre-Development Drainage Conditions:

The Pre-Development Drainage Area Plan outlines the area where water flows across the property. The high point of the property is in the center of the site. The north and east portion of the property flow northeast into the existing stormwater area (3P) and eventually into City closed drainage structures (1P and 2P) which is also the first observation point for this analysis (OP1). To the west of the high point, the site drains to a wetlands further west identified as the second observation point (OP2).

Post-Development Drainage Conditions:

The proposed drainage systems were designed to capture runoff from the buildings and paved areas, and direct the flow to stormwater management systems to the east and west ends of the site. All of the houses will have stone drip-strip infiltration trenches to capture the roof runoff. The proposed roadway will use closed drainage system to drain into a stormwater detention basin to mitigate the stormwater runoff rates.

The net result is that there will be a reduction of peak rates of runoff leaving this site for all storm events.

V) SUMMARY

The intent of the stormwater management system for this project is to address the qualitative and quantitative aspects of the stormwater runoff so that there are no downstream adverse impacts created by the project. To mitigate the resulting increases in runoff peak rates due to the development of Lot 521-4, this project proposes that a stormwater management system consisting of catch basins, stone berm level spreader, stormwater detention basin, and eighteen (18) drip-strip stone trenches to be constructed. The net result is that new buildings and paved areas will not increase in the peak rates of runoff leaving the site.

The stormwater management design for this project therefore complies with the standards set forth in the City of Keene's Site Plan Review Regulations.

The following table is a summary of the attached calculations and shows a comparison of the peak flow rates at the summary point for the site. The values presented are based on Pre- and Post-development conditions.

Table 1.1: Peak Flow Rates (CFS)/Volume (AF) to Observation Point 1 (OP1) – PRE VS. POST DEVELOPMENT

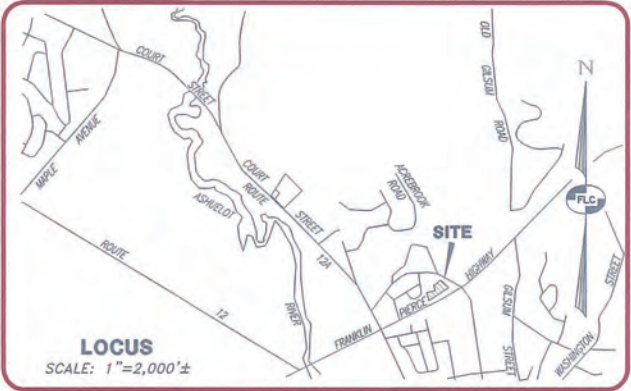
STORM FREQUENCY	PRE-DEV. RUNOFF (CFS/AF)	POST-DEV. RUNOFF (CFS/AF)	CHANGE (CFS/AF)
2-YEAR	0.27/0.036	0.33/0.098	+0.06/+0.062
10-YEAR	0.73/0.095	0.52/0.204	-0.21/+0.109
25-YEAR	1.44/0.154	1.04/0.307	-0.40/+0.153
50-YEAR	2.15/0.218	1.58/4.08	-0.57/+0.190

Table 1.2: Peak Flow Rates (CFS)/Volume (AF) to Observation Point 2 (OP2) – PRE VS. POST DEVELOPMENT

STORM FREQUENCY	PRE-DEV. RUNOFF (CFS/AF)	POST-DEV. RUNOFF (CFS/AF)	CHANGE (CFS/AF)
2-YEAR	0.62/0.066	0.61/0.064	-0.01/-0.002
10-YEAR	1.84/0.160	1.50/0.152	-0.34/-0.008
25-YEAR	2.93/0.246	2.27/0.230	-0.66/-0.016
50-YEAR	4.02/0.333	3.48/0.307	-0.54/-0.026

MULTI-FAMILY RESIDENTIAL DEVELOPMENT
- TAX MAP 521, LOT 004 -
ELMSIDE COTTAGE COURT HOUSING

454 ELM STREET
KEENE, NEW HAMPSHIRE
NOVEMBER 14, 2025
REVISED: DECEMBER 5, 2025



SHEET INDEX

PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	SP-1	SITE LAYOUT PLAN
3	EX-1	CONSOLIDATION & EXISTING CONDITIONS PLAN
4	CD-1	CONDOMINIUM SITE PLAN
5	GR-1	GRADING & DRAINAGE PLAN
6	PP-1	PLAN & PROFILE
7	UT-1	UTILITY PLAN
8	LS-1	LANDSCAPING PLAN
9	LT-1	LIGHTING PLAN
10	DT-1	EROSION CONTROL DETAILS
11	DT-2	CONSTRUCTION DETAILS
12	DT-3	CONSTRUCTION DETAILS
13	DT-4	SEWER CONSTRUCTION DETAILS
14	DT-5	WATER CONSTRUCTION DETAILS

PREPARED FOR AND LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET - KEENE, NH 03431



Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



LAND-OWNER SIGNATURE

OWNER: _____ DATE: _____

APPROVED BY THE KEENE PLANNING BOARD

ON: _____ CERTIFIED BY _____
CHAIRMAN: _____ AND _____
SECRETARY: _____

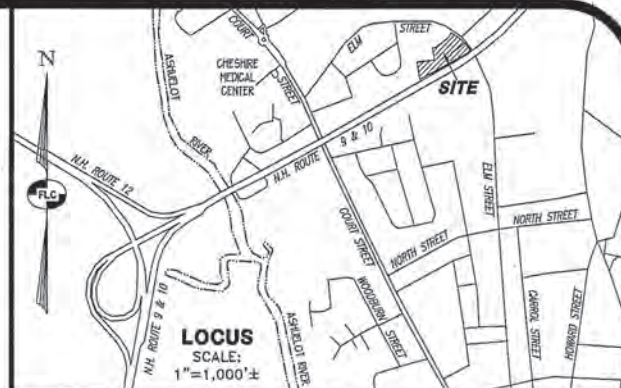
REV.	DATE	DESCRIPTION	C/O	DR	CK
A	12/5/25	REV. PER STAFF COMMENTS		CLR	CEB
FILE:	4173CV00A.dwg	PROJ. NO. 4173.00	SHEET: CV-1		

NOTES CONTINUED:

- THE BOUNDARY INFORMATION SHOWN HEREON WAS DEVELOPED ENTIRELY FROM REFERENCE PLAN #5. NO BOUNDARY SURVEY WORK WAS PERFORMED BY THIS OFFICE.
- HORIZONTAL ORIENTATION (N.H. STATE PLANE COORDINATE SYSTEM) IS BASED ON REFERENCE PLAN #5 CITED HEREON. VERTICAL DATUM IS NAVD83, DEVELOPED FROM THE N.O.A.A. ONLINE POSITIONING USER SERVICE (OPUS) WHICH UTILIZES THE HIGH-ACCURACY NATIONAL SPATIAL REFERENCE SYSTEM (NSRS).
- TOPOGRAPHY SHOWN ON THIS PLAN IS FROM A COMBINATION OF AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC PERFORMED DURING THE MONTH OF OCTOBER 2021 IN THE DEVELOPED AREAS AND THE LIDAR POINT CLOUD DATA FOR THE CONNECTICUT RIVER WATERSHED (2015-2016), SOURCED FROM NHGRANT.
- JURISDICTIONAL WETLANDS WERE DELINEATED PARTIALLY BY HUNTLEY SURVEY & DESIGN AND PARTIALLY BY CHRIS DANFORTH DURING THE MONTH OF AUGUST, 2021 USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2.
- EXISTING TAX MAP LOT 521-004 IS LOCATED IN ZONE X AND IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM PANEL NUMBER 33005C0256E, CITY OF KEENE (330023), DATED MAY 23, 2008.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS, PREVIOUS MAPS AND RECORDS OBTAINED FROM THE CITY OF KEENE. THEIR EXISTENCE MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- TRASH SHALL BE HANDLED BY EACH HOMEOWNER; NO DUMPSTERS PROPOSED.
- A BUILDING PERMIT WILL NEED TO BE SUBMITTED FOR THE CONSTRUCTION OF THE DWELLING UNITS TO BE COMPLETED BY THE CONTRACTOR.
- EACH DWELLING UNIT WILL HAVE LARGE ADDRESS NUMBERS CLEARLY VISIBLE FOR EMERGENCY RESPONSES. ADDRESSES DETERMINED BY THE 911 MANAGER. EACH HOME WILL HAVE AN INDIVIDUAL MAILBOX.
- PROPOSED STORMWATER COLLECTION SYSTEMS WILL NOT BE OWNED OR MAINTAINED BY THE CITY. THE OWNER OF SUBJECT LOT IS RESPONSIBLE FOR ALL DRAINAGE MAINTENANCE.
- ANY TREE CANOPY EXTENDING INTO THE PLANE OF ROAD TRAVEL SURFACES SHALL BE MAINTAINED AT 13' - 6" MINIMUM.
- MUNICIPAL WATER AND SEWER IS PROPOSED TO BE TAKEN OVER BY THE CITY OF KEENE. EASEMENTS ARE SHOWN HERE ON.
- CONSTRUCT BLUE PRIVATE ROAD SIGNS AT THE PROPOSED INTERSECTIONS IN CONFORMANCE WITH CITY STANDARDS.
- ANY FUTURE DEVELOPMENT WITHIN THE SURFACE WATER PROTECTION BUFFER MAY REQUIRE THE SUBMITTAL OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT TO THE CITY OF KEENE COMMUNITY DEVELOPMENT DEPARTMENT.
- THE SITE WILL BE SUBJECT TO A BLANKET EASEMENT BENEFITTING THE HOMEOWNERS ASSOCIATION FOR SNOW STORAGE, UTILITIES, AND DRAINAGE.

REFERENCE PLANS:

- PLANS OF PROPOSED - FEDERAL AID CONSOLIDATED PRIMARY PROJECT - F-012-1(3) - NH PROJECT P-2962-B - ROUTE 9 BY-PASS, DATED MARCH 24, 1977.
- PLAN OF SADOQUES PROPERTY - ELM STREET - KEENE, NH, SCALE 1"=50', DATED OCTOBER 1969, BY HERB RUSSELL, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0018-0027.
- CITY OF KEENE - SUBDIVISION FOR - LEONARD F. & WENDY B. KAPLOFF, APPROVED JUNE 23 1980 AND RECORDED JULY 7, 1980, BY FRANK A. GLINE, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0044-0091.
- PAKO PARK - SECTION 3, LAST REVISED MARCH 1958, BY W.F. ONEILL, CITY OF KEENE ENGINEERING DEPARTMENT, PLAN NO.1449.
- PLAN OF LANDS - OF - STATE OF NEW HAMPSHIRE - FRANKLIN PIERCE HIGHWAY - AND - PAUL C. & GAIL M. DUBRISKE - TAX MAP PARCEL 521-004 - BOOK 2234 PAGE 53 - 454 ELM STREET, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE, SCALE 1"=30', DATED MAY 3, 2023 AND LAST REVISED MAY 5, 2025, BY HUNTLEY SURVEY & DESIGN, PLLC, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS AS PLAN NO. 25117.



GENERAL NOTES:

- THE OWNERS OF RECORD FOR TAX MAP 521 LOT 004 ARE PAUL C. & GAIL M. DUBRISKE, 454 ELM STREET, KEENE, NH 03431. THE DEED REFERENCE FOR THE LOT IS BK. 2234 PG. 53 DATED APRIL 11, 2005, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED COTTAGE COURT DEVELOPMENT WITH ASSOCIATED SITE IMPROVEMENTS OVER TAX MAP LOT 521-004.
- THE TOTAL AREA OF EXISTING TAX MAP LOT 521-004 IS 103,856 SQ.FT. OR 2.384 ACRES WITH A TOTAL FRONTAGE ALONG ELM STREET OF 284.79 FT.
- ZONING FOR THE LOT IS THE LOW DENSITY DISTRICT (LD). REQUIREMENTS FOR THE LOW DENSITY DISTRICT ARE:
MINIMUM LOT AREA = 10,000 SQ.FT.
MINIMUM FRONTAGE = 60 FT.
FRONT SETBACK = 15 FT.
SIDE SETBACK = 10 FT.
REAR SETBACK = 20 FT.
MAXIMUM BUILDING HEIGHT = 2 STORIES OR 35 FT.
MAXIMUM BUILDING COVERAGE = 35%
MAXIMUM IMPERMEABLE COVERAGE = 45%

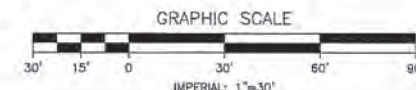
IN THE LOW DENSITY DISTRICT, THE SURFACE WATER PROTECTION DISTRICT BUFFER IS 30 FT. WIDE. THIS BUFFER MAY BE REDUCED TO 10 FT. WIDE AT THE DISCRETION OF THE PLANNING BOARD AND THE APPLICATION OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT.

5. THE PARCEL IS SUBJECT TO THE CITY OF KEENE COTTAGE COURT OVERLAY DISTRICT. PROPOSED USE TO BE SINGLE FAMILY DWELLINGS.

REQUIRED:	PROPOSED:
MAX BUILDING HEIGHT=2.5 STORIES OR 35'	MAX HEIGHT = 32'-6"
MAX AVG GROSS AREA=1,250 S.F. (EXCLUDING GARAGES)	AVG. 1,248 S.F.
MAX BUILDING FOOTPRINT=900 S.F. (EXCLUDING GARAGES & PORCHES)	895 S.F.
ROAD WIDTH=20-24' FT	20 FT
MAX BUILDING COVERAGE=35%	21.6%
MAX IMPERVIOUS COVERAGE=45%	36.3%
AREA OF DISTURBANCE=	78,400± S.F.

BUILDING DESCRIPTIONS:	BUILDING 1:	BUILDING 2:	BUILDING 3:
AMOUNT (#):	5	5	5
GROSS AREA (S.F.):	1,365	1,365	895
FOOTPRINT (S.F.):	895	895	895
BEDROOMS:	3	3	2

TOTAL GROSS AREA: 22,480 S.F.



REV.	DATE	DESCRIPTION	CLERK	CEB
A	12/2/25	REV. PER STAFF COMMENTS	---	---

SITE LAYOUT PLAN
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
 PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
 454 ELM STREET, KEENE, NH 03431

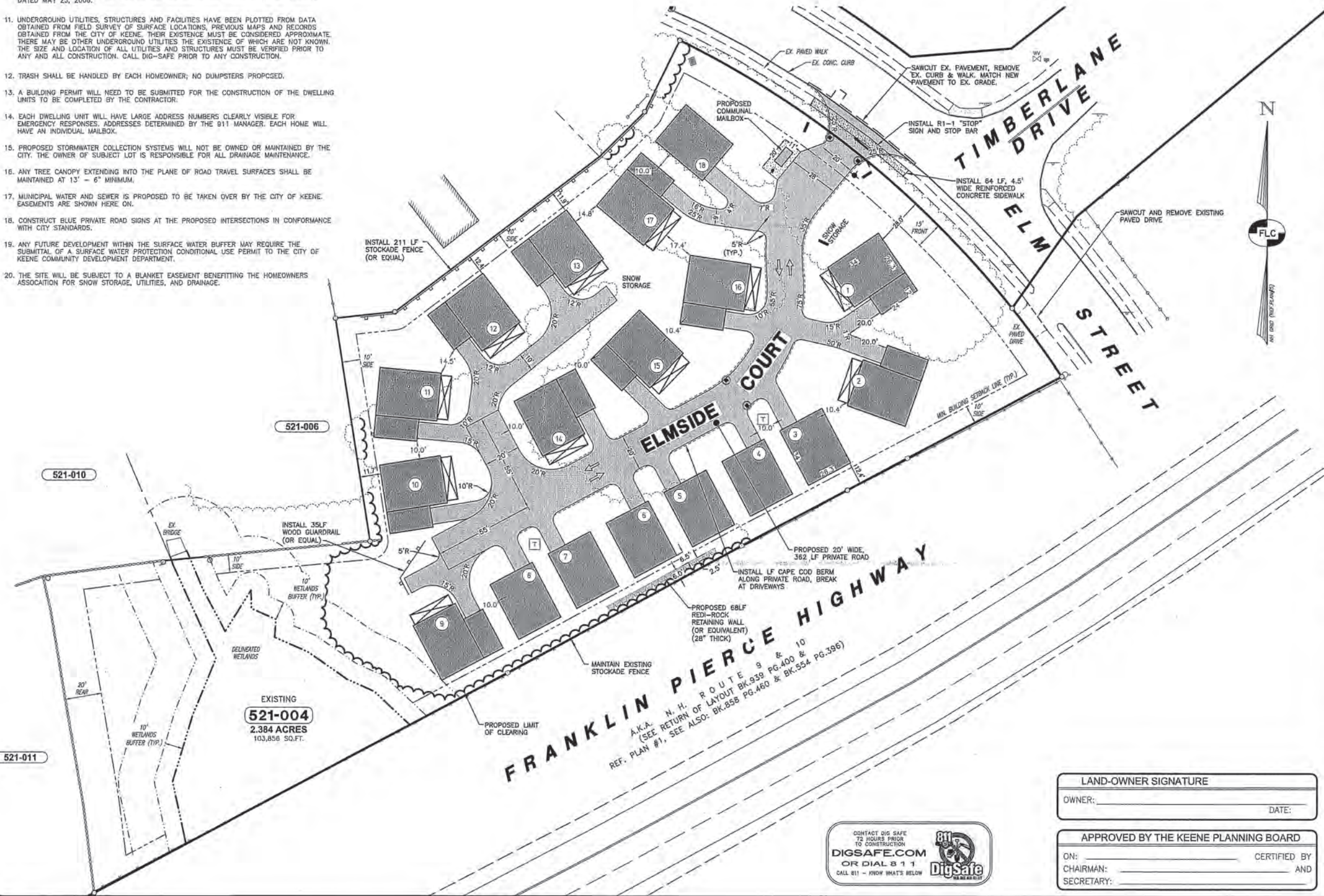
SCALE: 1"=30' NOVEMBER 14, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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FILE: 4173P00A.DWG PROJ. NO. 4173.00 SHEET NO. 52-1



LEGEND:

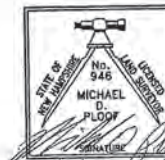
—	RIGHT-OF-WAY LINE	○(N.H.B.F.)	INDOT CONCRETE ROUND FOUND
---	BOUNDARY LINE	○(P.P.F.)	IRON PIN SET PER REF. PLAN(S)
---	FORMER TRACT LINE	○(P.P.F.)	IRON PIPE FOUND
---	ABUTTING LOT LINE	---	OUTLET OR DRAIN LINE
---	BUILDING SETBACK LINE	---	SEWER LINE
---	EDGE OF PAVED ROAD	---	OVERHEAD UTILITY LINE
---	EDGE OF GRAVEL ROAD	---	UNDERGROUND UTILITY LINE
---	CURB LINE	---	GAS LINE
---	STONE WALL	---	WATER LINE
---	EDGE OF TREE LINE	---	UTILITY POLE & GUY
---	EDGE OF WETLANDS	---	CATCH BASIN (SQUARE)
---	WETLANDS BUFFER LINE	---	DRAIN MAN-HOLE
---	10' CONTOUR INTERVAL	---	SEWER MAN-HOLE
---	2' CONTOUR INTERVAL	---	WATER HYDRANT
---	CHAIN-LINK FENCE	---	WATER VALVE
---	WIRE R.O.W. FENCE	---	WATER SHUT-OFF
---	GARDEN OR LANDSCAPED AREA	---	ELECTRICAL BOX
---		---	ORNAMENTAL TREES
---		---	ORNAMENTAL SHRUB

521-004 TAX MAP & LOT NUMBER

T.B.R. TO BE REMOVED

CERTIFICATION:

I HEREBY CERTIFY THAT THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM REFERENCE PLAN #5 CITED HEREON AND FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF AUGUST 2025.



103-001

(459 ELM STREET)
LEO ECHAVARRIA
459 ELM STREET
KEENE, NH 03431
BK.3228 PG.118 9/16/2022

R=538.96
L=265.62'
CB=549°48'41"E
CD=262.94'
D=28°14'14"

R=1398.40
L=19.17'
CB=535°18'00"E
CD=19.17'
D=00°47'08"

N



N



NOTES:

- THE OWNERS OF RECORD FOR TAX MAP 521 LOT 004 ARE PAUL C. & GAIL M. DUBRISKE, 454 ELM STREET, KEENE, NH 03431. THE DEED REFERENCE FOR THE LOT IS BK.2234 PG.53 DATED APRIL 11, 2005, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS. OWNER OF THE FORMER ELM STREET RIGHT-OF-WAY AND RE-LOCATION TAKING IS THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, 7 HAZEN DRIVE, CONCORD, NH 03302, SEE BK.339 PG.324 - BK.339 PG.400, OF WHICH, WILL BE MERGED INTO EXISTING TAX LOT 521-004.
- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE PORTIONS OF THE FORMER ELM STREET RIGHT-OF-WAY WITH TAX MAP 521-004 AND DEPICT THE EXISTING CONDITIONS FOR THE SITE.
- THE TOTAL AREA OF EXISTING TAX MAP LOT 521-004 IS 103,856 SQ.FT. OR 2.384 ACRES WITH A TOTAL FRONTAGE ALONG ELM STREET OF 284.79 FT.
- ZONING FOR THE LOT IS THE LOW DENSITY DISTRICT (LD). REQUIREMENTS FOR THE LOW DENSITY DISTRICT ARE:
MINIMUM LOT AREA = 10,000 SQ.FT.
MINIMUM FRONTAGE = 60 FT.
FRONT SETBACK = 15 FT.
SIDE SETBACK = 10 FT.
REAR SETBACK = 20 FT.
MAXIMUM BUILDING HEIGHT = 2 STORIES OR 35 FT.
MAXIMUM BUILDING COVERAGE = 35%
MAXIMUM IMPERMEABLE COVERAGE = 45%
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REV.	DATE	DESCRIPTION	C/O	DR	CK
D	12/02/25	ADDRESS STAFF COMMENTS		CDF	MDP
C	11/12/25	MINOR PLAN REVISIONS, UPDATE ABUTTERS		COF	MDP
B	08/13/25	MERGE GROUND TOPD WITH LIDAR		TJB	MDP
A	08/13/25	MODEL AND ADD CONTOURS		TJB	MDP

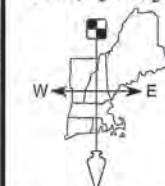
CONSOLIDATION & EXISTING CONDITIONS PLAN

TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30'

AUGUST 13, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



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FILE: 4173EX000.DWG

PROJ. NO. 4173.00

SHEET NO. 81

521-010
(14 MARSHALL COURT)
RANDY C. MURPHY
14 MARSHALL COURT
KEENE, NH 03431
BK.3017 PG.1094 2/22/2018

521-006
(470 ELM STREET)
FREDERICK H. HAAS III
P.O. BOX 664
KEENE, NH 03431-0664
BK.2831 PG.125 7/26/2013

EXISTING
521-004
2.384 ACRES
103,857 SQ.FT.

520-002

(440 ELM STREET)
BRUCE A. BISSELL
440 ELM STREET
KEENE, NH 03431
BK.2007 PG.233 6/28/2007

520-004

(431 ELM STREET)
MICHELLE C. YOUNG
431 ELM STREET
KEENE, NH 03431
BK.2128 PG.775 4/16/2004

REFERENCE PLANS:

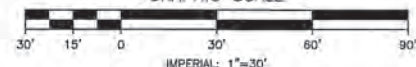
- PLANS OF PROPOSED - FEDERAL AID CONSOLIDATED PRIMARY PROJECT - F-012-1(3) - NH PROJECT P-2962-B - ROUTE 9 BY-PASS, DATED MARCH 24, 1977.
- PLAN OF SADOQUIES PROPERTY - ELM STREET - KEENE, NH, SCALE 1"=50', DATED OCTOBER 1969, BY HERB RUSSELL RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0018-0027.
- CITY OF KEENE - SUBDIVISION FOR - LEONARD F. & WENDY B. KAPLOFF, APPROVED JUNE 23 1980 AND RECORDED JULY 7, 1980, BY FRANK A. GUINE, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0044-0091.
- "PAKO PARK - SECTION 3", LAST REVISED MARCH 1958, BY W.F. ONEILL, CITY OF KEENE ENGINEERING DEPARTMENT, PLAN NO.1449.
- "PLAN OF LANDS - OF - STATE OF NEW HAMPSHIRE - FRANKLIN PIERCE HIGHWAY - AND - PAUL C. & GAIL M. DUBRISKE - TAX MAP PARCEL 521-004 - BOOK 2234 PAGE 53 - 454 ELM STREET, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE", SCALE 1"=30', DATED MAY 3, 2023 AND LAST REVISED MAY 6, 2025, BY HUNTLEY SURVEY & DESIGN, PLLC, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS AS PLAN NO. 25117.

521-059
(20 EAST DANE CIR.)
JAMIE E. LORD
20 EAST DANE CIRCLE
KEENE, NH 03431
BK.2822 PG.394 2/8/20109 BK.969 PG.159 6/5/1979

520-001

(422 ELM STREET)
UNION SCHOOL DISTRICT
C/O SAU 29
193 MAPLE AVE.
KEENE, NH 03431-1602
BK.2822 PG.394 2/8/20109 BK.969 PG.159 6/5/1979

GRAPHIC SCALE



LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- FORMER TRACT LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- CURB LINE
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- WIRE R.O.W. FENCE
- GARDEN OR LANDSCAPED AREA
- TAX MAP & LOT NUMBER
- N.H.H.B.(F)
- IRON PIN SET PER REF. PLANS
- IRON PIPE FOUND
- CULVERT OR DRAIN LINE
- SEWER LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- GAS LINE
- WATER LINE
- UTILITY POLE & GUY
- CATCH BASIN (SQUARE)
- DRAIN MAN-HOLE
- SEWER MAN-HOLE
- WATER INGRANT
- WATER VALVE
- WATER SHUT-OFF
- ELECTRICAL BOX
- ORNAMENTAL TREES
- ORNAMENTAL SHRUBS

PROPOSED FEATURES

- LIMITED COMMON AREA LINE
- LIMITED COMMON AREA NUMBER
- EDGE OF PAVEMENT
- DWELLING UNIT AND UNIT NUMBER

REFERENCE PLANS:

- "PLANS OF PROPOSED - FEDERAL AID CONSOLIDATED PRIMARY PROJECT - F-012-1(3) - NH PROJECT P-2982-B - ROUTE 9 BY-PASS", DATED MARCH 24, 1977.
- "PLAN OF SADOQUES PROPERTY - ELM STREET - KEENE, NH, SCALE 1"=50', DATED OCTOBER 1989, BY HERB RUSSELL. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0018-0027.
- "CITY OF KEENE - SUBDIVISION FOR - LEONARD F. & WENDY B. KAPLOFF", APPROVED JUNE 23 1980 AND RECORDED JULY 7, 1980, BY FRANK A. GLINE. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0044-0081.
- "PAKO PARK - SECTION 3", LAST REVISED MARCH 1958, BY W.F. ONEILL, CITY OF KEENE ENGINEERING DEPARTMENT, PLAN NO.1448.
- "PLAN OF LANDS - OF - STATE OF NEW HAMPSHIRE - FRANKLIN PIERCE HIGHWAY - AND - PAUL C. & GAIL M. DUBRISKE - TAX MAP PARCEL 521-004 - BOOK 2234 PAGE 53 - 454 ELM STREET, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE", SCALE 1"=30', DATED MAY 3, 2023 AND LAST REVISED MAY 5, 2025, BY HUNTLEY SURVEY & DESIGN, PLLC. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS AS PLAN NO. 25065.



NOTES:

- THE OWNERS OF RECORD FOR TAX MAP 521 LOT 004 ARE PAUL C. & GAIL M. DUBRISKE, 454 ELM STREET, KEENE, NH 03431. THE DEED REFERENCE FOR THE LOT IS BK. 2234 PG. 53 DATED APRIL 11, 2005, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED COTTAGE COURT DEVELOPMENT WITH ASSOCIATED SITE IMPROVEMENTS OVER TAX MAP LOT 521-004.
- THE TOTAL AREA OF EXISTING TAX MAP LOT 521-004 IS 103,856 SQ.FT. OR 2.384 ACRES WITH A TOTAL FRONTAGE ALONG ELM STREET OF 284.79 FT.
- ZONING FOR THE LOT IS THE LOW DENSITY DISTRICT (LD) AND COTTAGE COURT OVERLAY DISTRICT. REQUIREMENTS FOR THE LOW DENSITY DISTRICT ARE:
MINIMUM LOT AREA = 10,000 SQ.FT.
MINIMUM FRONTAGE = 60 FT.
FRONT SETBACK = 15 FT.
SIDE SETBACK = 10 FT.
REAR SETBACK = 20 FT.
MAXIMUM BUILDING HEIGHT = 2 STORIES OR 35 FT.
MAXIMUM BUILDING COVERAGE = 35%
MAXIMUM IMPERMEABLE COVERAGE = 45%
IN THE LOW DENSITY DISTRICT, THE SURFACE WATER PROTECTION DISTRICT BUFFER IS 30 FT. WIDE. THIS BUFFER MAY BE REDUCED TO 10 FT. WIDE AT THE DISCRETION OF THE PLANNING BOARD AND THE APPLICATION OF A SURFACE WATER PROTECTION CONDITIONAL USE PERMIT.
- REQUIREMENTS FOR THE COTTAGE COURT OVERLAY DISTRICT ARE:
MINIMUM LOTS SIZE = NONE
MINIMUM TRACT FRONTAGE = 30'
- THE BOUNDARY INFORMATION SHOWN HEREON WAS DEVELOPED ENTIRELY FROM REFERENCE PLAN #5. NO BOUNDARY SURVEY WORK WAS PERFORMED BY THIS OFFICE.
- HORIZONTAL ORIENTATION (N.H. STATE PLANE COORDINATE SYSTEM) IS BASED ON REFERENCE PLAN #5 CITED HEREON. VERTICAL DATUM IS NAVD83. DEVELOPED FROM THE N.O.A.A. ONLINE POSITIONING USER SERVICE (OPUS) WHICH UTILIZES THE HIGH-ACCURACY NATIONAL SPATIAL REFERENCE SYSTEM (NSRS).
- TOPOGRAPHY SHOWN ON THIS PLAN IS FROM A COMBINATION OF AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC. PERFORMED DURING THE MONTH OF OCTOBER 2021 IN THE DEVELOPED AREAS AND THE LIDAR POINT CLOUD DATA FOR THE CONNECTICUT RIVER WATERSHED (2015-2016), SOURCED FROM NHORANT.
- JURISDICTIONAL WETLANDS WERE DELINEATED PARTIALLY BY HUNTLEY SURVEY & DESIGN AND PARTIALLY BY CHRIS DAMPORTH DURING THE MONTH OF AUGUST, 2021 USING THE THREE PARAMETER APPROACH DESCRIBED IN TECHNICAL MANUAL Y-87-1, THE CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND SUPPLEMENTED BY THE JANUARY 2012, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION U.S. ARMY CORPS OF ENGINEERS, V.2.
- EXISTING TAX MAP LOT 521-004 IS LOCATED IN ZONE X AND IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM PANEL NUMBER 330050258E, CITY OF KEENE (330023), DATED MAY 23, 2006.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS, PREVIOUS MAPS AND RECORDS OBTAINED FROM THE CITY OF KEENE. THEIR EXISTENCE MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES THE EXISTENCE OF WHICH ARE NOT KNOWN. THE SIZE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.

A	12/1/25	REV. PER STAFF REPORT	---	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

CONDOMINIUM SITE PLAN

TAX MAP 521 LOT 004

(454 ELM STREET)

KEENE, NEW HAMPSHIRE

PREPARED FOR & LAND OF:

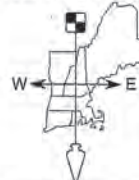
PAUL C. & GAIL M. DUBRISKE

454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30'

NOVEMBER 14, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs



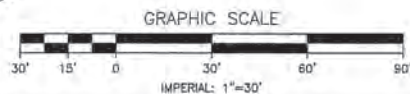
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 4173SP00.DWG

PROJ. NO. 4173.00

SHEET NO. 00-1



CERTIFICATION:

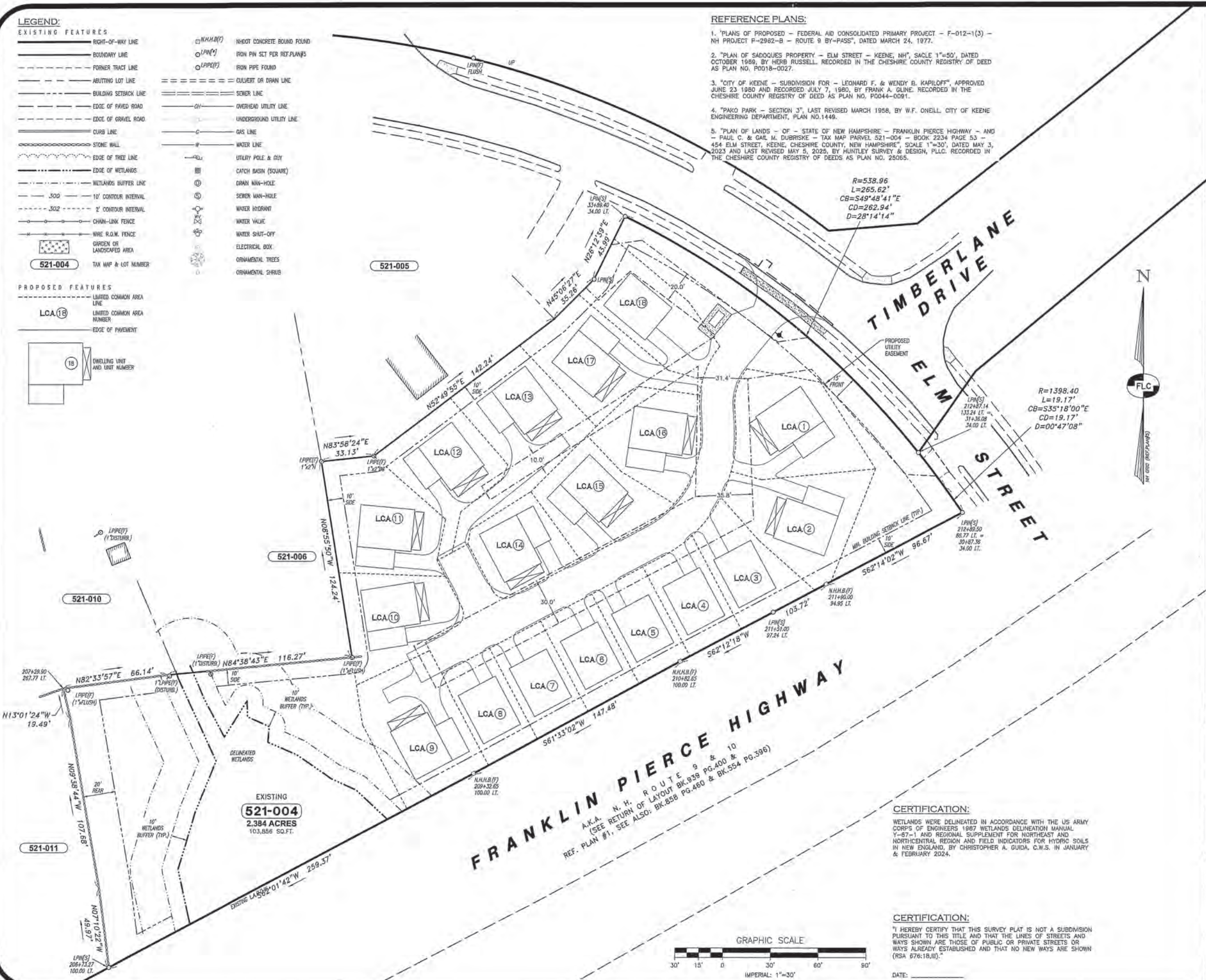
WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTHCENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S. IN JANUARY & FEBRUARY 2024.

CERTIFICATION:

"I HEREBY CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN (RSA 676:18,II)."

DATE: _____

FRANKLIN PIERCE HIGHWAY
A.K.A. N. H. ROUTE 9 & 10
(SEE RETURN OF LAYOUT BK.958 PG.400 & BK.858 PG.480 & BK.554 PG.396)
REF. PLAN #1



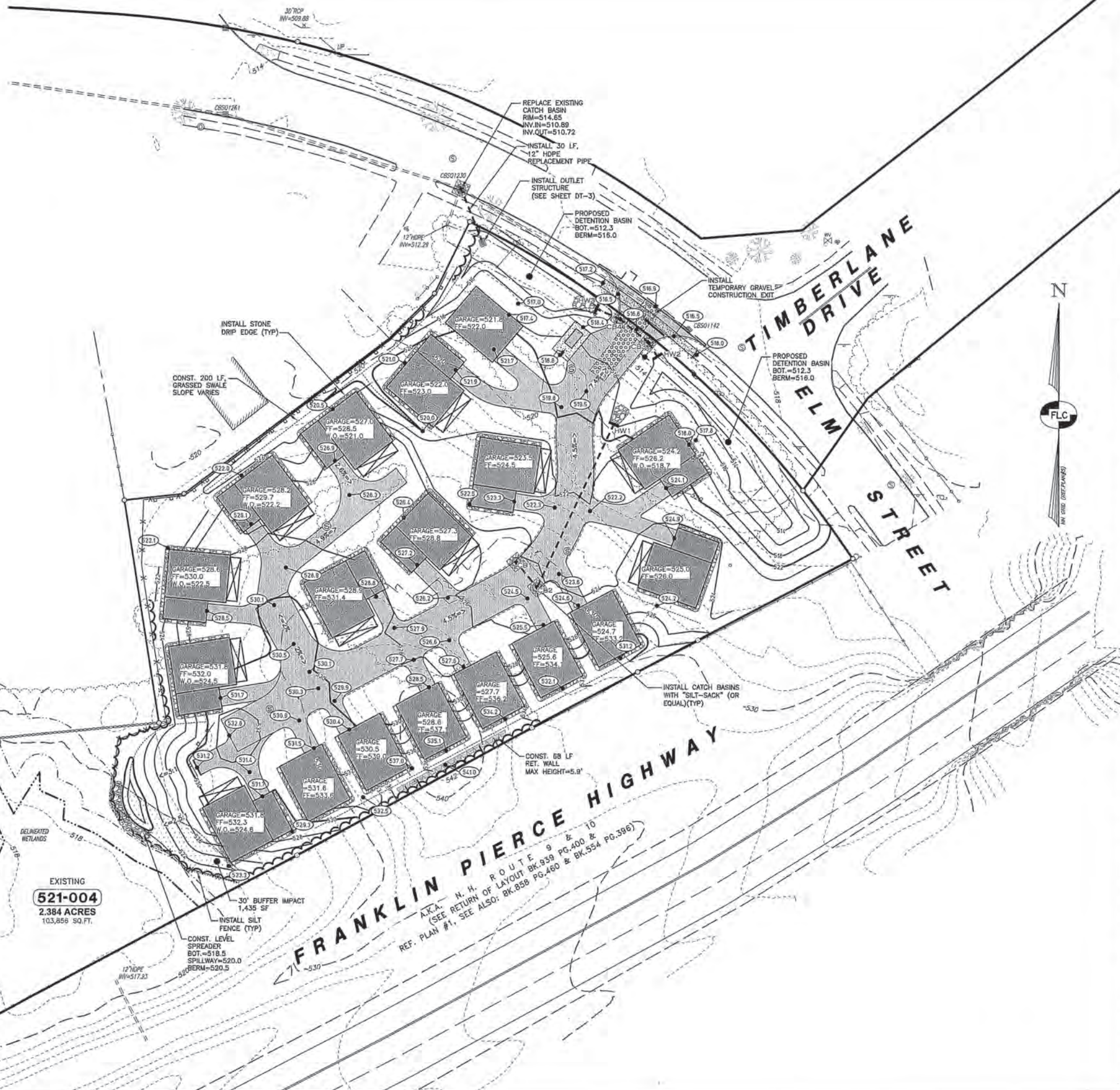
LEGEND:

PROPOSED FEATURES

- EDGE OF PAVEMENT
- SLOPED GRANT EMBANKMENT
- SAWCUT LINE
- LIMIT OF CLEARING
- RETAINING WALL

- GARAGE MOUNTED LIGHT
- TRAVELLING UNIT AND UNIT NUMBER

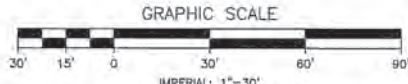
- STORM WATER DRAINAGE
- STORM DRAIN MANHOLE
- LIGHT
- UTILITY POLE
- UTILITY BOX LOCATION
- UNDERGROUND ELECTRIC
- GAS
- WATER LINE
- SEWER LINE
- SEWER MANHOLE
- WATER HYDRANT
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- OVERHEAD UTILITY LINE
- WATER LINE
- SEWER LINE
- WATER VALVE
- WATER SHUT-OFF
- SILT-SACK OR EQUAL



CONSTRUCTION SEQUENCE NOTES:

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. BEGIN BUILDING CONSTRUCTION.
7. CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING (IF ANY) AND LOADING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING (IF ANY). PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.
15. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

SEE SITE LAYOUT PLAN SHEET SP-1 FOR
PLAN REFERENCES, GENERAL NOTES &
EXISTING FEATURES LEGEND.



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	12/2/25	REV. PER STAFF COMMENTS		CLR	CEB

GRADING AND DRAINAGE PLAN
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
 PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
 454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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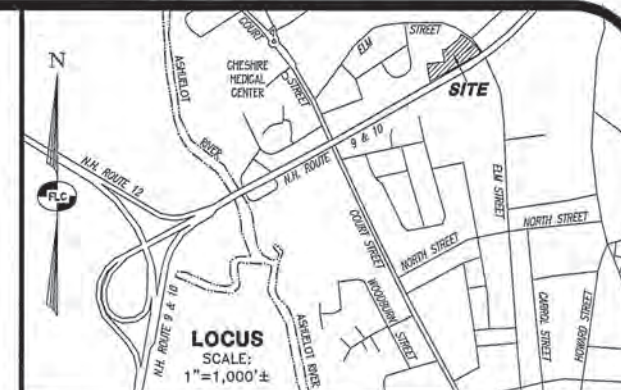
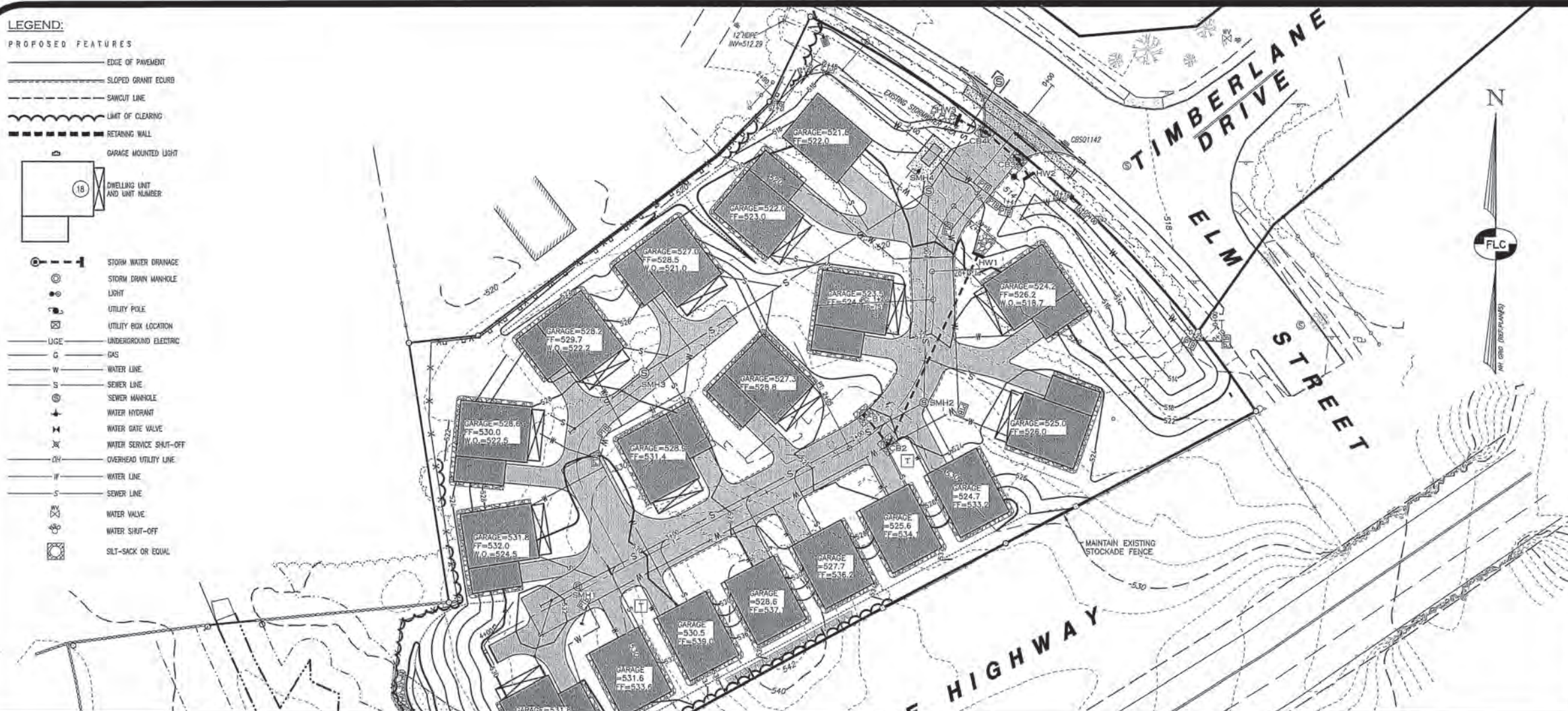
LEGEND:

PROPOSED FEATURES

- EDGE OF PAVEMENT
- SLOPED GRANT ECURS
- SAWCUT LINE
- UNIT OF CLEARING
- RETAINING WALL
- GARAGE MOUNTED LIGHT



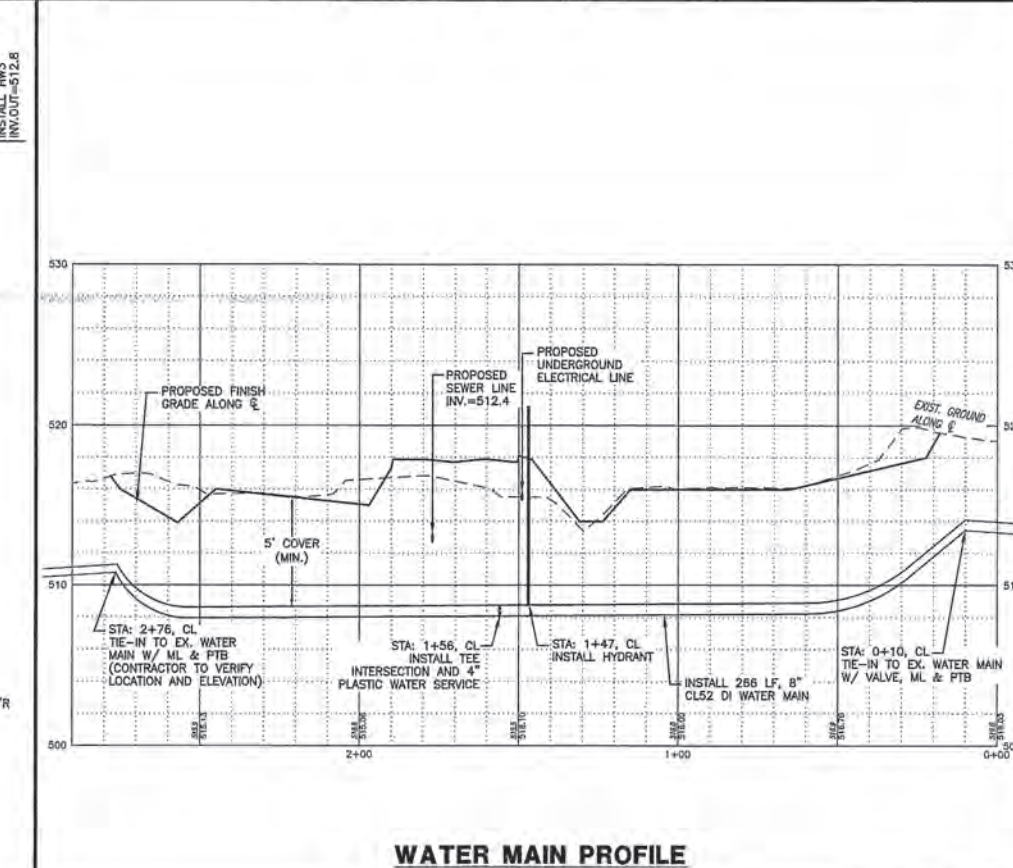
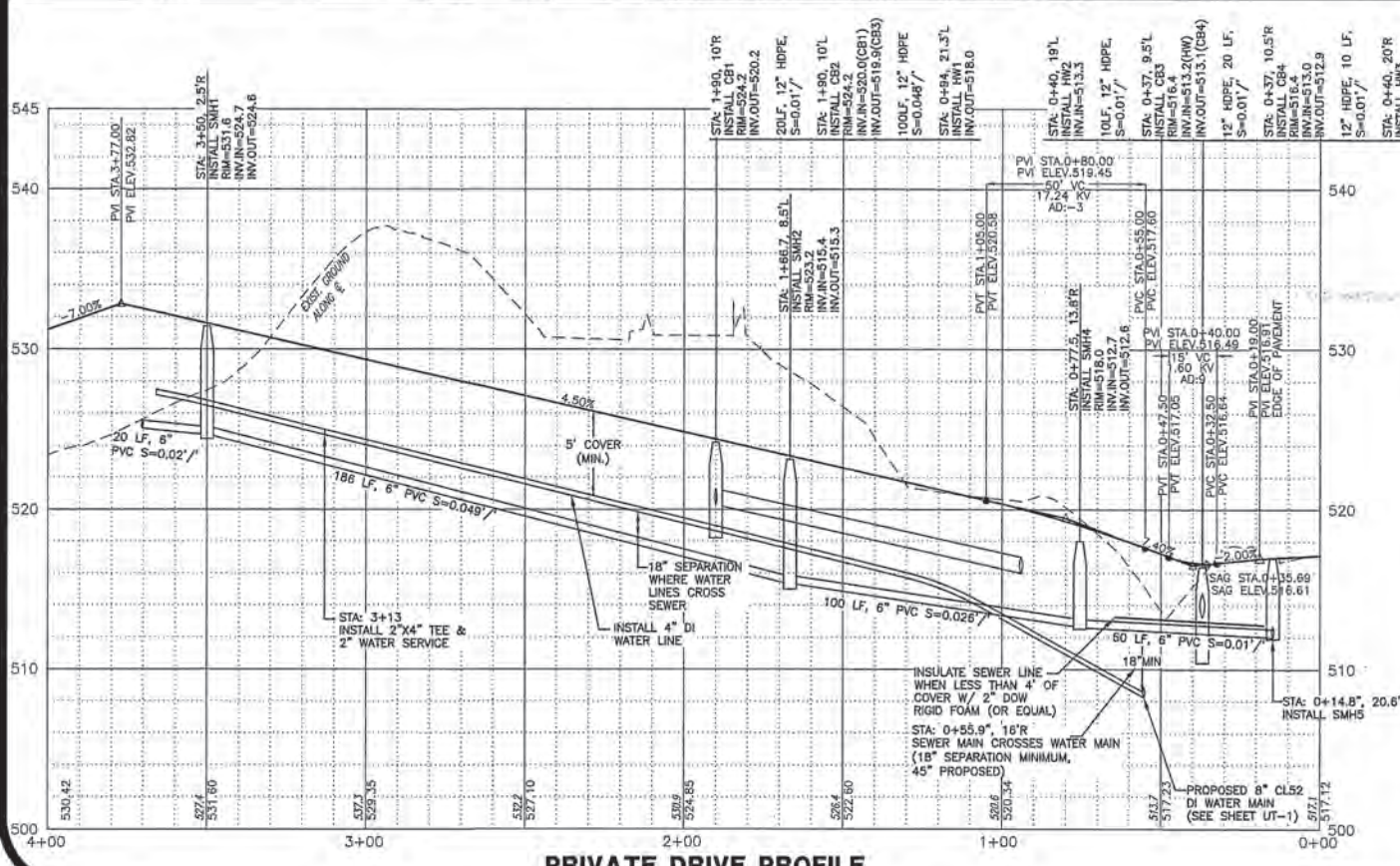
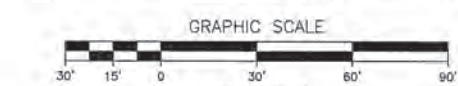
- STORM WATER DRAINAGE
- STORM DRAIN MANHOLE
- LIGHT
- UTILITY POLE
- UTILITY BOX LOCATION
- UGCE
- UNDERGROUND ELECTRIC
- G
- GAS
- W
- WATER LINE
- S
- SEWER LINE
- SEWER MANHOLE
- WATER HYDRANT
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- OVH
- OVERHEAD UTILITY LINE
- W
- WATER LINE
- S
- SEWER LINE
- W
- WATER VALVE
- W
- WATER SHUT-OFF
- SILT-SACK OR EQUAL



CONSTRUCTION SEQUENCE NOTES:

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. BEGIN BUILDING CONSTRUCTION.
7. CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
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SEE SITE LAYOUT PLAN SHEET SP-1 FOR PLAN REFERENCES, GENERAL NOTES & EXISTING FEATURES LEGEND.



REV.	DATE	REV. PER STAFF COMMENTS	DESCRIPTION	CLR	CEB
A	12/2/25				

PLAN & PROFILE
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
 PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
 454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

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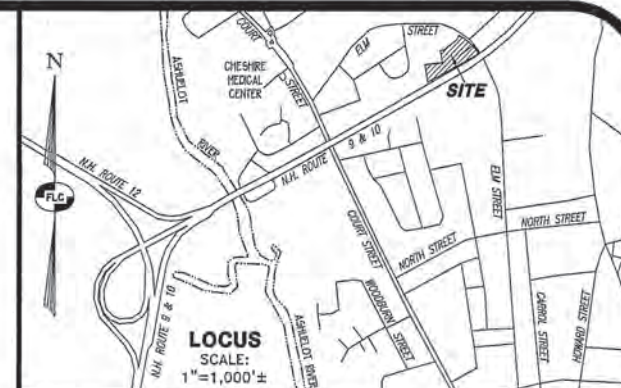
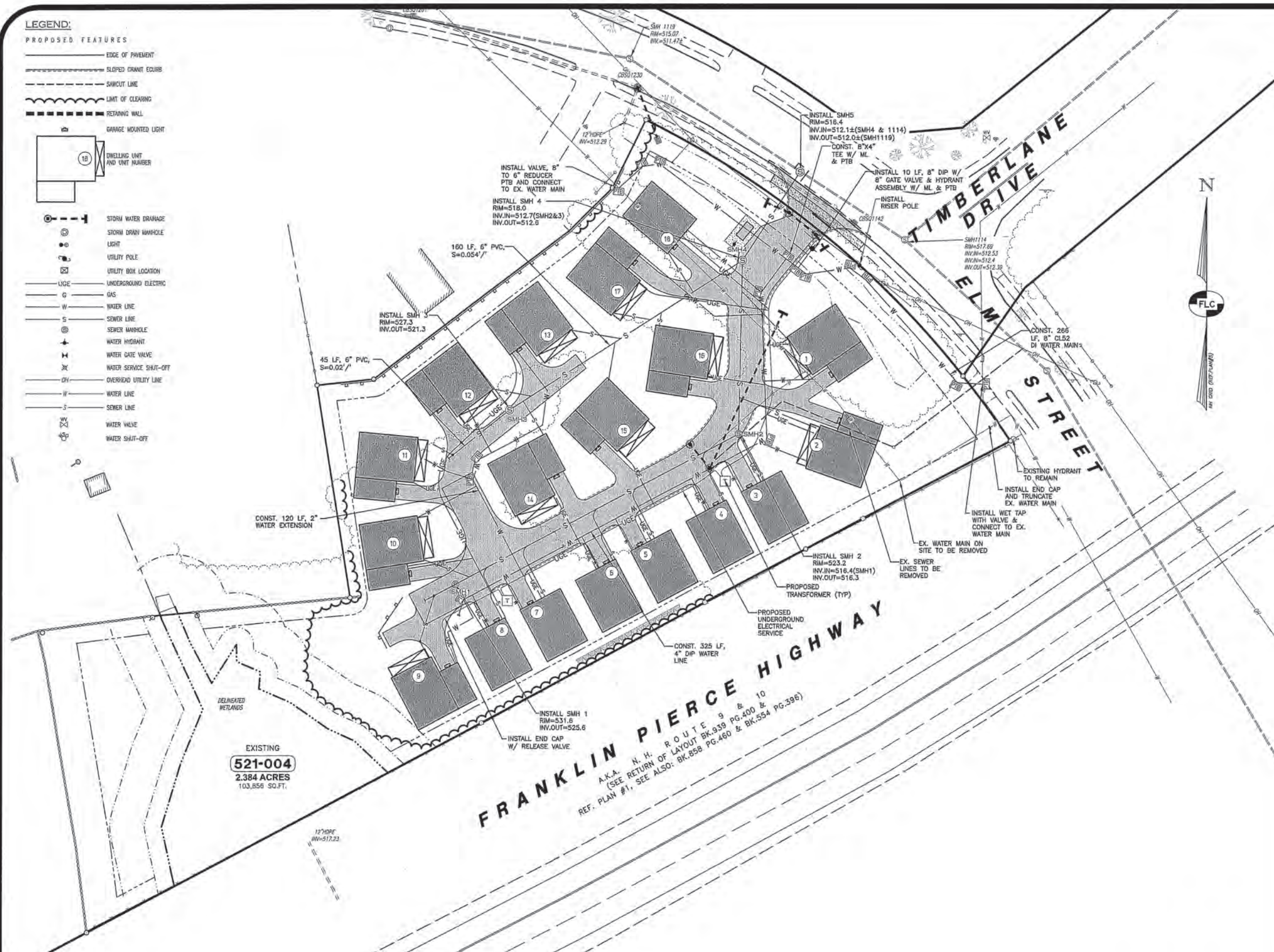
LEGEND:

PROPOSED FEATURES

- EDGE OF PAVEMENT
- SLOPED GRANT EOURB
- SWIMOUT LINE
- LIMIT OF CLEARING
- RETAINING WALL



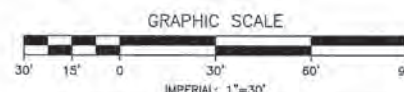
- STORM WATER DRAINAGE
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- UTILITY POLE
- UTILITY BOX LOCATION
- UGCE UNDERGROUND ELECTRIC
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- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- OVERHEAD UTILITY LINE
- W WATER LINE
- S SEWER LINE
- WATER VALVE
- WATER SHUT-OFF



UTILITY NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF KEENE AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF KEENE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIOSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS. THE WATER AND SEWER CONNECTIONS IN ELM STREET WILL REQUIRE AN EXCAVATION PERMIT AND COORDINATION WITH KEENE PUBLIC WORKS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF KEENE FIRE DEPARTMENT REGULATIONS. BASED ON TEST PITS, THIS IS UNLIKELY TO BE PRESENT.
- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDING IMMEDIATELY UPON BEING CONSTRUCTED. THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS. THE POWER SERVICE SIZES SHALL BE VERIFIED BY AN ELECTRICAL ENGINEER AND EVERSOURCE.
- ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE DEVELOPER WILL BE REQUIRED TO OBTAIN AN EXCAVATION AND UTILITY CONNECTION PERMIT FOR THE PROPOSED IMPROVEMENTS.

SEE SITE LAYOUT PLAN SHEET SP-1 FOR PLAN REFERENCES, GENERAL NOTES & EXISTING FEATURES LEGEND.



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	12/2/25	REV. PER STAFF COMMENTS		CLR	CEB

UTILITY PLAN
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF,
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

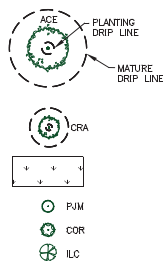
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PLANT SYMBOLS



PLANT LIST & NAME

ACER RUBRUM (RED MAPLE TREE)

CRATAEGUS MACROSPERMA (HAWTHORN)

NORTHEAST NATIVE SEED MIX

POLLINATOR SERIES WILDFLOWER MIX

P.J.M. RHODODENDRON SHRUB

CORNUS AMOMUM (SILKY DOGWOOD SHRUB)

ILEX VERTICILLATA (WINTERBERRY SHRUB)

QTY.

(4) 3" CAL., 12' TALL, 6" DRIP LINE

50'H, 40' DRIP LINE AT MATURITY

(9) 3" CAL., 10' TALL, 5" DRIP LINE

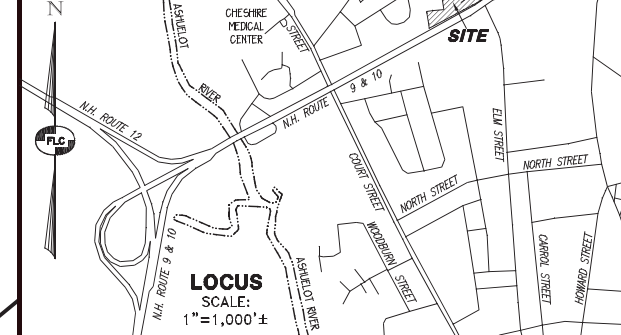
25'H, 20' DRIP LINE AT MATURITY

USED IN WETLAND BUFFER AREA. SEED APPLIED AT RATE PER MANUFACTURER'S LABEL. ERNST CONSERVATION SEEDS O.A.E.

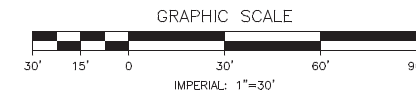
(9) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE)

(9) 3 GALLON CONTAINER, 2.5' - 3'H (8'H MATURE)

(12) 2 GALLON CONTAINER, 1.5' - 2'H (4'H MATURE)



- LANDSCAPING NOTES:
1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 2. EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES.
 3. EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
 4. UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 5. UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 6. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 8. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1-YEAR OR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS FIRST.
 9. IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 10. UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 11. WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 12. PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
 13. ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS TO PROVIDE SAFE PASSAGE OF PEDESTRIANS, BICYCLISTS, AND MOTORISTS.
 14. ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 15. PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
 16. ALL LANDSCAPING APPROVED AS PART OF THE SITE PLAN SHALL BE CONSIDERED AS ELEMENTS OF THE SITE, IN THE SAME MANNER AS PARKING, BUILDING MATERIALS, AND OTHER SITE DETAILS. ANY CHANGES WILL REQUIRE APPROVAL BY THE OWNER AND CITY COMMUNITY DEVELOPMENT DIRECTOR.



B	12/16/25	REV. PER CONS. COM. MEETING		JEN	CEB
A	12/2/25	REV. PER STAFF COMMENTS	---	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

LANDSCAPING PLAN
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

**FIELDSTONE**
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
45 Roxbury Street, Keene, NH 03431
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

LEGEND:

RIGHT-OF-WAY LINE	1/4" (N.H.R.P.)	NUDOL CONCRETE BOUND FOUND
BOUNDARY LINE	1/4" (N.H.R.P.)	IRON PIN SET PER REF. PLAN 5
FORMER TRACT LINE	1/4" (N.H.R.P.)	IRON PIPE FOUND
ABUTTING LOT LINE	1/4" (N.H.R.P.)	CULVERT OR DRAIN LINE
BUILDING SETBACK LINE	1/4" (N.H.R.P.)	SEWER LINE
EDGE OF PAVED ROAD	1/4" (N.H.R.P.)	OVERHEAD UTILITY LINE
EDGE OF GRAVEL ROAD	1/4" (N.H.R.P.)	UNDERGROUND UTILITY LINE
CURB LINE	1/4" (N.H.R.P.)	GAS LINE
STONE WALL	1/4" (N.H.R.P.)	WATER LINE
EDGE OF TREE LINE	1/4" (N.H.R.P.)	UTILITY POLE & GUY
EDGE OF WETLANDS	1/4" (N.H.R.P.)	CATCH BASIN (SQUARE)
WETLANDS BUFFER LINE	1/4" (N.H.R.P.)	DRAIN MAN-HOLE
300' 10' CONTOUR INTERVAL	1/4" (N.H.R.P.)	SEWER MAN-HOLE
302' 2' CONTOUR INTERVAL	1/4" (N.H.R.P.)	WATER HYDRANT
CHAIN-LINK FENCE	1/4" (N.H.R.P.)	WATER VALVE
WIRE R.O.W. FENCE	1/4" (N.H.R.P.)	WATER SHUT-OFF
GARDEN OR LANDSCAPED AREA	1/4" (N.H.R.P.)	ELECTRICAL BOX
	1/4" (N.H.R.P.)	ORNAMENTAL TREES
	1/4" (N.H.R.P.)	ORNAMENTAL SHRUB

521-004 TAX MAP & LOT NUMBER

521-005

521-006

521-010

521-011

EXISTING
521-004
2.384 ACRES
103,858 SQ. FT.

FRANKLIN PIERCE HIGHWAY
A.K.A. N.H. ROUTE 9
(SEE RETURN OF LAYOUT BK.939 PG.400 & 10
REF. PLAN #1, SEE ALSO: BK.858 PG.480 & BK.554 PG.396)

TIMBERLANE DRIVE
ELM STREET



NOTES:

1. LIGHTING SHALL BE INSTALLED AND ARRANGED SO AS NOT TO REFLECT OR CAUSE GLARE UPON ADJUTING LAND OR HIGHWAYS AND ROADS.
2. MOUNTING HEIGHT OF WALL MOUNT LIGHTING FIXTURES SHALL BE 10+ FEET ABOVE FINISH GRADE.
3. LIGHTING DESIGN AND FIXTURES PROVIDED BY EXPOSURELIGHTING.

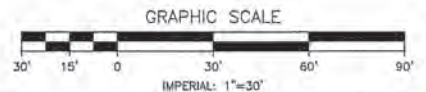
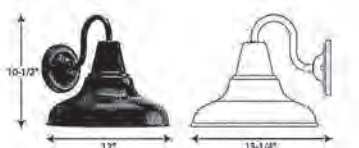
PROGRESS LIGHTING

P5623-2030K9
(OR EQUIVALENT)



Photometrics:

ELECTRICAL DATA	P5623-2030K9
Input Voltage	120 V
Input Frequency	60 Hz
Input Current	0.075 A
Power Factor	Greater than 0.90
THD	<20%
EMI/RFI	Meets FCC Title 47, Part 15 Class B
Operating Temperature	-30 °C to 30 °C
Dimming	Yes
Over-voltage, over-current, short-circuit protected	
*See Dimming Notes for more information	



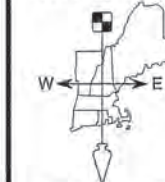
REV.	DATE	DESCRIPTION	CLERK	CEB
A	12/2/25	REV. PER STAFF COMMENTS	---	---
REV.	DATE	DESCRIPTION	C/D	DR

LIGHTING PLAN
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(454 ELM STREET)
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Performance:

Number of Modules	1
Input Power	9 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Source)	623/69.2 (LM-82)
Lumens/LPW (Delivered)	479/61.1 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	Meets FCC Title 47, Part 15 Class B
Max. Operating Temp.	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Wet Location Listed

Symbol	Qty	Label	Arrangement	Description	Tag	MANUFAC
⊙	18	W	Single	P5623-2030K9	WALL MOUNTED 9' AFG	PROGRESS

FILE: 4173SP00A.DWG

PROJ. NO. 4173.00

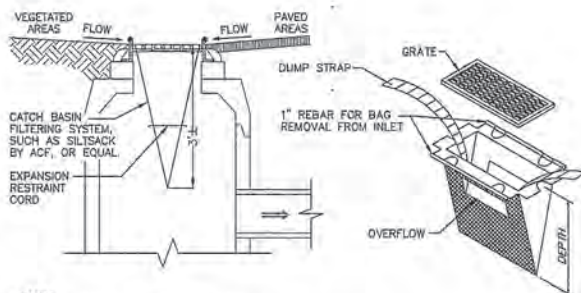
SHEET NO. 11-1

1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF STORMWATER BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK, AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED. THE SITE WILL BE SUBJECT TO ENVIRONMENTAL MONITORING.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN BIONET S0150BN SHORT TERM BIODEGRADABLE DOUBLE-NET STRAW BLANKET, OR APPROVED EQUIV.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 8 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:
- | PERMANENT SEED (LAWN AREAS) | SEED / 1,000 SQ. FT. | PERMANENT SLOPE SEED MIX | SEED / 1,000 SQ. FT. |
|-----------------------------|----------------------|--------------------------|----------------------|
| CREeping RED FESCUE | 0.92 LBS | CREeping RED FESCUE | 0.80 LBS |
| PERENNIAL RYEGRASS | 1.18 LBS | PERENNIAL RYEGRASS | 0.69 LBS |
| KENTUCKY BLUEGRASS | 0.58 LBS | REDTOP | 0.12 LBS |
| REDTOP | 0.12 LBS | ALSKA CLOVER | 0.12 LBS |
| | | BIRDFOOT TREFOIL | 0.12 LBS |
- **APPLICATION RATE TOTALS
2.8 LBS PER 1,000 SF**
15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 80 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
- | SPECIES | RATE PER 1,000 SF | DEPTH | SEEDING DATES |
|-----------------|-------------------|-----------|---------------|
| WINTER RYE | 2.5 LBS | 1 INCH | 8/15 TO 9/15 |
| CATS | 2.5 LBS | 1 INCH | 4/15 TO 10/15 |
| ANNUAL RYEGRASS | 1.0 LBS | 0.25 INCH | 6/15 TO 9/15 |
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE AND COMMENTS |
|------------------------------------|---------------------------------------|---|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 920 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE, USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE |
| CRUSHED STONE, 1/4" TO 1-1/2" DIA. | SPREAD TO GREATER THAN 1/2" THICKNESS | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED |
16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 80 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

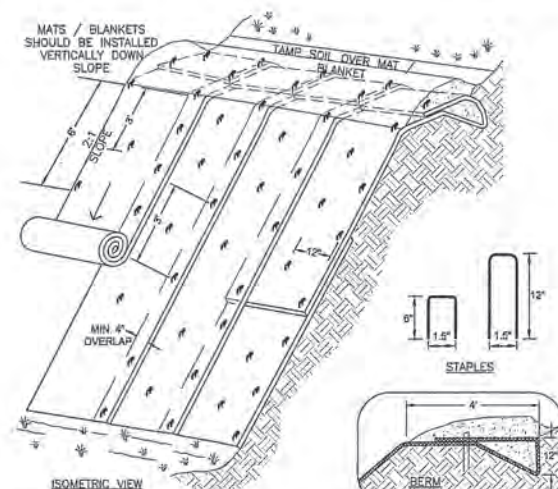
WINTER CONSTRUCTION NOTES



NOTES:

- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICHEVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

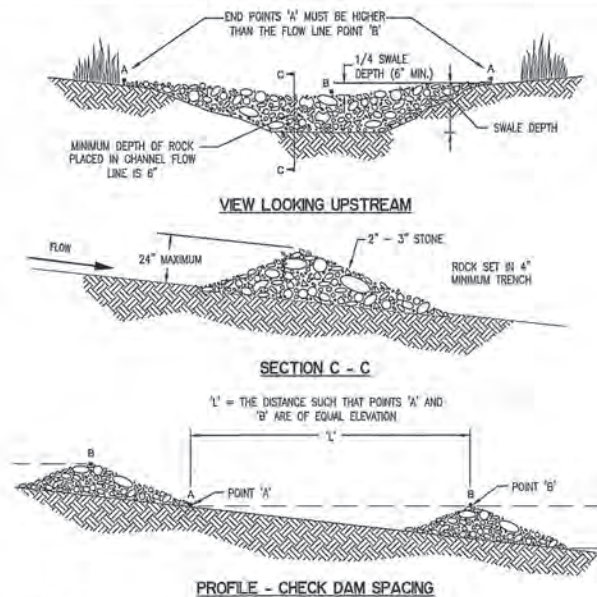
SILT SACK SEDIMENT FILTER



NOTES:

- DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES. DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN BIONET S0150BN SHORT TERM BIODEGRADABLE DOUBLE-NET STRAW BLANKET OR EQUIV. ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
- THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 8 INCH.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.
- THERE SHALL BE NO PLASTIC FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED. THIS DOES NOT APPLY TO TURF REINFORCEMENT MATS.
- TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

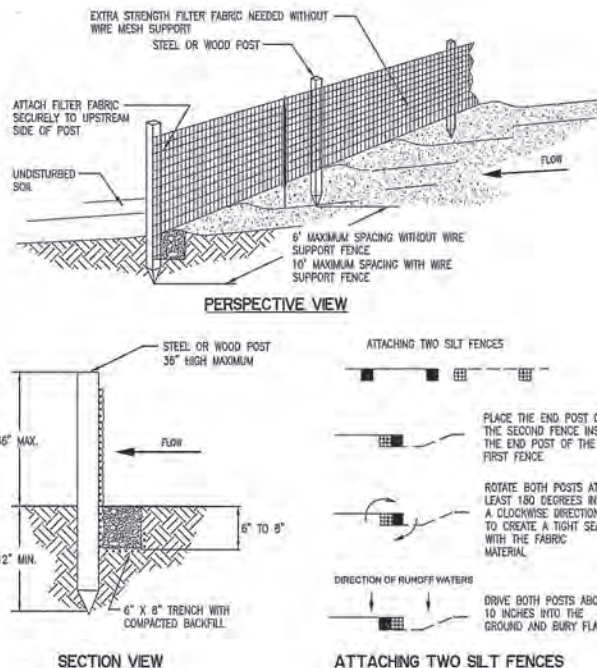
EROSION BLANKETS - SLOPE INSTALLATION



NOTES:

- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
- STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
- STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADE FACE IS RECOMMENDED FOR BETTER FILTERING.
- WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
- STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

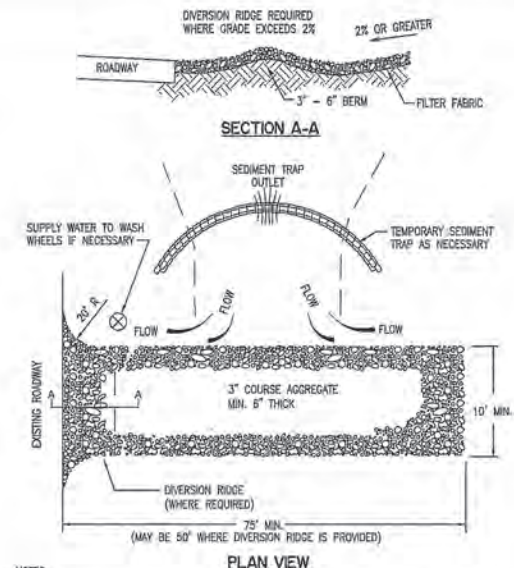


SECTION VIEW

NOTES:

- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGEWAYS.
- SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
- IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
- SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW FLOODING AND ACCESS FOR MAINTENANCE.
- THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE



NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
- THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 8-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
- THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
- THE PAD SHOULD BE AT LEAST 8-INCHES THICK.
- THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
- NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT



REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION CONTROL DETAILS
TAX MAP 521 LOT 004
454 ELM STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET - KEENE, NH 03431

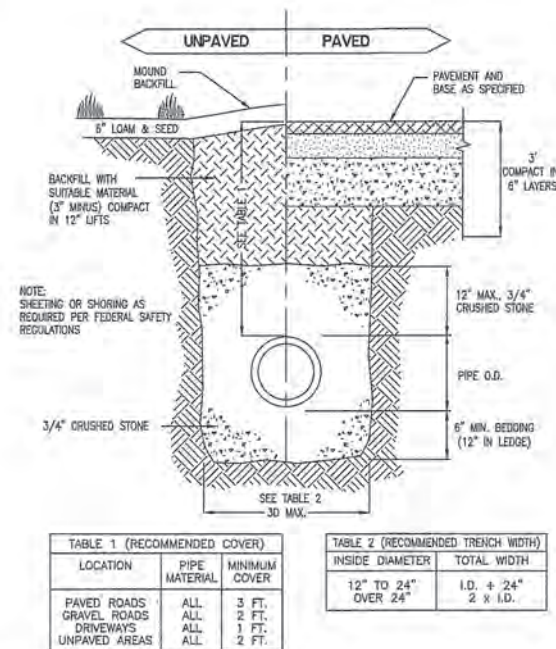
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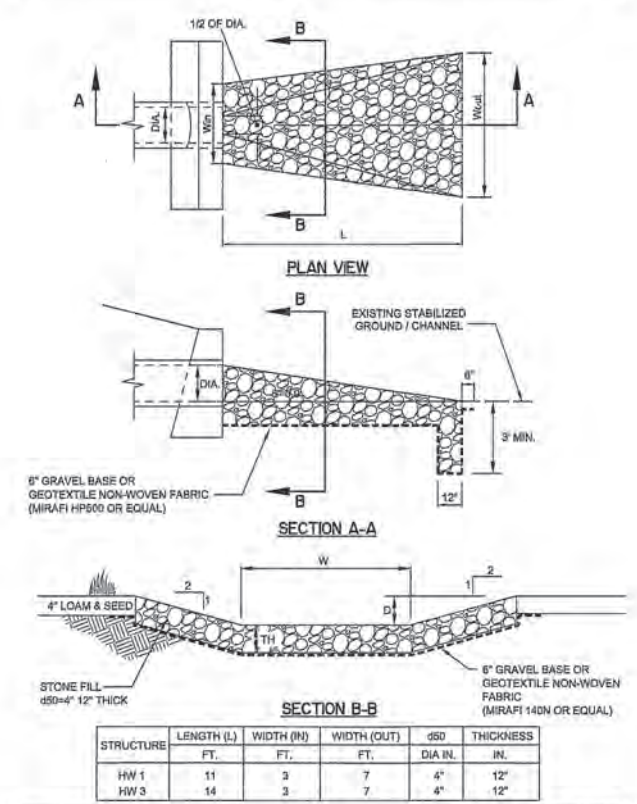
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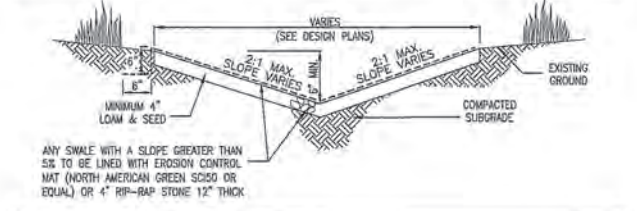
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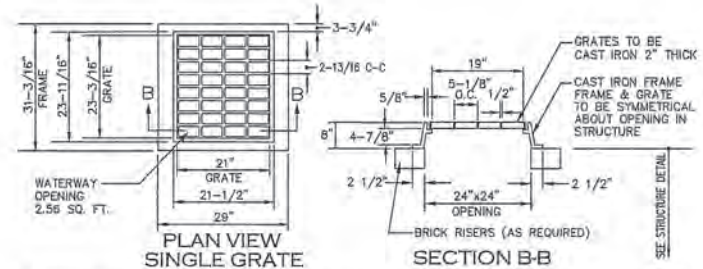
DRAINAGE TRENCH (TYPICAL) 1 DT-3



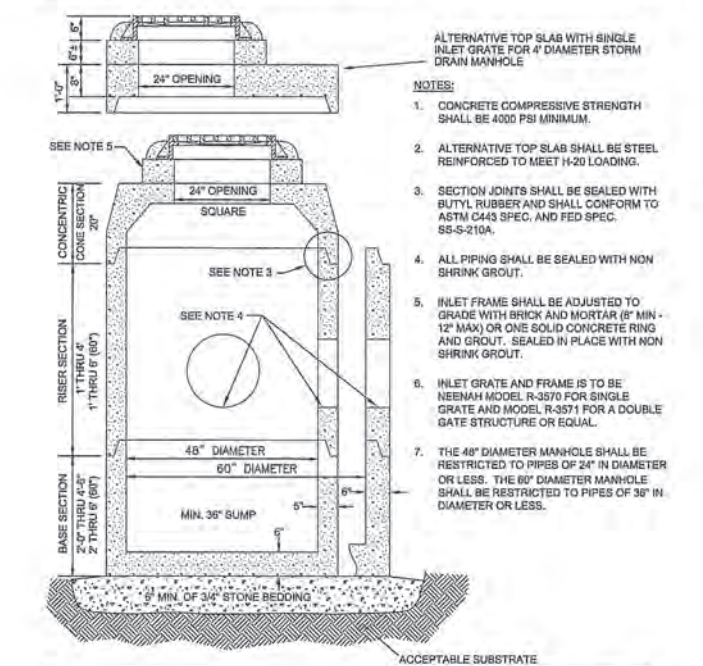
RIP-RAP OUTLET PROTECTION 2 DT-3



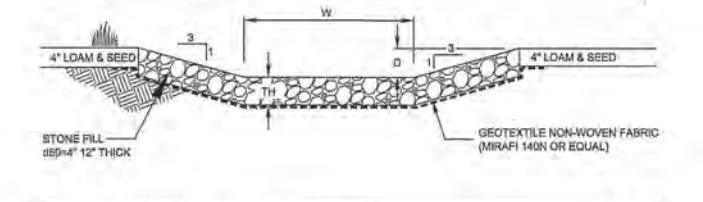
TYPICAL SWALE DETAIL 3 DT-3



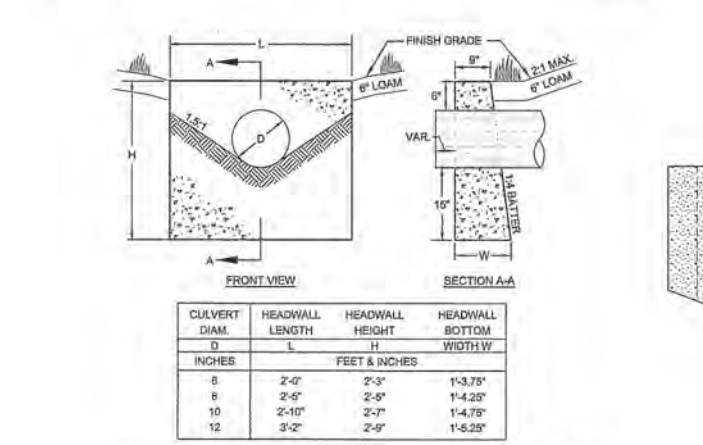
FRAME AND GRATE - NHDOT TYPE B 4 DT-3



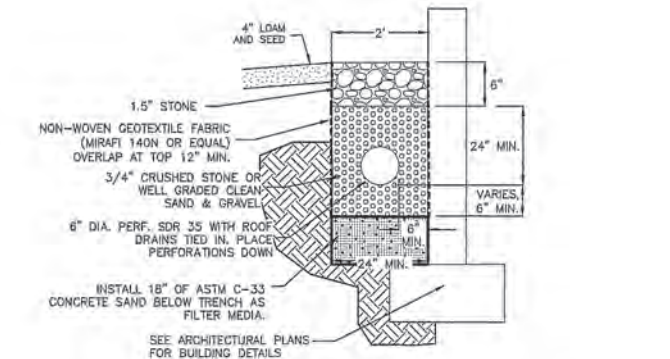
CATCH BASIN 5 DT-3



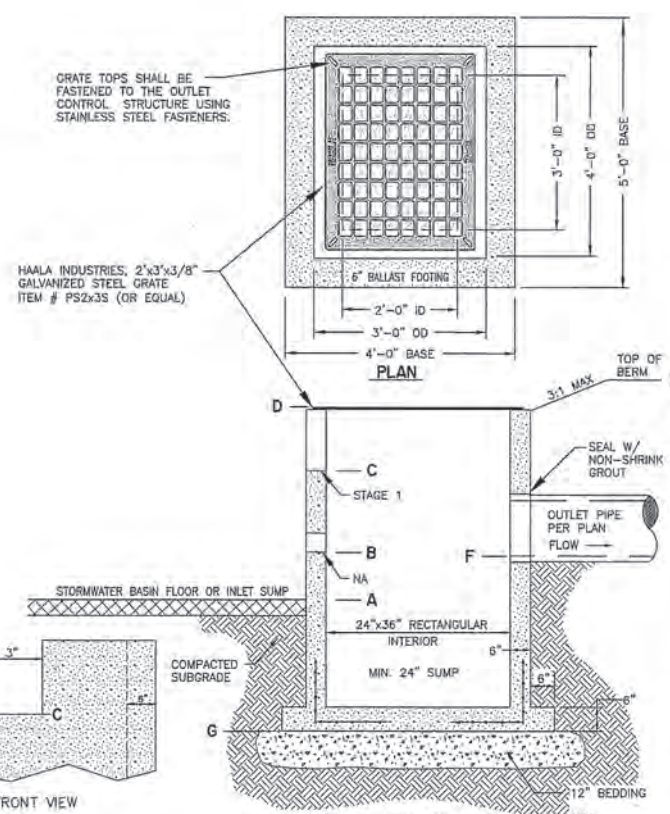
EMERGENCY SPILLWAY DETAIL 6 DT-3



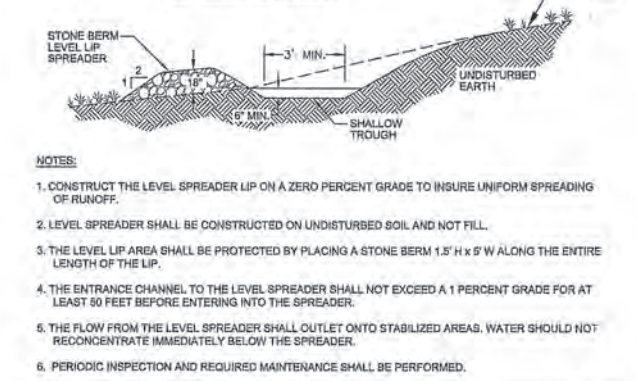
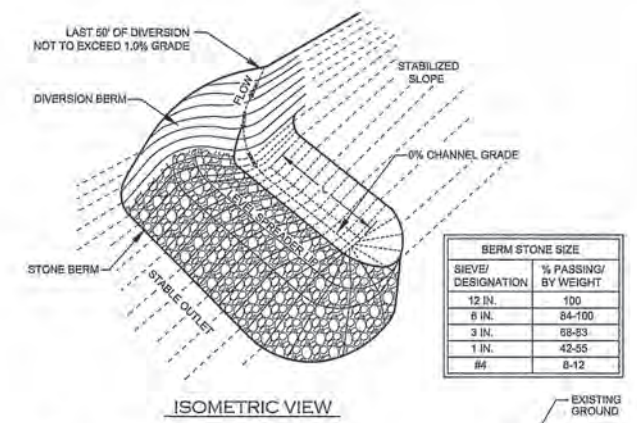
UNDERDRAIN HEADWALL 7 DT-3



STONE DRIP EDGE TRENCH 8 DT-3



OUTLET STRUCTURE 9 DT-3



LEVEL SPREADER 10 DT-3

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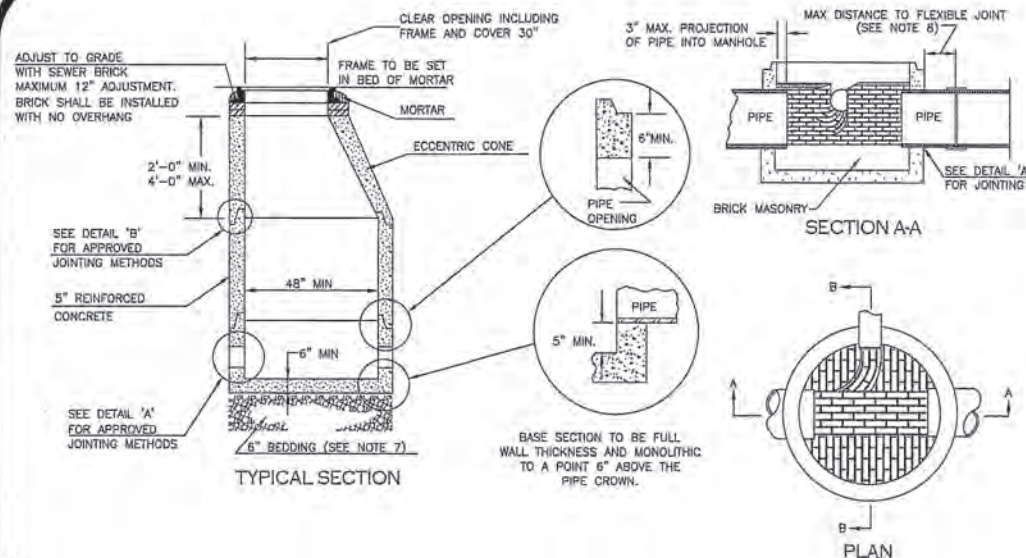
CONSTRUCTION DETAILS
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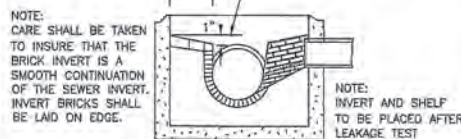
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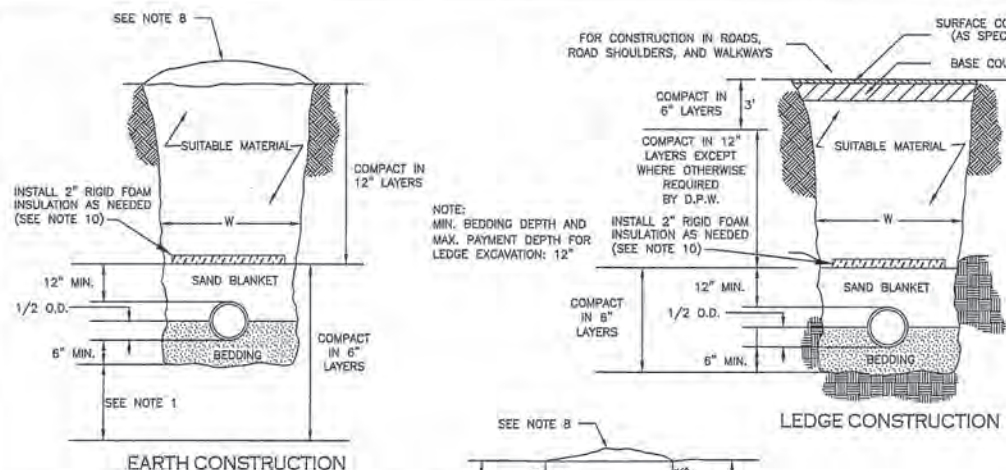


- NOTES:
- IT IS INTENDED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING PER ENR-WQ 704.10 (6). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 - BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE.
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
 - BASE SECTIONS SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
 - INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A48 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 3 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-65% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE. SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/8 INCH SHALL BE USED.
 - FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
 - RCP & CI PIPE - ALL SIZES - 48"
 - PVC PIPE - UP THROUGH 18" DIAMETER - NO FLEXIBLE JOINT REQUIRED
 - SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE SEALED WITH A RUBBER-LIKE OR ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH ENR-WQ 704.10 (6). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN MASTIC-LIKE OR ELASTOMERIC SEALANT.
 - PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
 - MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO ENR-WQ 704.10 (6) (7) THROUGH (14).
 - ALL SEWER CONSTRUCTION SHALL CONFORM TO SPECIFICATIONS DEFINED BY CITY OF KEENE STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.

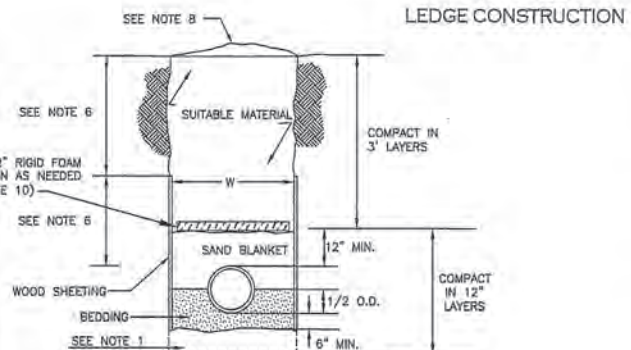


STANDARD MANHOLE - PART A

SCALE: N.T.S.
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DT-4



LEDGE CONSTRUCTION

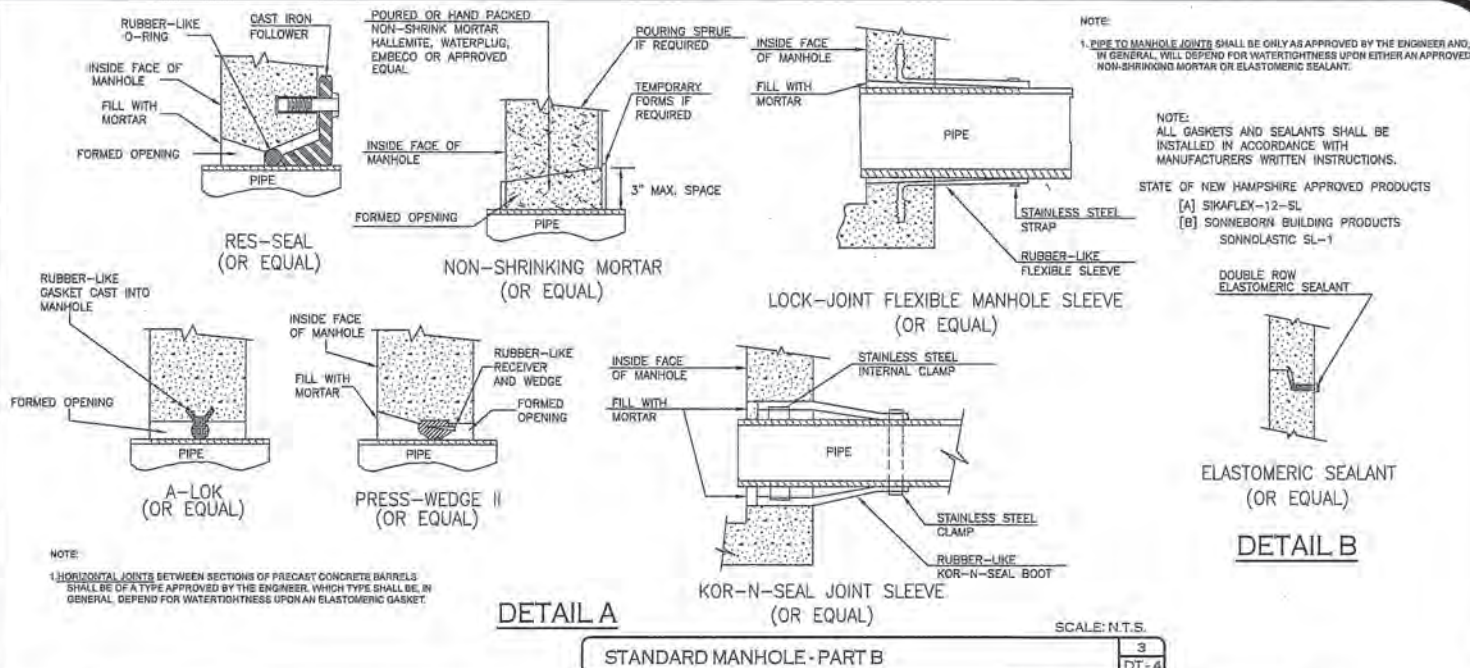


EARTH CONSTRUCTION WITH SHEETING

STANDARD TRENCH SECTION

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2
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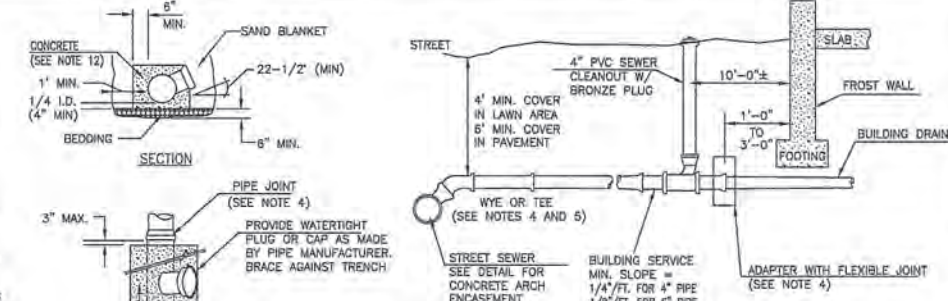
DETAIL A

STANDARD MANHOLE - PART B

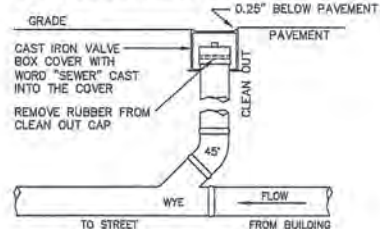
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DT-4

- NOTES:
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
 - PIPE AND JOINT MATERIALS:
 - A. PLASTIC SEWER PIPE:
 - 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

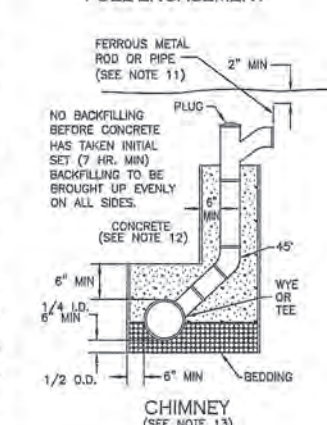
ASTM STANDARD	GENERIC PIPE MATERIAL	SIZES APPROVED
D2034	PVC (SOLID WALL)	8" THROUGH 18" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F798	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2689	ABS (COMPOSITE WALL)	8" THROUGH 18"
 - "PVC: POLY VINYL CHLORIDE
 - "ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE. ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1781 (CLASS 32).
 - JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE BC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
 - B. DUCTILE IRON PIPE, FITTINGS AND JOINTS:
 - 1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-538 DUCTILE IRON CASTINGS
 - A21.61 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS
 - 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
 - "T" AND "Y" WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIALS AROUND THE JOINT OR APPLYING MORTAR TO HOLD TO THE CONNECTION AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 16" DIAMETER.
 - HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL, AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY TAMPED BY HAND AND WITH APPROPRIATE MECHANICAL DEVICES, THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.
 - TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 - A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
 - C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RE-LAID. SO AS TO ASSURE WATER TIGHTNESS.
 - ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SLUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 - HOUSE WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-65% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/8 INCH) SHALL BE USED.
 - LOCATION THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
 - CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAXIMUM AGGREGATE SIZE: 1 INCH
 - NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.
 - INSTALL TWO INCH THICK, DOW STYROFOAM™ BRAND HIGH-LOAD AG (OR EQUAL) RIGID FOAM INSULATION WHERE LESS THAN FOUR (4) FEET OF COVER IS PROVIDED ON CROSS COUNTRY SEWER AND/OR LESS THAN SIX (6) FEET OF COVER IS PROVIDED UNDER PAVED AREAS.



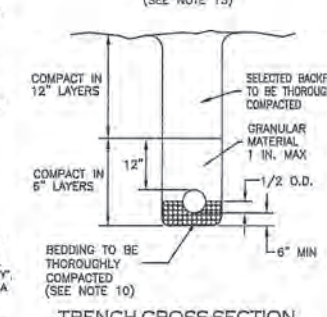
SERVICE CONNECTION BUILDING



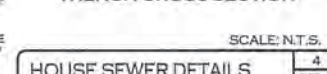
SEWER SERVICE CLEAN OUT DETAIL



CHIMNEY (SEE NOTE 13)



TRENCH CROSS-SECTION



HOUSE SEWER DETAILS

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4
DT-4

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A	12/5/25					

SEWER CONSTRUCTION DETAILS

TAX MAP 521 LOT 004

454 ELM STREET

KEENE, NEW HAMPSHIRE

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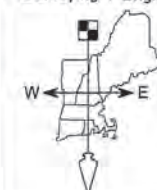
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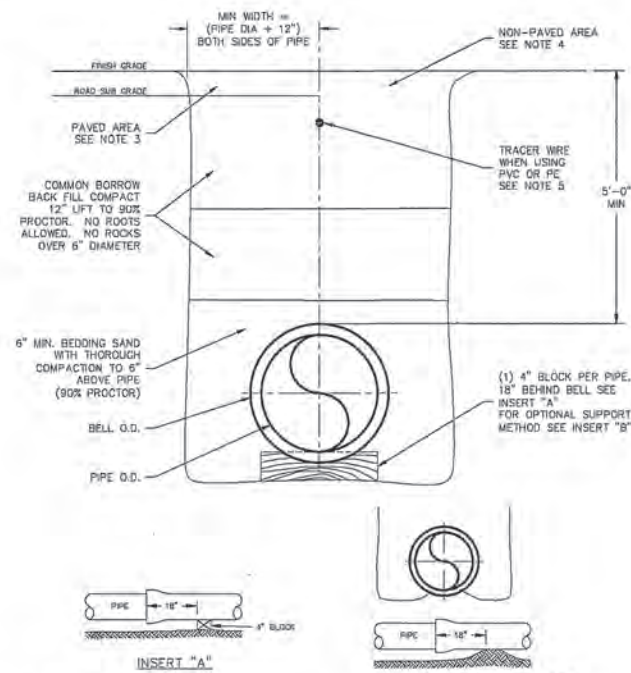
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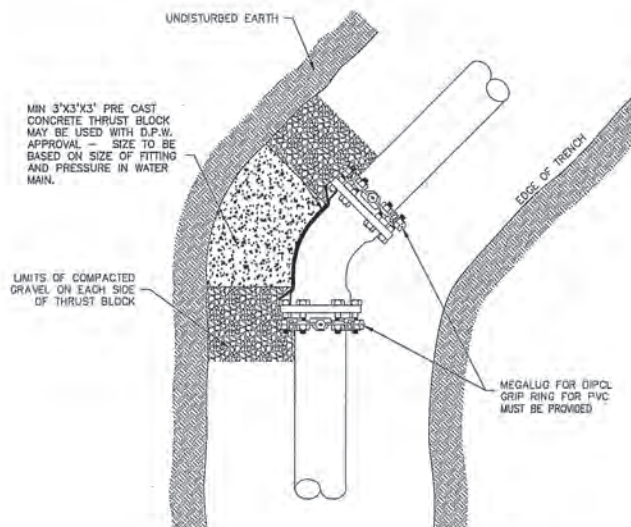
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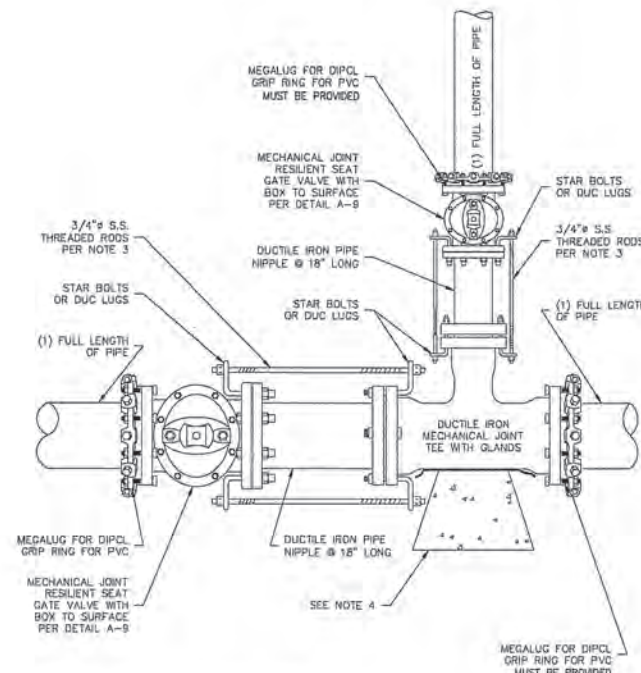
- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-0" FROM TOP OF PIPE TO FINISH GRADE. PROVIDE 2" THICK, 24" WIDE INSULATION WHERE COVER IS LESS THAN 4'.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL PIPE ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. PROVIDE LOCATOR TAPE (TERRA TAPE SAFETY LINE 1300 OR EQUAL) ON ALL PIPES. TRACER WIRE FOR PVC OR HDPE MAINS SHALL BE AWG-12.

SCALE: N.T.S. 1 DT-5



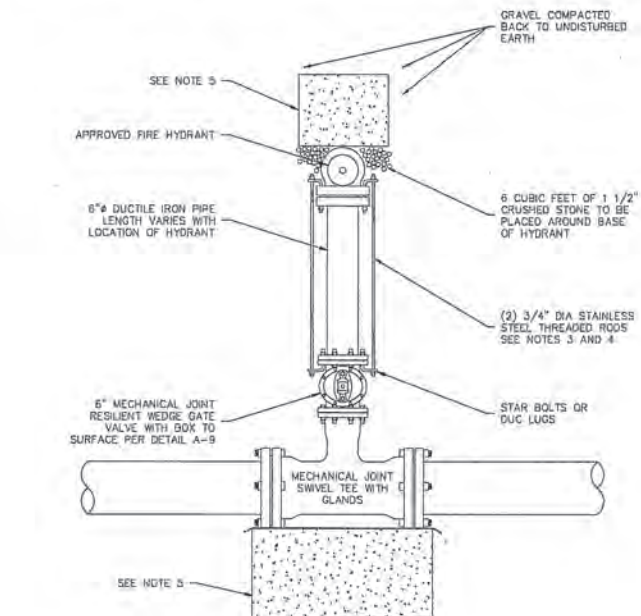
- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 4. MIN 3'X3'X3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

SCALE: N.T.S. 2 DT-5



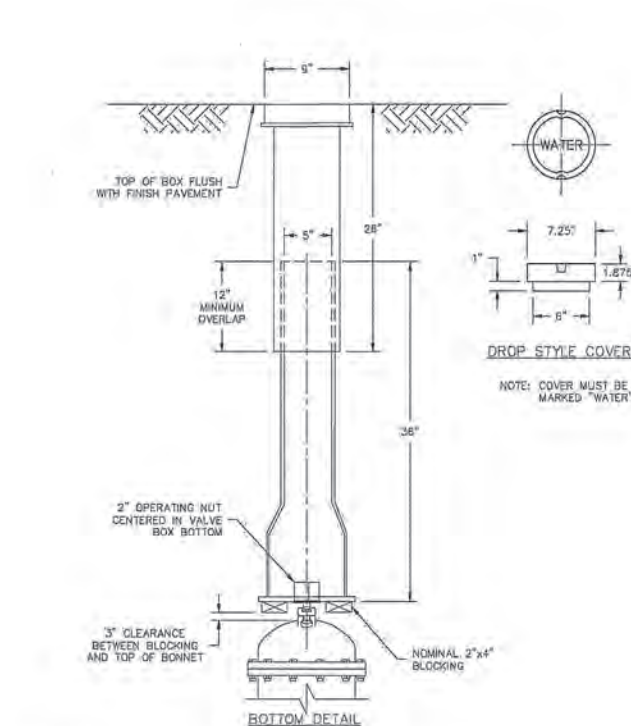
- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS. 10" FITTING OR SMALLER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" S.S. RODS & ASSOC. HARDWARE.
 4. MIN 3'X3'X3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL 2.

SCALE: N.T.S. 3 DT-5



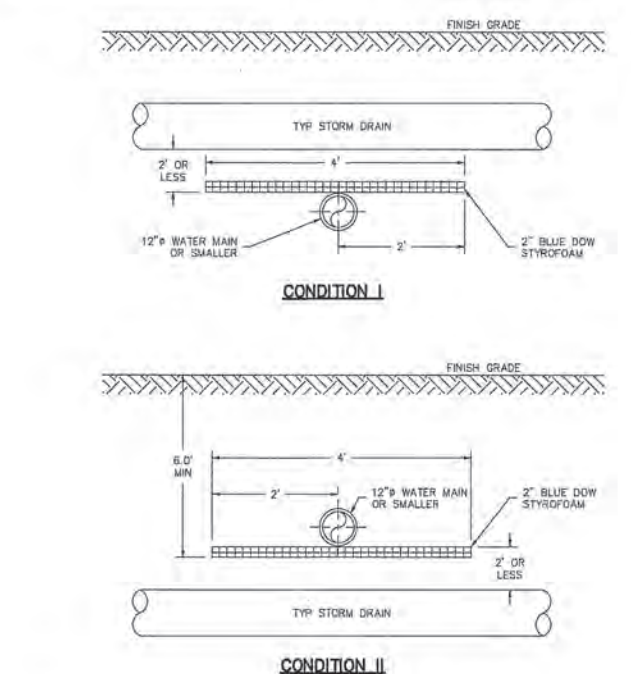
- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
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 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10' SUBSTITUTE MEGALUGS (OR GRIP BOLTS) IN LIEU OF THREADED RODS.
 5. MIN 3'X3'X3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL 2.
 6. OWNER/ENGINEER SHALL APPROVE ALL HYDRANT LOCATIONS IN FIELD PRIOR TO INSTALLATION.
 7. PLUG HYDRANT DRAIN PORT WITH BRASS PLUG.
 8. USE MJ HYDRANT ANCHOR TEE AND RESTRAINER MJ OF PIPE IN LIEU OF STAINLESS STEEL RODS.
 9. ALL HYDRANTS TO OPEN RIGHT (OR).

SCALE: N.T.S. 4 DT-5



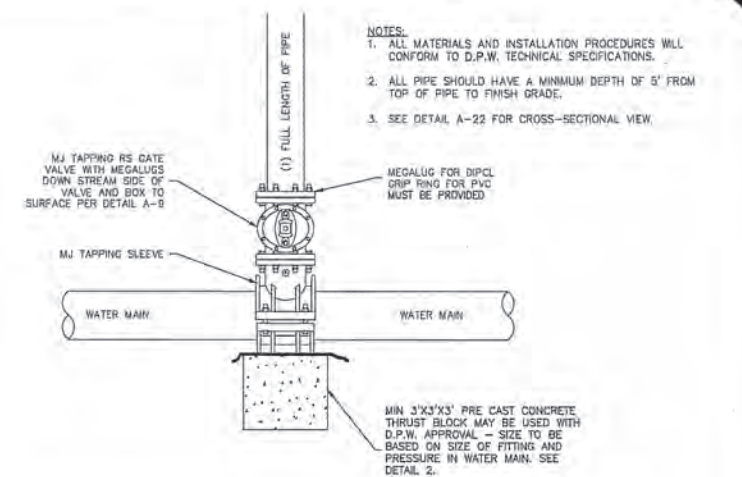
- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

SCALE: N.T.S. 5 DT-5



- NOTES:
1. DEPARTMENT OF PUBLIC WORKS RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

SCALE: N.T.S. 6 DT-5



SCALE: N.T.S. 7 DT-5

1. ALL WATER MAIN AND SERVICE CONNECTION CONSTRUCTION MUST COMPLY WITH KEENE DEPARTMENT OF PUBLIC WORKS CURRENT SPECIFICATIONS FOR WATER MAIN INSTALLATION, EXTENSIONS, SERVICE AND DISTRIBUTION SYSTEM.
2. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5 FEET OUTSIDE THE FACE OF THE BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND THE LINE AS NECESSARY).
3. THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
4. MINIMUM COVER ON ALL WATER LINES IS 5'-0".
5. CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 6" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER MAINS.
6. INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH MERRIMACK VILLAGE DISTRICT. ALL INSPECTION FEES SHALL BE PAID FOR BY THE CONTRACTOR.
7. CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE MERRIMACK VILLAGE DISTRICT A COPY OF THE RESULTS. MERRIMACK VILLAGE DISTRICT SHALL BE ON-SITE TO WITNESS TEST.
8. ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM TO MERRIMACK VILLAGE DISTRICT SPECIFICATIONS AND REQUIREMENTS.
9. ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH MERRIMACK VILLAGE DISTRICT SPECIFICATIONS.
10. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 GAUGE SOLID COPPER, SIMPLEX BW3001 OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFPOLYN COMPANY, INC., TERRATAPE OR EQUAL.
11. CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY OPEN POSITION UPON COMPLETION OF PROJECT.
12. CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH MERRIMACK VILLAGE DISTRICT AND AFFECTED PROPERTY OWNERS.

WATER SYSTEM CONSTRUCTION NOTES 8 DT-5



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	12/5/25	REV. PER STAFF COMMENTS		CLR	CEB

WATER CONSTRUCTION DETAILS
TAX MAP 521 LOT 004
454 ELM STREET
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET - KEENE, NH 03431

SCALE: NONE NOVEMBER 14, 2025

Surveying + Engineering + Land Planning + Permitting + Septic Designs

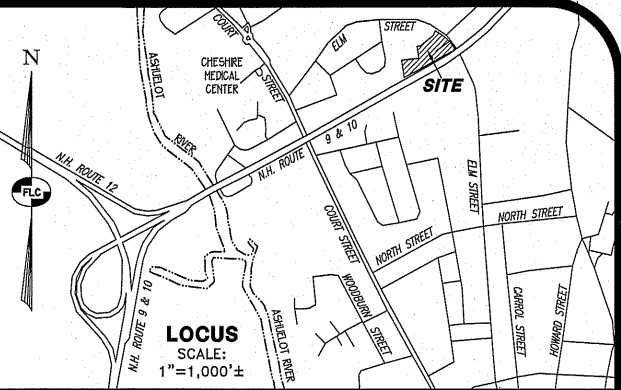
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 45 Roxbury Street, Keene, NH 03431
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

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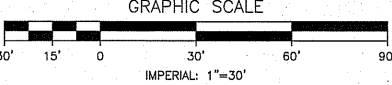
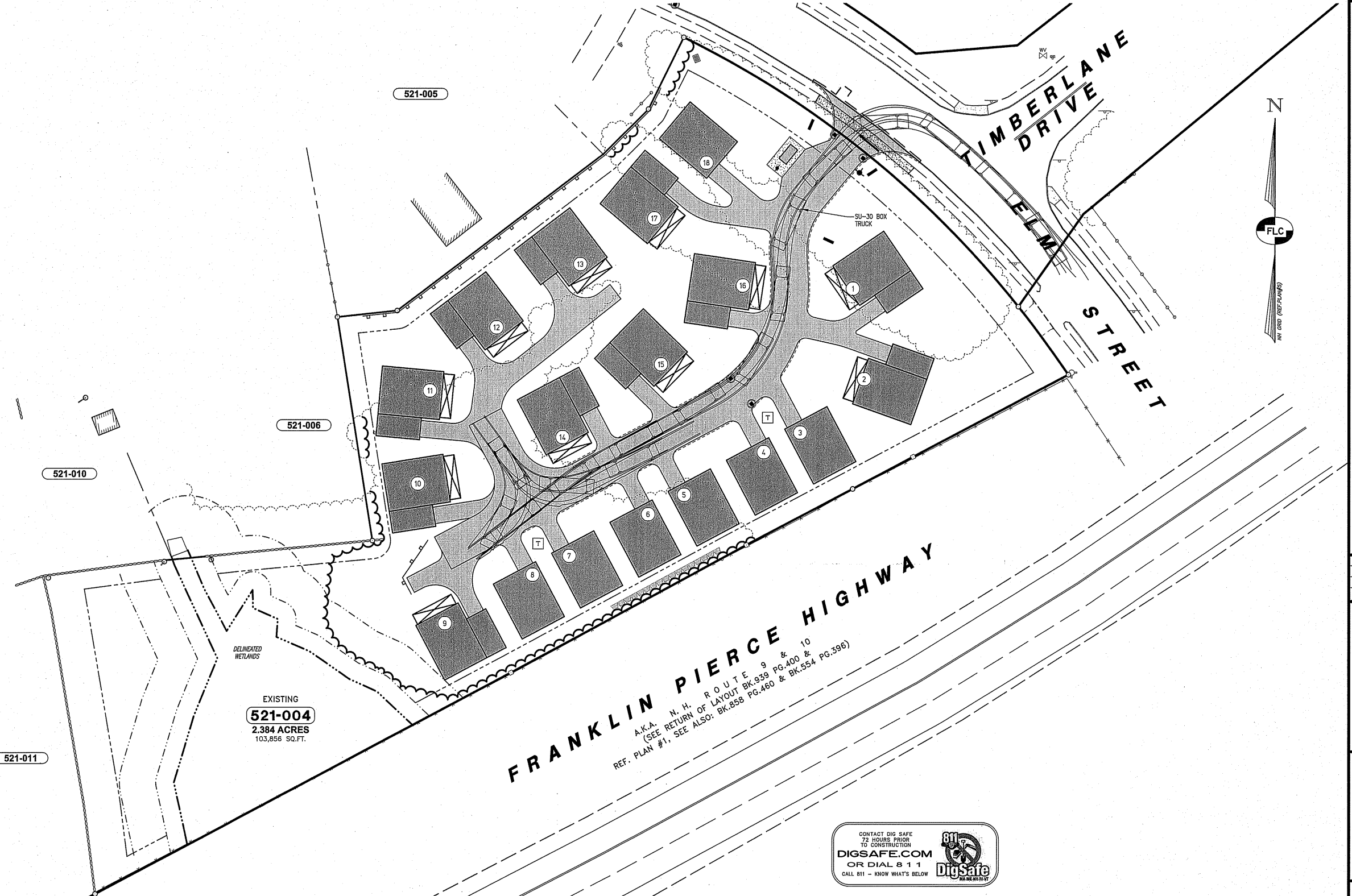
REFERENCE PLANS:

1. "PLANS OF PROPOSED - FEDERAL AID CONSOLIDATED PRIMARY PROJECT - F-012-1(3) - NH PROJECT P-2962-B - ROUTE 9 BY-PASS", DATED MARCH 24, 1977.
2. "PLAN OF SADOQUES PROPERTY - ELM STREET - KEENE, NH", SCALE 1"=50', DATED OCTOBER 1969, BY HERB RUSSELL. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0016-0027.
3. "CITY OF KEENE - SUBDIVISION FOR - LEONARD F. & WENDY B. KAPLOFF", APPROVED JUNE 23 1980 AND RECORDED JULY 7, 1980, BY FRANK A. GLINE. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0044-0091.
4. "PAKO PARK - SECTION 3", LAST REVISED MARCH 1958, BY W.F. ONEILL. CITY OF KEENE ENGINEERING DEPARTMENT, PLAN NO.1449.
5. "PLAN OF LANDS - OF - STATE OF NEW HAMPSHIRE - FRANKLIN PIERCE HIGHWAY - AND - PAUL C. & GAIL M. DUBRISKE - TAX MAP PARCEL 521-004 - BOOK 2234 PAGE 53 - 454 ELM STREET, KEENE, CHESHIRE COUNTY, NEW HAMPSHIRE", SCALE 1"=30', DATED MAY 3, 2023 AND LAST REVISED MAY 5, 2025, BY HUNTLEY SURVEY & DESIGN, PLLC. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS AS PLAN NO. 25117.



GENERAL NOTES:

1. THE OWNERS OF RECORD FOR TAX MAP 521 LOT 004 ARE PAUL C. & GAIL M. DUBRISKE, 454 ELM STREET, KEENE, NH 03431. THE DEED REFERENCE FOR THE LOT IS BK. 2234 PG. 53 DATED APRIL 11, 2005, RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEEDS.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED TURNING MOVEMENTS FOR A 30 FOOT BOX TRUCK (SU-30) THROUGH THE PROPOSED SITE.



REV.	DATE	DESCRIPTION	C/O	DR	CK

TURNING EXHIBIT
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

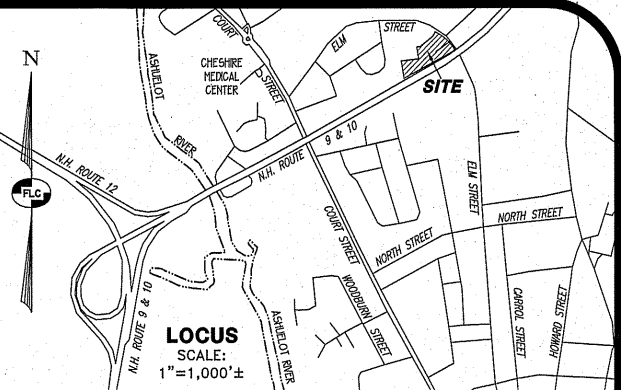
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45 Roxbury Street, Keene, NH 03431
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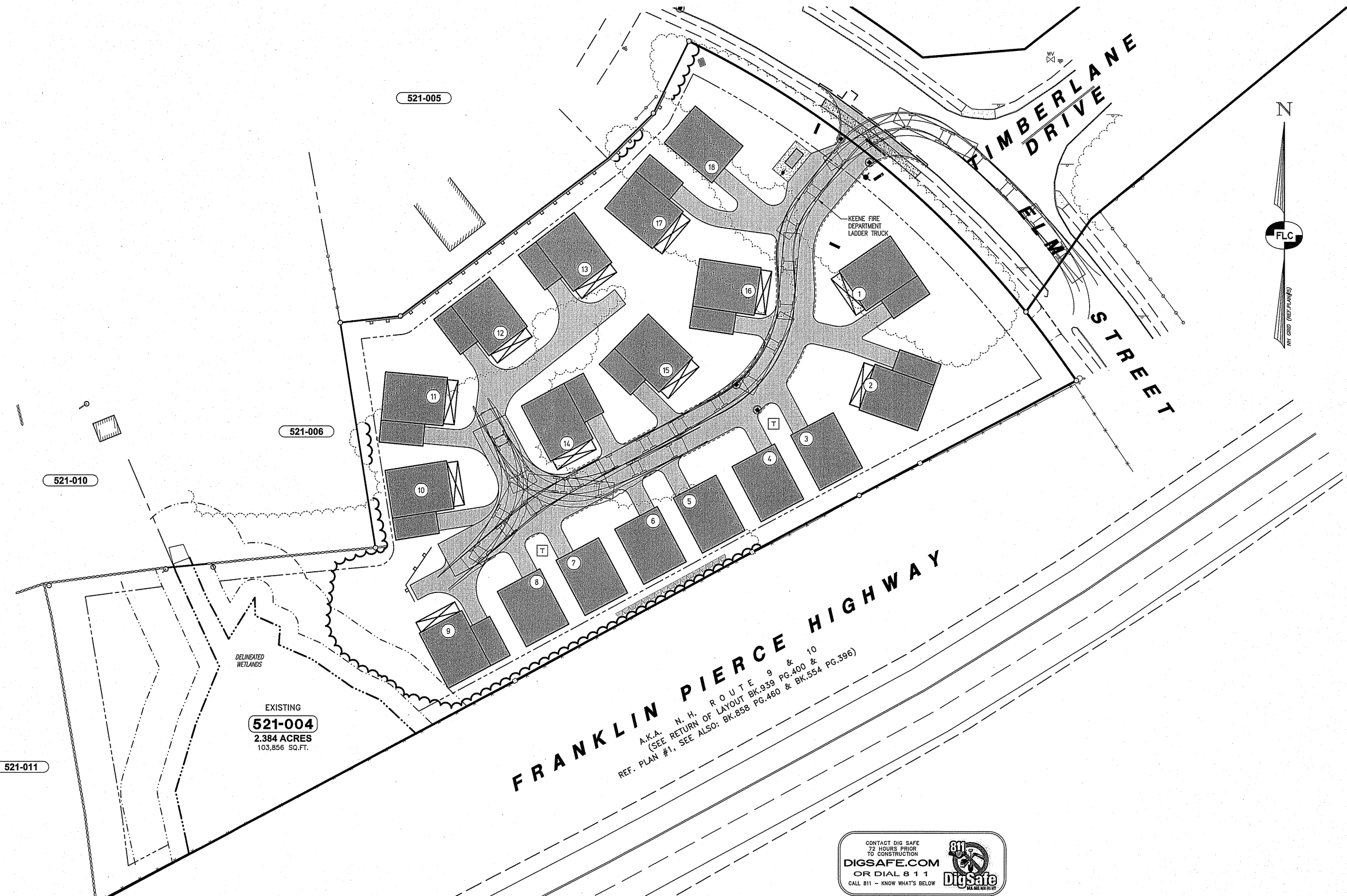
REFERENCE PLANS:

1. "PLANS OF PROPOSED - FEDERAL AID CONSOLIDATED PRIMARY PROJECT - F-012-1(3) - NH PROJECT P-2962-B - ROUTE 9 BY-PASS", DATED MARCH 24, 1977.
2. "PLAN OF SADOQUES PROPERTY - ELM STREET - KEENE, NH", SCALE 1"=50', DATED OCTOBER 1989, BY HERB RUSSELL. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0018-0027.
3. "CITY OF KEENE - SUBDIVISION FOR - LEONARD F. & WENDY B. KAPLOFF", APPROVED JUNE 23 1980 AND RECORDED JULY 7, 1980, BY FRANK A. GLINE. RECORDED IN THE CHESHIRE COUNTY REGISTRY OF DEED AS PLAN NO. P0044-0091.
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GENERAL NOTES:

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2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED TURNING MOVEMENTS FOR A KEENE FIRE DEPARTMENT LADDER TRUCK THROUGH THE PROPOSED SITE.



FRANKLIN PIERCE HIGHWAY
A.K.A. N. H. ROUTE 9 & 10
(SEE RETURN OF LAYOUT BK.939 PG.400 &
REF. PLAN #1, SEE ALSO: BK.858 PG.460 & BK.554 PG.396)



REV.	DATE	DESCRIPTION	C/O	DR	CK

TURNING EXHIBIT
TAX MAP 521 LOT 004
(454 ELM STREET)
KEENE, NEW HAMPSHIRE
PREPARED FOR & LAND OF:
PAUL C. & GAIL M. DUBRISKE
454 ELM STREET, KEENE, NH 03431

SCALE: 1"=30' NOVEMBER 14, 2025

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

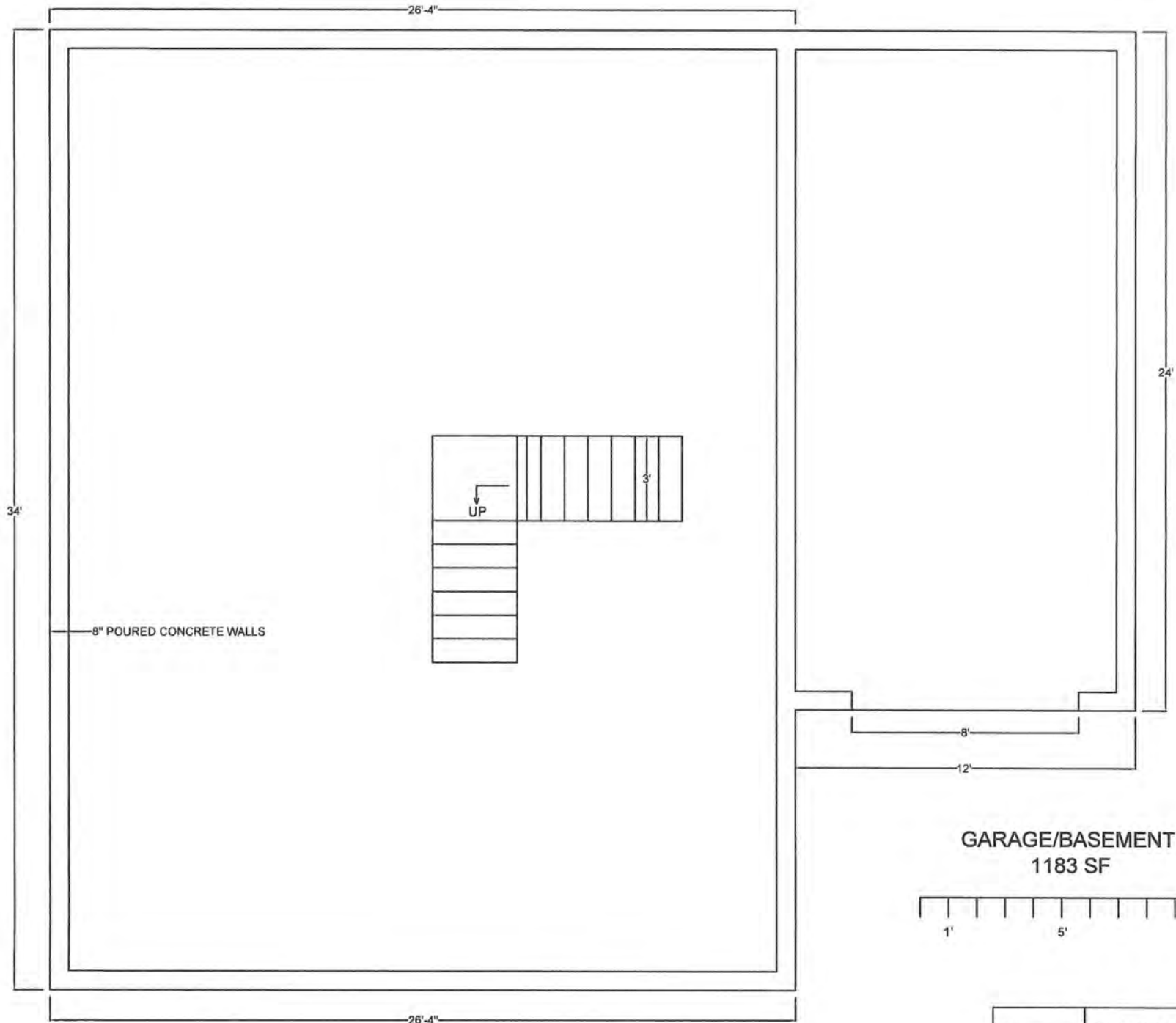
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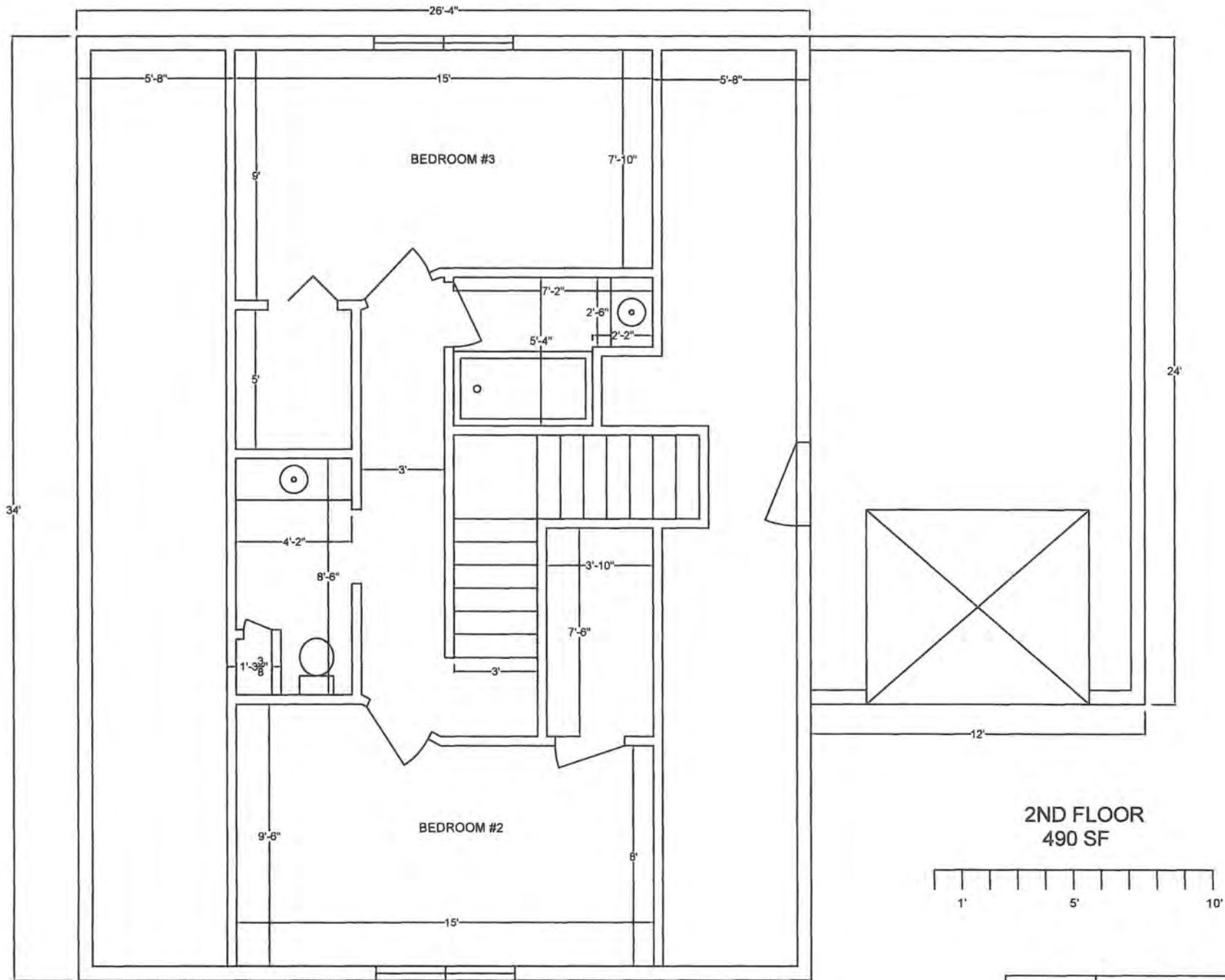
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PROJECT			
ENG.			
APPROVED			
SCALE	N/A	TITLE 105 CAPE	




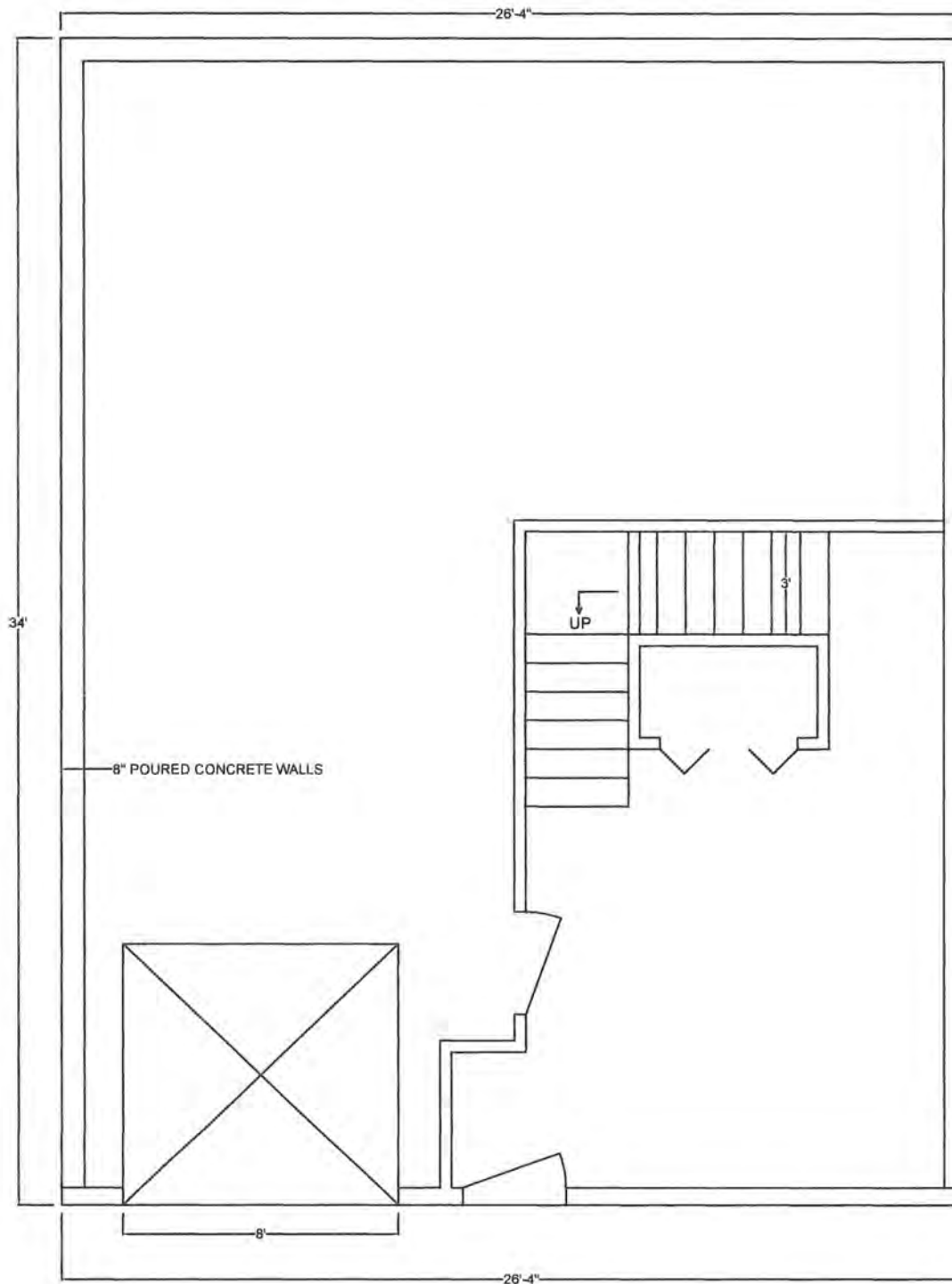
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PROJECT			
ENG.			
APPROVED			
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		TITLE	106 CAPE
		SHEET 2 OF 4	



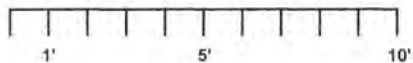
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CHECKED:	454 Elm St, Keene, NH 03431	
PROJECT ENG.	(603) 903-4432	
APPROVED:	TITLE	108 CAPE
SCALE: N/A		



DRAWN	SMV	ELMSIDE LLC	
CHECKED		454 Elm St. Keene, NH 03431	
PROJECT		(603) 503-4432	
ENG.			
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SCALE	N/A	CAPE WITH GARAGE UNDER	




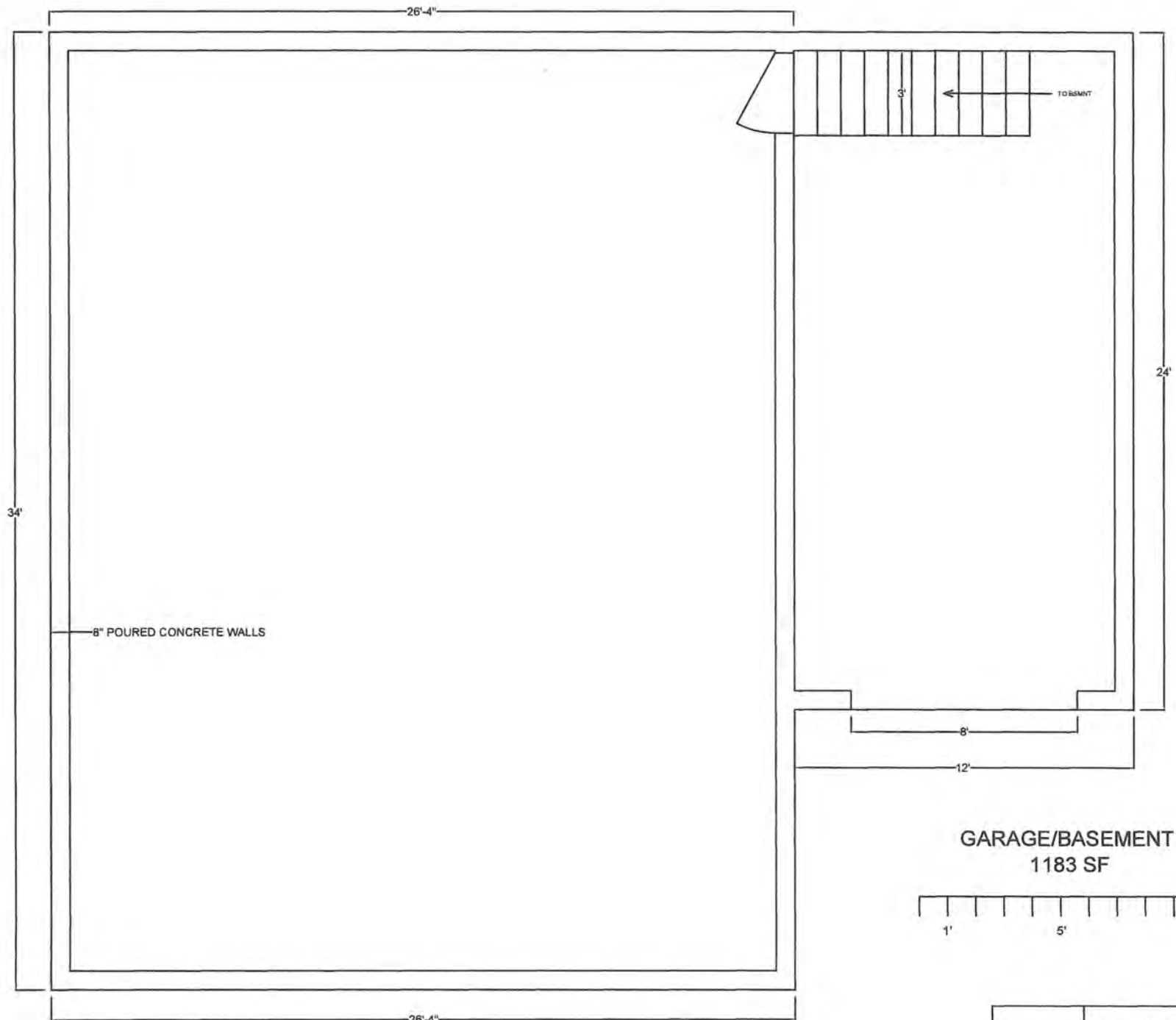
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895 SF



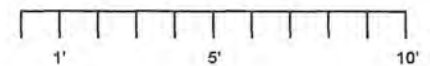
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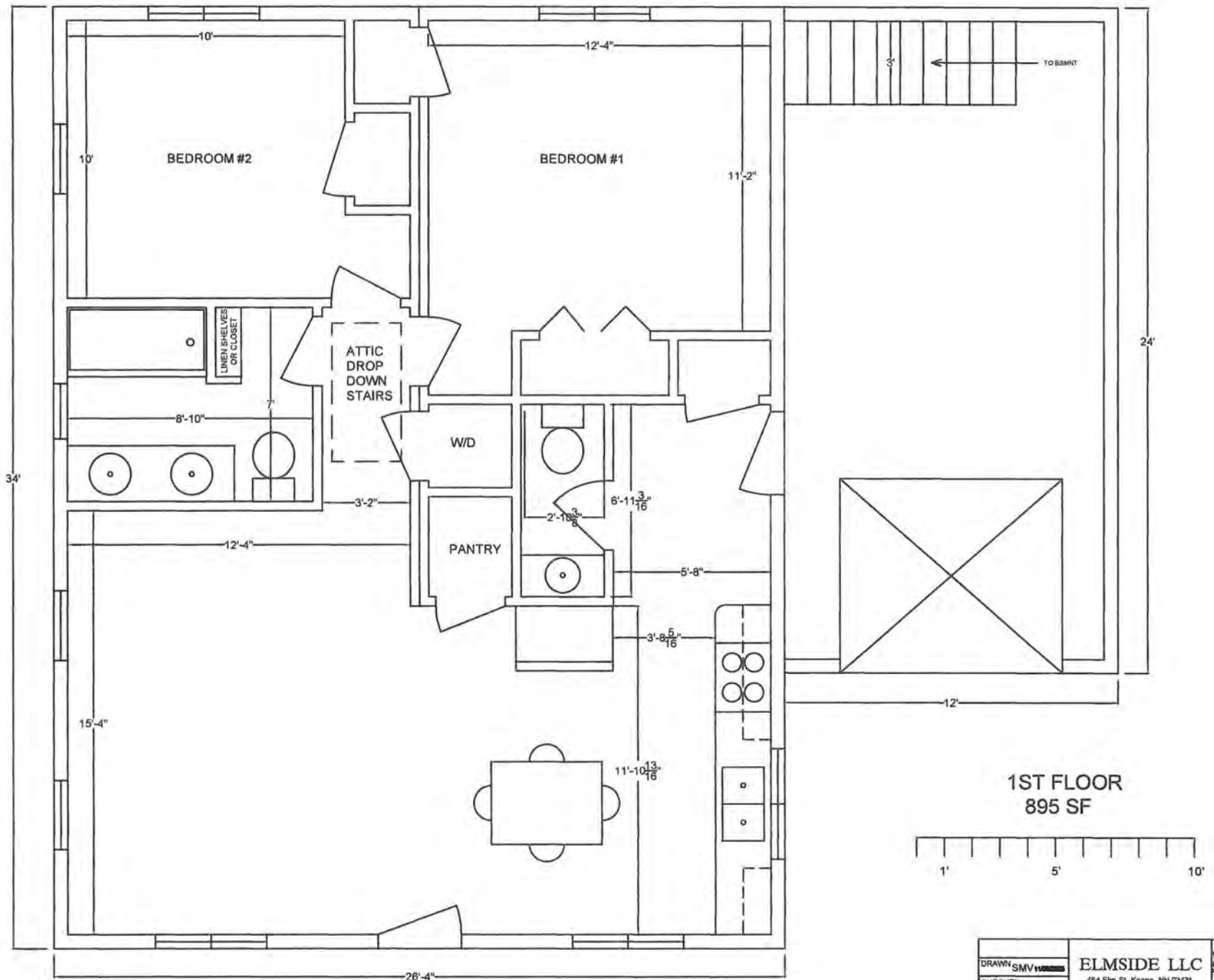
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PROJECT			
ENG.			
APPROVED			
SCALE	N/A	TITLE 113 RANCH	SHEET 1 OF 3



GARAGE/BASEMENT
1183 SF



DRAWN	SMV	
CHECKED		
PROJECT ENG.		
APPROVED		
SCALE	N/A	
		ELMSIDE LLC 454 Elm St. Keene, NH 03431 (803) 903-4432
		TITLE 114 RANCH
		SHEET 2 OF 3



DRAWN	SMV	ELMSIDE LLC	
CHECKED		454 Elm St. Keene, NH 03431 (603) 903-4432	
PROJECT			
ENG.			
APPROVED		TITLE	
SCALE			
N/A			