



City of Keene Planning Board

AGENDA

Monday, February 23, 2026 6:30 PM City Hall, 2nd Floor Council Chambers

A. AGENDA ITEMS

- 1) **Call to Order** – Roll Call
- 2) **Minutes of Previous Meeting** – January 26, 2026
- 3) **Final Vote on Conditional Approvals**
- 4) **Public Hearings:**
 - a) **PB-2026-01 – Cottage Court Conditional Use Permit – 87 Water St** – Applicant and owner, Elm City Properties, proposes to convert a carriage barn into a dwelling unit on the single-family property located at 87 Water St (TMP #585-059-000). The parcel is ~0.15-ac and is in the Residential Preservation District.
 - b) **PB-2025-18, Mod. 1 – Major Site Plan – Revo Casino, 109-147 Key Rd** - Applicant Concord Bingo Too LLC, on behalf of owner Key Road Development LLC, proposes to modify the architectural features and parking area associated with the charitable gaming facility located at 109-147 Key Rd (TMP# 110-022-000). The parcel is ~5.8-ac and is in the Commerce District.
- 5) **Staff Updates**
- 6) **New Business**
- 7) **Upcoming Dates of Interest**
 - Joint Committee of the Planning Board and PLD – March 9, 6:30 PM
 - Planning Board Steering Committee – February 10, 12:00 PM
 - Planning Board Site Visit – February 18, 8:00 AM – To Be Confirmed
 - Planning Board Meeting – February 23, 6:30 PM

B. MORE TIME ITEMS

- 1) **Training on Site Development Standards**
 - a) Standards 6 & 7 – Screening & Lighting

C. ADJOURNMENT

City of Keene
New Hampshire

PLANNING BOARD
MEETING MINUTES

Monday, January 26, 2026

6:30 PM

**Council Chambers,
City Hall**

Members Present:

Harold Farrington
Roberta Mastrogiovanni
Michael Hoefer
Kenneth Kost
Councilor Molly Ellis
Stephon Mehu, Alternate
Joseph Cocivera, Alternate

Staff Present:

Paul Andrus, Community Development Director
Mari Brunner, Senior Planner /Acting Zoning
Administrator
Megan Fortson, Planner

Members Not Present:

Mayor Jay V. Kahn
Andrew Madison
Tammy Adams, Alternate

1) Call to Order – Roll Call

Chair Farrington called the meeting to order at 6:30 PM and a roll call was taken. The Chair invited Stephon Mehu and Joseph Cocivera to join the meeting as voting members.

2) Election of Chair, Vice Chair, & Steering Committee

A motion was made by Roberta Mastrogiovanni to nominate Harold Farrington as Chair of the Board. The motion was seconded by Kenneth Kost and was unanimously approved.

A motion was made by Harold Farrington to nominate Roberta Mastrogiovanni as Vice-Chair of the Board. The motion was seconded by Stephon Mehu and was unanimously approved.

A motion was made by Harold Farrington to nominate Kenneth Kost as the third member of the Steering Committee. The motion was seconded by Stephon Mehu and was unanimously approved.

3) Minutes of Previous Meeting – December 22, 2025

A motion was made by Roberta Mastrogiovanni that the Planning Board approve the December 22, 2025 meeting minutes. The motion was seconded by Kenneth Kost.

Chair Farrington offered the following corrections:

Line 264 - change the word from “sited” to “cited”

Line 455 and 456 – the bump out should read as 28 feet.

Line 505 – typographic error: an should be “and”

Line 620 and 621 – note to staff from Minute Taker needs to be deleted.

The amended motion carried on a unanimous vote.

4) Final Vote on Conditional Approvals

Chair Farrington stated as a matter of practice, the Board will now issue a final vote on all conditionally approved plans after all of the “conditions precedent” have been met. This final vote will be the final approval and will start the 30-day appeal clock. The Chair asked whether there were any items ready for final approval.

Ms. Brunner stated there are three items ready for final approval.

The first one is PB-2025-01, which was a 2-lot subdivision for Keene State College at 238-260 Main Street. This application had the standard conditions of approval:

Owner’s signature appears on the plan; Inspection of lot monuments; Submittal of four full size copies and two mylar copies of the final plans; Submittal of fees to cover the cost of recording. All of those conditions have been met.

A motion was made by Roberta Mastrogiovanni that the Planning Board issue final site plan approval for PB-2025-01. The motion was seconded by Kenneth Kost and carried on a unanimous vote.

The second application is PB-2025-18, Major Site Plan and change of use for a Charitable Gaming Facility at 109-147 Key Road. The conditions of approval for this application include: Owner’s signature shall appear on the plan; Submittal of security for landscaping in a form and amount acceptable to the City Engineer; Submittal of five full-size paper copies and one digital copy of the final plan. All of those conditions have been met.

A motion was made by Roberta Mastrogiovanni that the Planning Board issue final site plan approval for PB-2025-18. The motion was seconded by Kenneth Kost and carried on a unanimous vote.

The third application is PB-2024-23, which is a Major Site Plan and Surface Water Conditional Use Permit for the Cheshire County Shooting Sports Education Foundation Shooting Range at 19 Verry Brook Road. Ms. Brunner noted there were several conditions of approval including:

Owner's signature on the plans; Submittal of one paper copy and one digital copy; Submittal of security to cover the cost of landscaping and sediment/erosion control; Submittal of an approved Alteration of Terrain Permit; Inclusion on the plan set of the pollinator friendly seed mix to stabilize the berm.

All of these conditions have been met, except for the submittal of the approved Alteration of Terrain Permit. Ms. Brunner stated as per State Statute, the Board cannot hold up approval based on that and recommended making that a condition subsequent.

A motion was made by Roberta Mastrogiovanni that the Planning Board issue final Site Plan approval for PB-2024-23 with a condition subsequent for the submittal of the approved AOT Permit. The motion was seconded by Stephon Mehu and carried on a unanimous vote.

5) Continued Public Hearing:

a) 31 Robbins Rd – Appeal of Street Access Permit Decision – Applicant and owner Karin Royce is appealing a decision of the City Engineer to deny a request for an exception from Sect. 23.5.4.A.8 of the Land Development Code regarding allowed driveway width. The parcel is 0.41-ac in size and is in the Low-Density District.

A. Public Hearing

Ms. Karin Royce and Mr. Tim Royce of 31 Robbins Road addressed the Board. Ms. Royce explained that they had installed a driveway, because their two teenage drivers were parking on the side of the road. They hired a paving company who paved the area. She stated they were not aware that a permit was needed until after the work was done. She indicated the neighbors were pleased with the installation as it keeps the cars off of the road. Ms. Royce stated this is a very low traffic area and felt it was safer to have their cars parked on the side lot than to have them parked on the street.

Mr. Royce stated this is aesthetically pleasing. The paved area prevents cars from having to be parked on the lawn. She continued by stating that they relied on their contractor, but months later received a notice of violation from the City Engineer.

They are hoping not to have to tear up approximately \$8,000 worth of asphalt, put soil back, regrow grass, etc.

Mr. Hoefer asked whether the contractor had mentioned anything about there being a permit required. Ms. Royce answered in the negative and added they have reached out to them but to date have not received a call back.

Ms. Mastrogiovanni asked if there has been an increase in runoff because of this installation. Mr. Royce stated they have not seen any increase and there have been no complaints from neighbors who have sent a letter of support to the Board. He added the area that is paved now had three inches of mud and that mud travelled to the road and this is when they decided to do something about it.

Staff comments were next. Mari Brunner, Senior Planner, addressed the Board and stated that many of the driveway standards don't apply, but there is one standard that has not been met with

this application. The driveway criteria or standard that requires a residential driveway to be 30 feet at the right of way line, and 20 feet at the property line. There is a process in the code in which you can request something called an exception. It requires mailed notice to the direct abutters.

If there are no objections raised by any abutters after 14 days, the City Engineer, the Staff member who has authority to approve driveways for single and two-family residences, will then make a decision. The decision has to be based on the criteria for granting an exception in Section 23.5.6..

Ms. Brunner noted to the criteria for granting an exception:

Issuance of the exception will not adversely affect the safety of pedestrians, bicyclists, and vehicles using adjacent streets and intersections.

The criteria has been met.

The issuance of the exception does not adversely affect the efficiency and capacity of the street or intersection.

The criteria has been met.

There are unique characteristics of the land or property which present a physical hardship to the requester.

Staff's determination is that the criteria has not been met.

In no case shall financial hardship be used to justify the granting of the exception.

Ms. Brunner stated Staff feel sympathetic to the situation and the reason it is before the Board.

She explained that the Board has to use the same criteria to evaluate the application.

This concluded Staff comments.

Councilor Ellis asked what the basis for the code to require that a driveway should be 30 feet wide at the street and 20 feet wide at the property line. Ms. Brunner stated this standard is specifically for residential driveways for single- and two-family homes. The idea behind that requirement is for access management on the street. The City does not want to see large curb cuts. Once you get into the property, it could flare out to create more space for parking; along the streetscape, the intent behind that standard was to limit the amount of disruption to the roadway. Limiting this kind of disruption has been shown to improve safety for users, especially in areas where there are sidewalks and high pedestrian traffic, bicyclists and motorists. She stated she wasn't sure when the standard was first adopted by the City but these are criteria that are adopted by Council.

Ms. Mastrogiovanni asked if the curb cut was narrowed and they left the driveway the same whether this would be within standard. Ms. Brunner agreed it would, even though this would mean that people would be driving over the portion that is unpaved; but this would meet our standards and would hopefully meet the applicants' needs as well.

Mr. Kost felt if the Board accepts this appeal, he was afraid the Board might be setting precedent and there is a reason why the City has building codes and land use codes.

Mr. Cocivera asked whether the Board has recently issued a driveway exception for a situation such as this. Ms. Brunner a while a while ago the Board did approve an exception where it was a corner lot and because of the location of the buildings, there was no space on the lot; the Board was able to determine that there was a unique characteristic of the lot that caused a hardship in that instance.

Mr. Kost asked whether that driveway was installed before the exception was granted for the prior application. Ms. Brunner stated the driveway had not been installed when the Board granted the exception. Ms. Brunner added that regardless of whether the driveway was already installed or not, the Board can treat it as if it has not been installed. The Board needs to base its evaluation on the merits of the application and not base it on an applicant not knowing the rules.

The Chair asked whether there has been further input from the City Engineer or whether this was a “black and white” issue for engineering. Ms. Brunner stated it is pretty “black and white” from City Engineer’s perspective. She stated the Engineer did provide comments, which are included in the Staff Report, which states as follows: *based on our review, we have determined that your request is not satisfied. The evaluation criteria specifically that there are no unique characteristics of the land which present a physical hardship.*

Mr. Kost asked Ms. Brunner for clarification as to why Planning Staff was or wasn’t supporting this application. Ms. Brunner stated, from Staff’s perspective, in order to grant an exception to the driveway criteria, the applicant is supposed to demonstrate that they meet the criteria in Section 23.5.6 of the Land Development Code. This is included on the second page of the Staff Report, Criteria C, which states that *there are unique characteristics of the land or property which present a physical hardship to the requestor.*

Criteria D: *no case shall financial hardship be used to justify the granting of the exception.*

Ms. Brunner stated those two criteria together make it challenging for Staff to recommend approval and added that Staff is sympathetic to the property owners, but stated there was not much wiggle room to approve this exception by Staff

Ms. Mastrogiovanni asked for clarification on whether the curb cut was to be filled at the end, how deep it would have to go and how complicated that is. She continued by asking if that would be a great expense for the applicant or if they could get Gemini Paving to pay for this expense. She stated she is sympathetic, this was a mistake, and noted Keene does have a lot of rules applicants have to follow.

Ms. Brunner stated she has no idea how much it would cost to take out a small portion of the driveway; for example, it could be 5 feet, maybe 10 feet. She stated it would be a financial cost and a hassle to remove this driveway. Ms. Mastrogiovanni asked whether the applicants would also have to put grass back once the asphalt is removed. Chair Farrington noted the City Engineer’s letter calls for revegetation.

Mr. Hoefer stated the Board’s role is to make sure that the Staff that denied this request has done so correctly, which he felt they had. Absent a misinterpretation of Criteria C, he did not see there was room to overturn the decision of the City Engineer.

Megan Forston, Planner, stated that using the GIS Map as Ms. Brunner had stated it is about 9.5 feet or 10 feet from where the edge of the road is to where their property line begins. If it is 10 feet by 9 feet in width that they added onto their driveway, that is about 90 square feet approximately that they would at least have to remove.

The Chair asked for public comments next.

Mr. Royce addressed the Board, again, and stated he wanted to reiterate the spaces used previously was lawn. It was three vehicles wide and they were using this area as pavement. They were still coming into the road on Robbins Road with their vehicles. He stated this is one of the arguments, the safety aspect for pedestrians. There is no curvature; the grade is essentially within probably an inch of the asphalt on the road. All they have done is use it as a driveway but it was mud with topsoil getting on to the public right of way. Now there is pavement, but if they were making this special cut, there is nothing saying they couldn't use it the same way, but they would just be wasting money to cut this back.

With no further comment, the Chair closed the public hearing.

B. Board Discussion and Action

A motion was made by Roberta Mastrogiovanni that the Planning Board deny the requested exception from Section 23.5.4.A.8 of the Land Development Code to allow for a driveway width greater than 30 ft at the curblineline and 20 ft at the property line.

The motion was seconded by Michael Hoefer.

Mr. Hoefer reiterated what he said previously in that Staff has interpreted this standard correctly and there is no valid reason for the Board to overturn this decision. Absent a hardship he could not see how this decision could be overturned.

Councilor Ellis stated it seems the purpose of this regulation is for safety of pedestrians and bikers. If this is a low-density area with very little pedestrian and bike traffic, she stated she could not see how essential this standard would be for this area. She stated she understands that code is created for a purpose, but in this instance, the purpose of the code is not necessarily a factor for this the specific home and driveway.

Chair Farrington stated he agrees with Councilor Ellis and noted there is no curbing on this road and did not feel the Board will be setting precedent if they were to approve the exception request.

Mr. Cocivera stated he has the same feeling and if these are teenage drivers they are likely going to drive over the grass.

Mr. Kost felt another reason for the 20-foot standard is for uniformity in a neighborhood. He stated the Code is there for a reason.

Chair Farrington stated the Board should also be in a position of supporting City Staff.

Mr. Mehu stated he agrees with what Councilor Ellis and Mr. Cocivera said. He stated he has not driven this street and hence is not sure what the visibility is like, but felt parking on the street does present an issue. He stated he is trying to, in his mind, see if *unique characteristics of the land or property constitute a safety as a physical hardship* but didn't think it did.

The Chair was ready to call a vote and explained a yes vote constitutes a denial of the exception request and a no vote will grant the exception.

The motion made by Roberta Mastrogiovanni carried on a 4-3 vote with the Chair, Vice-Chair and Councilor Ellis voting in opposition. The exception was denied.

6) Public Hearing:

a) PB-2025-27 – Major Site Plan & Congregate Living & Social Services Conditional Use Permit – ANEW Behavioral Health, 232 Winchester Street – Applicant Anew Behavioral Health, on behalf of owners David & Brianne Gray, proposes to convert the mixed-use building at 232 Winchester St (TMP #592-017-000) into a small group home with 8 beds. The parcel is ~0.4-ac in size and is located in the High Density District.

A. Board Determination of Completeness

Planner, Megan Fortson, stated the applicant has requested exemptions from submitting separate existing and proposed conditions plans; grading, landscaping, and lighting plans; elevations; and all technical reports. Planning Staff have made the preliminary determination that granting the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as complete.

A motion was made by Roberta Mastrogiovanni that the Planning Board accept this Application as complete. The motion was seconded by Kenneth Kost and was unanimously approved.

B. Public Hearing

Mr. Jason Pratt, CEO of ANEW Behavioral Health, and Keith Littell, Regional Director of Operations, addressed the Board. Mr. Pratt began by stating that ANEW has long experience in covering these types of projects. They are operational in New Hampshire and Ohio and have 18 such facilities and are looking forward to moving forward with this project.

Mr. Littell address the Board next. He stated their plan is to transform this multiuse building into recovery housing. There are two other recovery homes in Keene. He stated this is something their stakeholders, like Drug Corp and The Doorway, are looking for in this area as Keene is a little bit separate from the recovery capital in the rest of the state. New Hampshire Partnership for Recovery Housing, the body that certifies recovery housing in the state, also has this area as an identified need. Hence, this would be a certified recovery home. Mr. Littell stated they have two clinical offices in Keene and they operate all their own clinical programming, which the clients in recovery housing would attend. He noted they have all their policies and procedures in their operations manuals for this type of program. He went on to say that they are working with the State to adapt to the standards the state has.

Mr. Pratt stated all their operational standards and environment of care is based on the National Alliance of Recovery Residents, which is the federally recognized leader in terms of Gold Standard Care in this regard.

Chair Farrington asked about rules for visitors. Mr. Pratt stated, with Congregate Living, the safety of everyone needs to be considered, while balancing the fact that this is home for everybody that is living there. Visitors are welcome, but it depends on the clinical appropriateness of where people are in the program. For the first 90 days, visitors are not permitted while they get acclimated to the program, establishing a history of sobriety, and making sure that they are following all programming rules. Once those criteria have been met, the clinician that is assigned to each person approves visitors. Then there are standards for anybody coming and going from the home in terms of searching belongings, etc. There are also designated areas for those visits to occur and there is 24-hour supervision that would include during visitation.

He went on to say there is also an extra element that everybody involved in this program as a client is verifying and confirming their ongoing sobriety with weekly drug testing as well. If visits have been successful and there is no disruption to the community at large those visits are encouraged.

Mr. Littel added there are different levels to this program: Level 4 is the most structured, which is a clinical program for large treatment centers. Level 3 is not clinical, but much more structured, which is what this House would be. To track stages is what the residents will go through to ensure stability and are building recovery capital and everyone in the house is safe. Level 2 recovery housing and level 1 recovery housing have different levels of restriction.

Chair Farrington asked whether there are any restrictions for clients coming in and out of the house. Mr. Pratt stated this again ties back into the level system and the clients have to work on these restrictions. However, the end goal is their independence. Mr. Littel added Staff know where the clients are at all times; they might be at a clinical program or have a pass to go to work. He added clients are monitored at all times.

Chair Farrington asked how meals for the clients are handled. Mr. Pratt as stated before a client gains their independence, meals are covered. Mr. Littel added that a part of the non-clinical portion of the recovery home is developing life skills. Staff help set a schedule with all clients to make sure chores are addressed, meals are taken care of and common areas are clean, to make sure clients are developing habits that support independence, building recovery capital and self-efficacy, maintaining employment, managing their money, having a house and family and establishing community bonds.

Chair Farrington asked whether the expectation is that the clients would be predominantly from Keene. Mr. Pratt stated they are open to anybody within the State to meet the need, but they already have an established wait list of local clients that want to receive the help and need the help.

The Chair asked what the expectation is for staffing needs. Mr. Pratt stated they are adding three jobs across the board for 24-hour coverage; Recovery Monitors. He added they also have existing Staff that will help out in terms of Licensed Therapists and Psychiatrists. However, as the clientele grows, they would need to hire more Staff. There would also be a need to add Staff to the substance abuse side.

Ms. Mastrogiovanni clarified the outdoor space would be well sheltered and shielded from public right-of-way. Mr. Littel stated the outdoor smoking area will be shielded from the public right-of-way.

Councilor Ellis asked whether this is a co-ed site. Mr. Littel stated it would be all men at this time. The Councilor asked whether there is a plan to take clients to an offsite gym for physical activity. Mr. Pratt stated these are relationships they will be working on even if it is as simple as using open park space. He added they are known to use their own nursing staff or bring in trainers or partner with the YMCA for membership. This concluded the applicant's comments.

Staff Comments were next.

Ms. Forston addressed the Board and stated the subject parcel is less than 1/2 an acre in size and is located to the southern portion of Winchester Street, to the west of Winchester Court, and directly adjacent to the Ashuelot River. The building was previously occupied by an office and two apartment units, and is now proposed to be converted to an eight-bedroom congregate living use, which will be a small group home. Ms. Forston noted the site is located within the 500-year floodplain. However, no portion of the lot is currently located within the 100-year floodplain or the floodway.

Under the Use Standards of the Land Development Code, in the High Density District, Congregate Living uses, such as a small group home accommodating up to eight people, is allowed, but only through the issuance of a Congregate Living and Social Services Conditional Use Permit.

Ms. Forston stated, during review of the application, Staff did not feel the proposed use was going to have any sort of regional impact.

In regard to departmental comments, there were comments received from both Code Enforcement and the Fire Department. Those comments were to make sure the applicant was aware of the fact that the change of use from office and apartments to a small group home is going to need to meet certain life safety requirements and certain building code requirements

Ms. Forston next reviewed the Congregate Living and Social Services criteria and the applicable Site Development Standards.

The first Congregate Living Standard says that *the nature of the proposed application is consistent with the Zoning Regulations, the Land Development Code, and the City's Comprehensive Master Plan*. It also requires that *the proposal comply with all specific standards for small group homes, which are outlined under Section 8.3.4 of the Land Development Code*.

Standards in Section 8 are specific to this use and state as follows: *there shall only be one group home permitted per lot. Group homes may not operate without an approved Conditional Use Permit. Congregate Living and Social Services License shall be obtained and renewed on an annual basis, and that the building exterior shall maintain the appearance of a residential structure.* Ms. Forston noted the applicant is not proposing to change anything on the outside of the building.

Connecting this use to the Comprehensive Master Plan, Ms. Fortson continued by stating that one of the goals of the Livable Housing Pillar is to address the housing needs of all residents (current and future). Action item number 5.7 under this goal states that *the community needs to ensure that zoning and development regulations allow for diverse housing.* Ms. Forston noted the proposed use is going to be providing dwelling units and services to a vulnerable population in the Keene community. Based on Staff review, the proposal appears to be consistent with the spirit and intent of the zoning regulations, the land Development Code, and the Master Plan.

The next standard, B, states that *the proposed use will be established, maintained and operated so as to not endanger the public health, safety or welfare.* Ms. Forston noted, as explained by the two applicants present today, there are a number of procedures that will take place both inside the building and outside of the building to ensure that all residents are going to be safe. There will be locked doors, etc. The only outdoor area that is proposed is the 120 square foot smoking shelter towards the southern portion of the site.

Standard C is similar, which addresses the fact that if there is not going to be any waiting areas and that they need to be screened.

Standard D states as follows: *the proposed use will be of a character that does not produce noise, odors, glare and or vibration that will adversely affect the surrounding area.* Ms. Forston noted most of the use would be inside the building, as it is a residential use, and the site itself is screened on most sides by fencing and on the side that is not screened is the Ashuelot River, which already has an existing vegetated buffer, which will be used to help screen the site as well.

Standard E states as follow: *The proposed use will not place an excessive burden on public infrastructure, facilities, services or utilities.* Ms. Forston stated this site is not expected to have a large amount of traffic generation. There is an approximation of about 10 vehicle trips per weekday and six vehicle trips per weekend day. There is only parking available for eight vehicles, which is what is driving the number of beds on site (one bed per space for this use). This standard has been met.

Standard F: *The proposed use will not result in the destruction, loss, or damage of any feature determined to be of significant natural, scenic, or historic importance.* Ms. Forston stated Staff did not feel this standard was applicable because there is nothing that fits into any of these characteristics on site.

Standard G: *The proposed use will not create a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity of the use.* Ms. Forston stated this would not be an issue, as most residents will not have their vehicle on site for at least 90 days.

Standard H: *The proposed use will be located in proximity to pedestrian facilities (e.g. multiuse trails and sidewalks), public transportation, or offer transportation options to its client population.* Ms. Forston stated this site is ideally located to meet this standard because the Cheshire Rail Trail is located not too far from the site. They are less than ½ mile from the City Express, the facility will also have their own transportation for its residents and there are sidewalks right outside the facility. This standard appears to be met.

Ms. Forston next reviewed the Site Development Standards
Snow Storage and Removal: The applicant identified a large snow storage area on the southern portion of the site. That standard had been met.

Screening: Ms. Forston stated this is the only standard that is really applicable in this instance, which applies to the outdoor smoking area. Staff think it is proposed to be sufficiently screened from view of the public right-of-way and adjacent parcels.

Surface Waters and Wetlands: The subject parcel is located right next to the Ashuelot River and is located in the High Density District. The applicant is required to maintain a 30-foot buffer from the edge of the river onto the parcel, and they have submitted a plan and supplemental information indicating that they are aware that they cannot place any structures within that 30-foot buffer. If they were to do any work or construct anything within that buffer in the future, it could potentially need a Surface Water Protection Conditional Use Permit. That standard has been met.

Ms. Forston reviewed the proposed motion outlined in the Board's packet.

Ms. Forston stated, if the applicant is granted this Conditional Use Permit, they would be required to go before the Congregate Living and Social Services License Board to obtain their initial CLSS license, which will then be required to be renewed every year. If that license were ever to be non-renewed, their Conditional Use Permit would be invalidated.

The Chair asked for public comment next. With no public comment, the Chair closed the public hearing.

C. Board Discussion and Action

A motion was made by Roberta Mastrogiovanni that the Planning Board approve PB-2025-27 as shown in the application and supporting materials submitted to the Community Development Department on November 14, 2025 and last revised on January 12, 2026, with the following conditions:

1. Prior to the final approval and signature of the plans by the Planning Board Chair, the following conditions precedent shall be met:

a. Owner's signature appears on the submitted plot plan.

b. Submittal of five (5) full sized paper copies of the plot plan.

2. Subsequent to final approval and signature of the plans by the Planning Board Chair, the following condition shall be met:

a. The Applicant shall obtain all required state and local permits and approvals

The motion was seconded by Stephon Mehu.

Mr. Kost stated, from a land development perspective, the application meets all code requirements. From Planning Board standpoint, he did not see any issues. Mr. Kost asked how this facility would benefit Keene residents, as it is also open to anyone from the State; how do we make sure it is actually helping Keene residents. Mr. Pratt stated, when he says it is open to anyone from the State, that is based on their licensing. They can't prevent anyone from the State enrolling as a resident of this facility. He stated they already have a waitlist for people to get in and could not see too much participation from outside of Keene. Mr. Pratt stressed, from a licensing issue, they cannot prevent anyone from the State applying.

He added there could be an instance in which someone might need to be moved out of their residential area for a fresh start, and in an instance like that, for example, someone from Manchester could end up in Keene and someone from Keene could end up in Manchester.

Councilor Ellis felt this project would be an asset to Keene.

Mr. Hoefer echoed what other Board members stated, and he did not feel there was any regional impact from this project.

The motion carried on a unanimous vote.

7) Staff Updates

Overview of Administrative and Minor Project approvals issued from July-December 2025.

Ms. Brunner stated there were no minor projects approved during July through December 2025, and all of the applications on the memo were administrative approvals. She noted these approvals are posted on the department page on the City website. Ms. Forston noted these items are deleted from the website on a quarterly basis.

Mr. Kost asked whether things are posted while they are pending approval or do they get posted after they have been approved. Ms. Brunner stated they are posted after they have been administratively approved. However, Staff is in the process of updating the permitting software, which will allow members of the public to track projects while they are in progress.

The Chair stated he did not want to diminish the importance or amount of work that goes into these administrative approvals, but was disappointed to see no dwelling units included in six months. He added the read out provided to the Board is very helpful.

Ms. Brunner addressed the next Staff Update. She called the Board's attention to a Memo from the Community Development Director regarding the Capital Improvement Program (CIP), which happens once every two years. In the past, the Board has been asked to vote on the CIP at the beginning of the process, but this year, the Board is being asked to vote on it closer to the end of the process. Hence, the Board would have several opportunities to follow along. She encouraged Board members to attend the CIP kick-off presentation. It is an information event with presentations by Staff. There are also other presentations the Board can attend. By the time this

item comes to the Board for its March meeting, there will have been a public hearing before City Council, two Committee meetings before FOP, plus the kickoff presentations.
The Planning Board's role is to make a recommendation as to whether or not the program is consistent with the 2025 Comprehensive Master Plan.

The Chair encouraged Planning Board members to attend. He also welcomed Councilor Ellis as a member of the Board.

8) New Business

None

9) Upcoming Dates of Interest

- Joint Committee of the Planning Board and PLD – February 9th, 6:30 PM
- Planning Board Steering Committee – February 10th, 12:00 PM
- Planning Board Site Visit – February 18th, 8:00 AM – To Be Confirmed
- Planning Board Meeting – February 23rd, 6:30 PM

B. MORE TIME ITEMS

- 1) Training on Site Development Standards
 - a) Standards 6 & 7 – Screening & Lighting

C. ADJOURNMENT

There being no further business, Chair Farrington adjourned the meeting at 8:03 PM.

Respectfully submitted by,
Krishni Pahl, Minute Taker

Reviewed and edited by,
Emily Duseau, Planning Technician



MEMORANDUM

TO: Planning Board

FROM: Community Development Staff

DATE: February 13, 2026

SUBJECT: Agenda Item IV - Final Vote on Conditional Approvals

Recommendation:

To grant final approval for any projects that have met all their “conditions precedent to final approval.”

Background:

This is a standing agenda item in response to the “George Stergiou v. City of Dover” opinion issued by the NH Supreme Court on July 21, 2022. As a matter of practice, the Planning Board issues a final vote on all conditionally approved projects after the “conditions precedent to final approval” have been met. This final vote will be the final approval and will start the 30-day appeal clock.

As of the date of this packet, there are no applications ready for final approval.

If any projects meet their conditions precedent between date of this packet and the meeting, they will be identified and discussed during this agenda item.

All Planning Board actions, including final approvals, are posted on the City of Keene website the day after the meeting at [KeeneNH.gov/planning-board](https://www.KeeneNH.gov/planning-board).

STAFF REPORT

PB-2026-01 – COTTAGE COURT CONDITIONAL USE PERMIT – BARN CONVERSION, 87 WATER ST.

Request:

Applicant and owner, Elm City Properties, proposes to convert a carriage barn into a dwelling unit on the single-family property located at 87 Water St (TMP #585-059-000). The parcel is ~0.15-ac and is in the Residential Preservation District.

Background:

The subject parcel is ~0.15-ac in size and is located on the southern side of Water St. between Crossfield St. and Grove St. The parcel is developed with an existing ~1,450-sf single-family home, a ~550-sf detached barn, and a driveway shared with the parcel directly to the west at 81 Water St. Although this area of Keene has historically experienced flooding, this site is not currently in a flood hazard zone. The surrounding parcels are mostly residential in use with densities ranging from 2 to 4 dwelling units.



Figure 1. Aerial imagery showing the subject parcel at 87 Water St.

The request is to convert the existing barn at the rear of the site into a new rental unit. Per Section 3.2.5 of the Land Development Code (LDC), the creation of a second dwelling unit in the Residential Preservation District that is not owner-occupied is allowed through the Cottage Court Conditional Use Permit (CUP) process outlined in Article 17 of the LDC.

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposal does not appear to have the potential for “regional impact” as defined in RSA 36:55. The Board should make a final determination as to whether the proposal could have the potential for regional impact.

Completeness:

The applicant has requested exemptions from submitting grading, landscaping, and lighting plans and all technical reports. After reviewing each request, Planning Staff have made the preliminary determination that granting the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as “complete.”

STAFF REPORT

Departmental Comments:

- **Engineering.** Please be aware that:
 - The owner will need to submit a request to the Engineering Division for a building address assignment prior to submitting for a utility connection permit.
 - The developer and/or property owner will need to obtain utility connection and excavation permits (*including a plan of the proposed utilities*) from the Public Works Dept. prior to excavation in the public right-of-way and installation and connection of the new water and sewer services to City utilities.
- **Building Safety & Fire.** Please be aware that a building permit and life-safety applications will need to be submitted to the City of Keene if/when the application has received final approval from the Planning Board.

APPLICATION ANALYSIS:

ARTICLE 17 – COTTAGE COURT CONDITIONAL USE PERMIT CRITERIA:

- 17.4 Permitted Uses:** The applicant proposes to convert the ~550-sf barn into a second detached single-family dwelling on the lot. This use is allowed through the Cottage Court CUP process. This standard appears to be met.
- 17.5.1 Development Types Allowed:** This project involves a single parcel of land with two dwelling units available for rent and managed by a Property Management Entity. This standard appears to be met.
- 17.5.2 Dimensional Standards:** The subject parcel is ~0.15-ac in size with ~74' of frontage along Water St. (Table 1). The lot is legally nonconforming with respect to minimum lot size, setbacks, and maximum impervious coverage requirements, and this proposal would not expand any of the existing non-conformities. This standard appears to be met.

Table 1: Required vs. proposed dimensional standards.

<i>Dimensional Requirement</i>	<i>Required</i>	<i>Existing / Proposed</i>
Min. Lot Size	8,000-sf (~0.18-ac)	~6,535-sf (~0.15-ac)
Min. Road Frontage	50'	~74'
Min. Lot Width at Building Line	60'	~74'
Min. Front Setback	15'	~11'
Min. Rear Setback	20'	~3'
Min. Side Setback	10'	~4'
Max. Building Coverage	35%	~30%
Max. Impervious Coverage	45%	~48%
Min. Green / Open Space	55%	~52%
Max. Stories Above Grade	2	2
Max. Building Height	35'	~24'

STAFF REPORT

17.5.3 Conditional Use Permit Standards:

- A. **Dwelling Unit Size:** The footprint of the barn is ~550-sf and the gross floor area (GFA) of the new unit will be ~922-sf, which is less than the allowed maximum footprint of 900-sf and the maximum average GFA of 1,250-sf. This standard appears to be met.
- B. **Parking:** Two parking spaces will be provided on-site, which complies with the minimum requirement of 1 space per unit. This standard appears to be met.
- C. **Building Separation:** Building separation will be reviewed as part of the building permit for the barn conversion. This standard appears to be met.
- D. **Driveways:** The project narrative states that the existing 26-ft wide driveway, which is shared with the two-family property at 81 Water St, will not be altered as part of this project. This standard is not applicable.
- E. **Internal Roads:** There are no internal roads proposed as part of this application. This standard is not applicable.
- F. **Screening:** The proposed building type (detached single-family dwelling) is not more intense than the adjacent building types. This standard is not applicable.

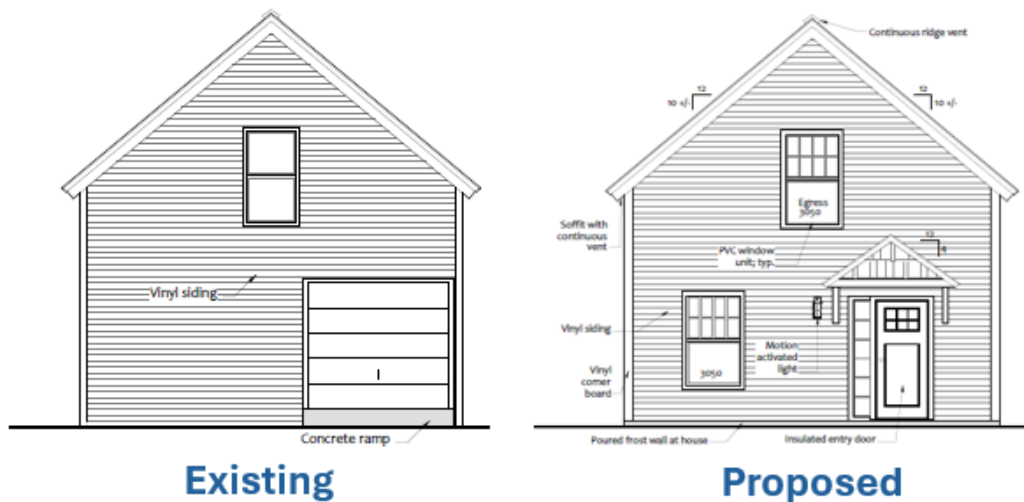


Figure 2. Snippets of the existing and proposed elevations for the north (main) façade of the barn being renovated.

- G. **Architectural Guidelines:** The project narrative states that the existing wood-framed barn will be modified to have an exterior appearance that is consistent with the surrounding neighborhood. The existing elevations on Sheet A2 of the plan set show that the barn is currently finished with sage green vinyl siding and an asphalt shingle roof. The front (north) façade has a single garage door opening with a second-floor window. The proposed elevations on this same sheet show that the proposed renovations include the relocation and installation of additional windows and the addition of a new covered entry door with a sidelight (Figure 2). This standard appears to be met.

STAFF REPORT

ARTICLE 21 – SITE DEVELOPMENT STANDARDS:

- 21.2 Drainage:** The project narrative states that there are minimal changes proposed to drainage and stormwater management on the lot. Additionally, the narrative states that the intent is to maintain existing drainage patterns. This standard appears to be met.
- 21.3 Sediment & Erosion Control:** There are no new sediment or erosion control measures proposed. This standard is not applicable.
- 21.4 Snow Storage & Removal:** A snow storage area is identified on the south-central portion of the site between the two structures. This standard appears to be met.
- 21.5 Landscaping:** No modifications are proposed to existing landscaping and no new plantings are proposed. This standard is not applicable.
- 21.6 Screening:** The project narrative states that trash receptacles will be located along the east façade of the barn and will be screened from view by the existing single-family home. This standard appears to be met.
- 21.7 Lighting:** One motion-activated entry light will be installed along the north (main) façade of the new dwelling unit; however, given that this application does not meet the threshold for major site plan review, this standard does not apply.
- 21.8 Sewer & Water:** The narrative states that the new dwelling unit will be tied to existing City water and sewer services. This standard appears to be met.
- 21.9 Traffic & Access Management:** The project narrative states that the existing driveway will be used to access the site and has room to provide sufficient parking spaces. A note has been added to the proposed conditions plan stating that any future modifications to the shared driveway will require review through the City Engineer's Office. This standard appears to be met.
- 21.10 Filling & Excavation:** The narrative states that the only filling and excavation will be for the construction of the new foundation and to connect the new unit to City utilities. This standard is not applicable.
- 21.11 Surface Waters & Wetlands:** There are no surface waters or wetlands present on the site. This standard is not applicable.
- 21.12 Hazardous & Toxic Materials:** The narrative states that there will not be any hazardous or toxic materials involved with this proposal. This standard is not applicable.
- 21.13 Noise:** The narrative states that the noise impacts from the proposed project will be minimal and consistent with adjacent residential uses. This standard appears to be met.
- 21.14 Architecture & Visual Appearance:** The architectural and visual appearance of the building is described under Section 17.5.3.G above.

STAFF REPORT

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

“Approve PB-2026-01 as shown the plan set identified as, “Carriage House; 87 Water St; Keene, NH 03431” prepared by Sampson Architects at varying scales on January 6, 2026 and last revised on February 4, 2026, with the following conditions prior to final approval and signature of the plans by the Planning Board Chair:

- 1. Owner’s/owners’ signature(s) appear(s) on the plans.**
- 2. Submittal of five (5) full sized paper copies and a flattened PDF version of the final plan set and elevations.”**

Descriptive Narrative

Existing / Proposed Uses:

The lot located at 87 Water St. has an existing four-bedroom residential structure. This proposal is to renovate an existing barn on the lot to a one-bedroom residential use that will be in keeping with the neighborhood. All units on this site are rentals managed by a Property Management Entity.

Description of Size / Intensity of Use:

The lot is approximately .15 acres. The lot is located in the Residential Preservation district. One new dwelling unit is being proposed utilizing the newly adopted Cottage Court overlay standards. All lot coverage and frontage requirements are able to be met. The structure to be renovated has approximately 400 sf of existing nonconforming in the rear and side setbacks. No further incursion into the setbacks are planned.

Description of Proposed Development:

This application proposes developing an unconditioned storage structure into a single residential unit. The unit will have one bedroom.

Traffic Impact:

The proposed project will have limited impact on existing traffic patterns and will be consistent with the residential use of the neighborhood.

Description of Parking Demand / Impact:

All required parking for the new dwelling unit exists currently on site. Adjacent to existing dwelling unit there are two existing parking locations. No changes to existing curb cut are planned.

Location of access points:

Access to the proposed unit will be from the single existing driveway cut.

Other Descriptive Information:

This proposal is limited in scope and is consistent with the neighborhood.

Drainage & Stormwater Management:

There is minimal change being proposed to the lot. The intent is to maintain current drainage patterns.

Sedimentation Control:

Sedimentation control will continue to utilize existing structures.

Snow Storage and Removal:

Snow will be pushed adjacent to existing parking behind existing dwelling.

Landscaping:

There will be no impact to the existing landscaping. There is no additional landscaping planned as part of this proposal..

Screening:

Trash receptacles will be located on the side of the structure, out of view from public roadways. Proposed screening will be achieved with landscaping, consistent with the neighborhood.

Lighting:

All exterior lighting will be residential in scale and used to light ingress and egress points.

Water & Sewer:

The proposed building will be tied to city water and sewer.

Traffic & Access Management:

There will be no need to manage access to the site given its residential use.

Filling & Excavation:

There will be no changes to the existing site. The only excavation required will be for the proposed foundation ad to bring utility and sewer connection in to the existing house..

Surface Waters & Wetland:

There are no wetlands on the site.

Hazardous & Toxic Materials:

There are no hazardous or toxic materials involved with this proposal.

Noise:

Noise impact from the proposed project will be minimal and consistent with adjacent residential uses.

Architectural & Visual Appearance:

The proposed building will be residential in use and is wood framed and have an exterior appearance that is consistent with the neighborhood.

A

- B

C

- D



Owner Certification
I certify that my assigns or successors will seek approval by the
planning board prior to making any changes to this site plan.

Authorized agent

Date

Architect:
Sampson Architects
Timothy Sampson
NCARB, LEED AP
11 King Court
Suite 1E
Keene, NH
603 769 7736



© SAMPSON ARCHITECTS
2025 WO# 25-064

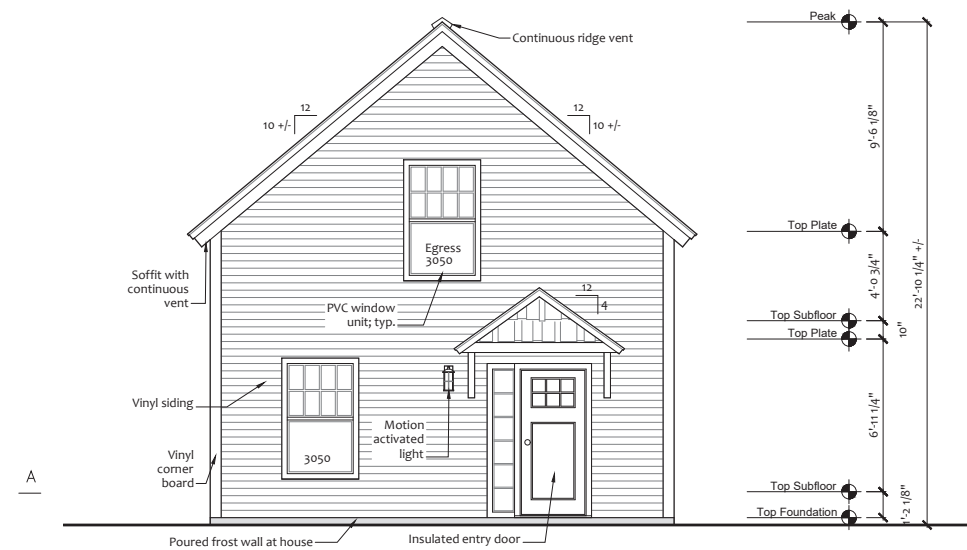
PROJECT
Carriage House
87 Water Street
Keene, NH

Date:	Revisions:
1.6.26	Permitting
2.4.26	CUP Application

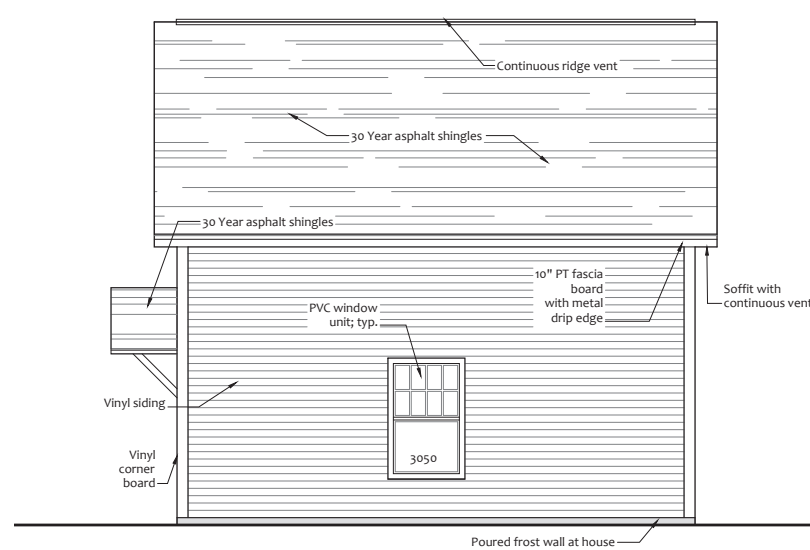
[illegible]

DATE 2.4.26

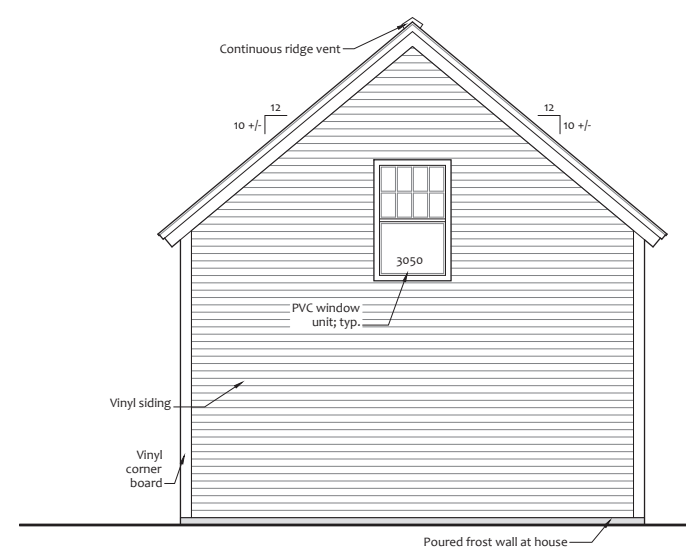
A1



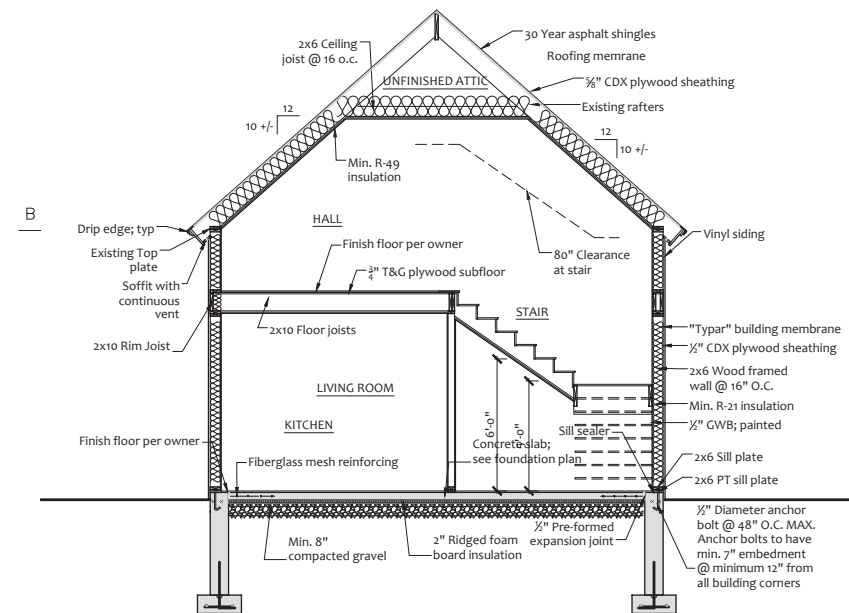
○ Front Elevation (North)
Scale: 1/4" = 1'-0"



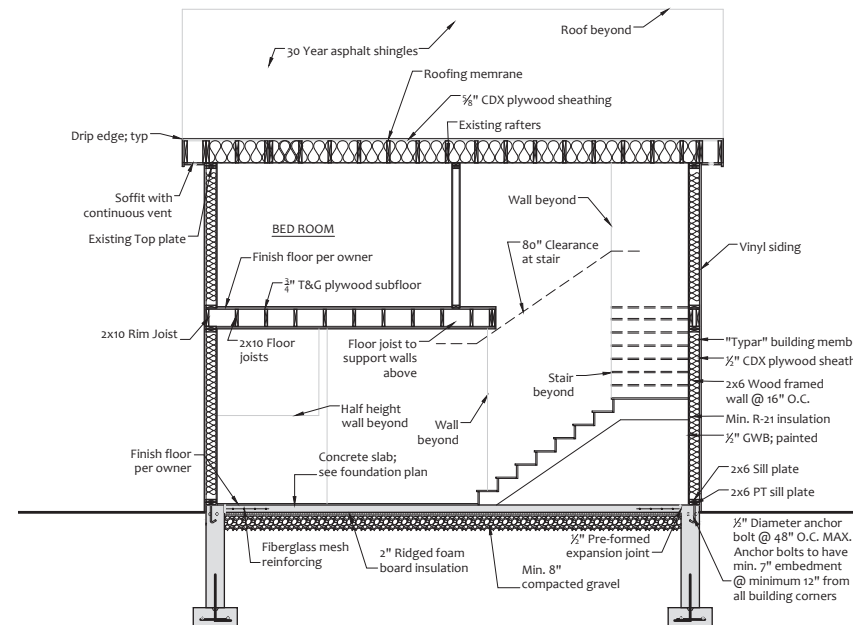
Right Elevation (West)
Scale: 1/4" = 1'-0"



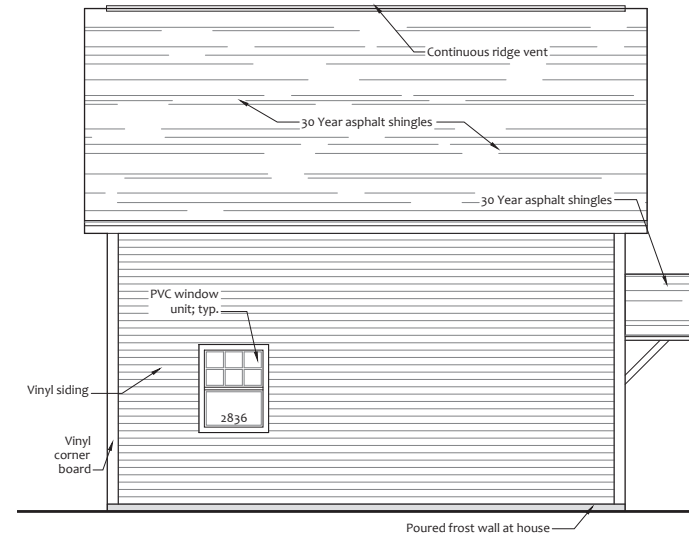
 Rear Elevation (South)
Scale: 1/4" = 1'-0"



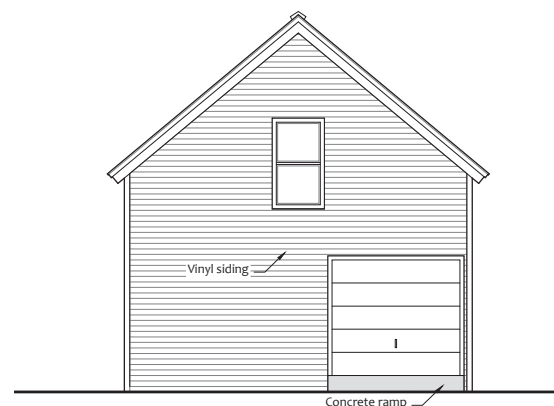
① Section
Scale: 1/4" = 1'-0"



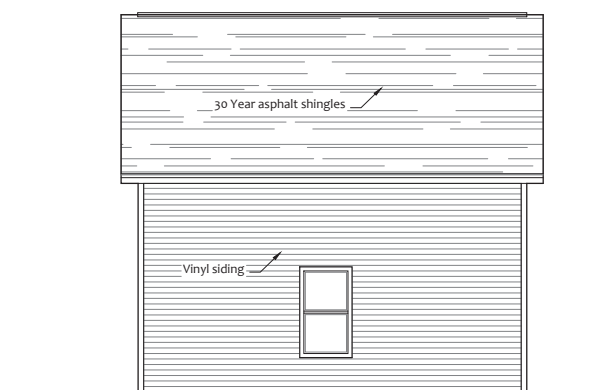
② Section _____
Scale: $1/4" = 1'-0"$



Left Elevation (East)
Scale: 1/4" = 1'-0"



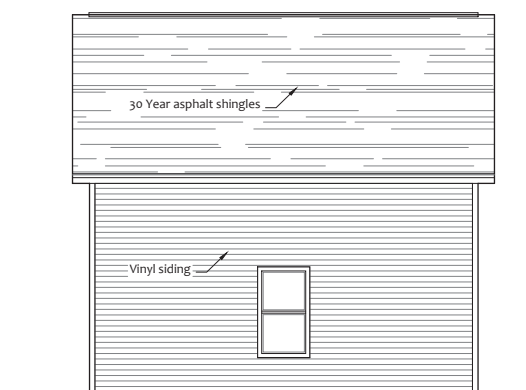
Existing Front Elevation (North)
Scale: 1/4" = 1'-0"



Existing Right Elevation (West)
Scale: 1/4" = 1'-0"



Existing Rear Elevation (South)
Scale: 1/4" = 1'-0"



Existing Left Elevation (East)
Scale: 1/4" = 1'-0"

These drawings are LIMITED SCOPE and are intended only to describe general design intent, scale, overall spatial relationships and material where indicated.

These drawings shall be considered preliminary for purposes of design review, comment, or budget pricing only, unless expressly released for other purposes as indicated in the issue log.

The architect assumes responsibility for errors in the information provided, and not for omissions.

Architect:
Sampson Architects
Timothy Sampson
NCARB, LEED AP
11 King Court
Suite 1E
Keene, NH
603 769 7736



Engineer:

© SAMPSON ARCHITECTS
2025 WO# 25-064

Prepared For
Elm City Properties LLC
16 North Shore Road
Spofford, NH

PROJECT
Carriage House
87 Water Street
Keene, NH

TITLE Elevations Sections

[illegible]

SCALE

DATE 2.4.26

SHEET NUMBER

A2

24

STAFF REPORT

PB-2025-18, MOD. 1 – SITE PLAN REVIEW – CHARITABLE GAMING EXTERIOR MODIFICATIONS, 109-147 KEY ROAD

Request:

Applicant Concord Bingo Too LLC, on behalf of owner Key Road Development LLC, proposes to modify the architectural features and parking area associated with the charitable gaming facility located at 109-147 Key Rd (TMP# 110-022-000). The parcel is ~5.8-ac and is in the Commerce District.

Background:

The subject parcel is an existing 5.8-ac lot located on the north side of Key Rd ~1,300 ft from Winchester St. The Hampton Inn is located directly to the south and the Key Road Plaza Shopping Center to the east. The parcel contains an existing shopping plaza with several multi-tenant commercial buildings, parking areas, and associated site improvements. The plaza contains businesses such as the Keene Cinemas, Sherwin-Williams Paints, and Toy City. The NH Department of Health & Human Services Keene District Office is also located in the plaza.

The purpose of this application is a tenant fit-up for the Revo Casino charitable gaming facility that includes architectural modifications to the existing shopping plaza as well as upgrades to the site lighting and parking areas. The proposal includes the installation of additional landscaping along Key Rd and in landscape islands throughout the site as well as screening measures for dumpsters and parking areas. The charitable gaming facility will have a footprint of ~15,000 SF within the existing building with 190 gaming positions, a 52-seat restaurant, and 1,000 SF of office and storage space.



Fig 1: Aerial of 109-147 Key Rd. located at the red star.

The Planning Board approved the Change of Use for the Revo Casino at their September 29, 2025 meeting. The use received a Variance from the Zoning Board of Adjustment on September 2, 2025 to allow a charitable gaming facility to be located closer than 250 ft from a residential use.

Determination of Regional Impact:

Staff have made a preliminary evaluation that the proposal does not appear to have the potential for “regional impact” as defined in RSA 36:55. The Board should make a final determination as to whether the proposal, if approved, could have the potential for regional impact.

STAFF REPORT

Completeness:

The applicant has requested exemptions from submitting a drainage report, soils analysis, and an historic evaluation. After reviewing each request, Planning Staff have made the preliminary determination that granting the requested exemptions would have no bearing on the merits of the application and recommend that the Board accept the application as “complete.”

Application Analysis: Article 21 Site Development Standards

- 21.2 **Drainage:** The applicant states in their narrative that the proposed modifications will not alter the existing drainage configuration. Runoff will continue to be captured by parking lot catch basins. The project does not propose a net increase in impervious surface. It appears that this standard has been met.
- 21.3 **Sediment & Erosion Control:** The project proposes to use perimeter erosion control devices such as filter socks around minor excavation areas related to the building addition and site improvements. Filter socks will be utilized to protect existing catch basin from any sediment runoff. It appears that this standard has been met.
- 21.4 **Snow Storage & Removal:** The applicant states in their narrative that the site will continue with existing snow removal operations. No change to the existing operation is anticipated. It appears that this standard has been met.
- 21.5 **Landscaping:** The applicant states in their narrative that the previous site plan application proposed five (5) Swamp White Oak trees to meet the requirement of the additional parking spaces that were proposed. In addition to those trees, this application proposes to install four (4) Apple Serviceberry, five (5) Shademaster Honeylocust, and four (4) Tupelo Tower Black Gum trees. As part of an overall landscape improvement to the site, this application also proposes the installation of over 100 shrubs and perennials along Key Road and in landscape islands throughout the site. It appears that this standard has been met.
- 21.6 **Screening:** The project includes the installation of two dumpster pads and associated enclosure areas along the western side of the property. These areas will be screened with stockade fencing that is at least 6 ft in height. A stockade fence is proposed along the rear of the property to screen the parking area from the property to the north. The 2025 Change of Use approval included the installation of approximately 190 ft of fencing. This application proposes to increase the length of the fence by an additional 212 ft for a total length of approximately 402 ft. It appears that this standard has been met.
- 21.7 **Lighting:** The project proposes to replace all lighting fixtures and poles on the property with modern full cut off LED fixtures that are dark skies compliant. The pole mounted light fixtures will be installed at 20 ft in height. The wall mounted light fixtures will be installed at 15 ft in height. A total of 34 pole lights and 16 wall mounted lights will be either replaced or installed. All light fixtures will have a color temperature between 2700K and 3500K with a color rendering index of 80 minimum. Average illumination levels in all parking areas does not exceed 3.5-footcandles with a uniformity ratio that does not exceed 5:1.

The lighting standard allows for full illumination one hour before and one hour after business operating hours. After this period, only security lighting that does not exceed 1-

STAFF REPORT

footcandle is permitted. The applicant has submitted both full illumination and security lighting photometric plans. The applicant states in their narrative that the lighting on the property will be programmed based on the operating hours of each business in the plaza to adjust illumination as needed. This will allow the entire site to remain in compliance with the lighting standard as new tenants come and go. It appears that this standard has been met.

- 21.8 Sewer & Water: A 1000-gallon grease trap is proposed to be installed to accommodate the restaurant use associated with the charitable gaming facility. The domestic water service to the building will be upgraded and a separate water service to feed the fire sprinkler system will be installed. The existing sewer service will meet the needs of the project. A separate sewer calculation has been submitted and reviewed by the City Engineer. It appears that this standard has been met.
- 21.9 Traffic & Access Management: The existing traffic pattern and access points for the property is not proposed to be substantially changed with this application. A total of 348 parking spaces will be provided where 315 parking spaces are required, and a concrete sidewalk and pedestrian striping are proposed near the vestibule entrance to the charitable gaming facility to facilitate safe pedestrian movement from the parking area to the entrance.

On the northwest corner of the property, approximately 600 SF of impervious surface is proposed to be installed to support the truck turning movements of delivery vehicles. A truck turning plan has been submitted to show this movement. A commensurate amount of impervious surface is proposed to be removed on the northeast side of the parking lot to balance the total impervious surface on the site. This new area will be converted into a landscape island. It appears that this standard has been met.

- 21.10 Filling & Excavation: The applicant states in their narrative the rear building addition is located within the 100-year floodplain. The addition is proposed to be at elevation 472, which will be 1 ft above the 100-year flood. The applicant will work with the Floodplain Administrator to obtain a floodplain development permit in conjunction with a building permit.

Excavation related to the removal of impervious surface and construction of the addition and vestibule will be minimal. A truck route plan is not necessary for this project. It appears that this standard has been met.

- 21.11 Surface Waters & Wetlands: There are no surface waters or wetlands present on the property. This standard is not applicable.
- 21.12 Hazardous & Toxic Materials: The applicant states in their narrative that there are no hazardous or toxic materials proposed in association with the use. This standard is not applicable.
- 21.13 Noise: The applicant states in their narrative that that noise associated with the use will be minimal and comparative to the movie theater, also located in the plaza. They note that patrons for the charitable gaming facility and restaurant will be located indoors. It appears that this standard has been met.

STAFF REPORT

21.14 Architecture & Visual Appearance: The applicant states in their narrative that the existing building façade will be enhanced with a light gray “wash” on the brick and a dark charcoal gray for the mansard roof. The proposed vestibule will include an entry canopy, storefront glazing, with red brick accents. The applicant believes that these material choices are consistent with the traditional materials found through the City of Keene.

The addition to the rear of the building will have a corrugated metal siding façade with metal canopy. The existing concrete block façade will be painted light gray to match. Additionally, there is an existing garage door that will be removed and the space filled in with concrete block.



Fig 2: Rendering of the proposed front vestibule.

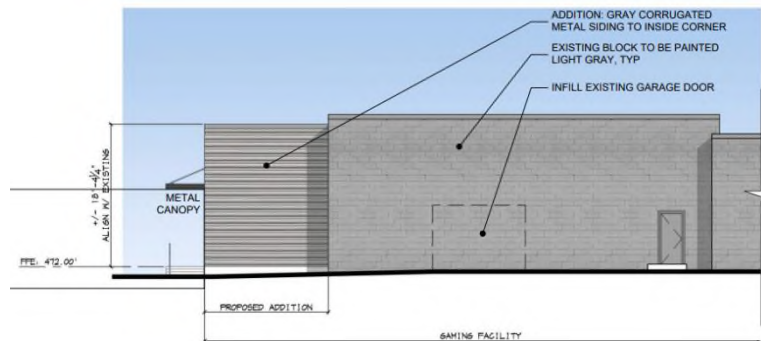


Fig 3: Elevation of the proposed rear addition on the western façade looking east.

STAFF REPORT

Recommended Motion:

If the Board is inclined to approve this request, the following motion is recommended:

"Approve PB2025-18, Mod.1 as shown on the plan set prepared by Fuss & O'Neill at varying scales on January 14, 2026 and last revised on February 9, 2026 with the following conditions:

- 1. Prior to the final approval and signature of the plans by the Planning Board Chair, the following conditions precedent shall be met:**
 - a. Owner's/owners' signature(s) appear(s) on the plans.**
 - b. Submittal of five (5) full sized paper copies and a flattened PDF version of the final plan set.**
 - c. Submittal of a security to cover the cost of as-built plans, landscaping, and erosion control measures in a form and amount acceptable to the Community Development Director.**
- 2. Subsequent to final approval and signature of the plans by the Planning Board Chair, the following conditions shall be met:**
 - a. Prior to the commencement of site work, all sediment and erosion control measures shall be installed and inspected by staff from the Community Development Department.**
 - b. Following the installation of landscaping, the Community Development Department shall be contacted to perform an initial inspection.**
 - c. One year following the installation of all landscaping, the Community Development Department shall be contacted to perform a final landscaping inspection."**

January 14, 2026

Mr. Evan Clements
Keene City Hall, Community Development (4th Floor)
3 Washington St
Keene, NH 03431

RE: 109-147 Key Road (TMP 110-022-000)
Site Plan Narrative and Exemptions Request
Fuss & O'Neill Reference No. 120.2500018.000

Dear Evan:

On behalf of the Property Owner, Key Road Development, LLC and the Applicant, Concord Bingo Too, LLC, Fuss & O'Neill, Inc. has prepared a Site Plan application as an update to the recently approved Change of Use for the above 109-147 Key Road property. This property received approval in the fall of 2025 to change approximately 15,000 square feet of the existing building from retail to a gaming facility for Revo Casino and Social House with 180 gaming positions, a 75-seat restaurant and 1,000 square feet of associated storage space. Additional parking, landscaping, parking lot lighting fixtures and screening were also proposed.

This current application reflects tenant-driven improvements while the previous approvals were landlord driven. The current application increases the number of gaming positions from 180 to 190 ±, adjusted the number of restaurant seats from 75 to 52 ±, and revises back-of-house space to include storage, support areas and administrative offices consistent with the previous approved application. It also retains the same number of parking spaces, landscaping and screening.

This new application includes two primary building improvements. One is to remove the loading dock and stairs at the rear of the building and replace it with a 1,240 square foot loading and utility addition and the second is to add a 1,400 square foot vestibule addition at the front entrance to improve guest comfort and enhance energy efficiency of the building.

Site improvements at the front entrance include a concrete sidewalk with ADA accessible ramp, architectural bollards, restriping of the parking lot closest to the new use to be more conforming to current standards, additional landscaping at the driveway entrances and internal landscape islands.

Site improvements at the rear of the building include relocation of the two existing dumpsters with added fence enclosures, a generator pad with screening and bollards, concrete walkway with ADA ramp and stairs, loading ramp and loading space. At the northwest corner of the property, a small 600 sf ± area is proposed to be paved. To offset this change in impervious area, an impervious area of approximate equal size, on the northeast side of the existing parking lot, will be converted to a landscaped island.

To further improve the site aesthetic, create a more cohesive appearance and improve general safety, the old light fixtures that do not meet current standards will be removed. New light poles and fixtures and wall mounted light fixtures have been designed using LED's that are full cut off, dark sky compliant, meet the Color Rendering Index (CRI), average illumination levels and the uniformity ratio.

The Site Layout Plan includes parking lot pavement markings to add parking spaces such that the total proposed parking, 348 spaces, matches the total parking of the 2025 approval, 348 spaces, both of which exceed the required parking, 314 spaces.

Explanation of Compliance with Article 21

Below is an outline of the Site Development Standards on the application and how each article is addressed:

21.2 Drainage & Stormwater Management

The stormwater management on the site will not be changed due to the proposed updates to the site plan. Runoff from the site will continue to be captured by parking lot catch basins. There will be no increase in runoff since there is no increase in impervious surfaces.

21.3 Sediment and Erosion Control

Since there will be minor excavations related to the building additions and site improvements, erosion and sediment control measures are proposed including the use of perimeter controls such as filter socks, and inlet protection such as filter sacks.

21.4 Snow Storage & Removal

The site will continue to function as it currently operates in terms of snow storage and removal. No changes are anticipated by the proposed improvements.

21.5 Landscaping

The project includes landscaping improvements. The 2025 approval included the addition of 5 white oak trees. This site plan application continues to propose those 5 white oak trees and adds additional landscaping within the green space along Key Road and within the internal landscape islands.

21.6 Screening

The 2025 approval included the addition of a fence at the northwest corner of the property. The fence will be extended an additional 212 ± feet to better screen additional proposed parking spaces. Additionally, the existing dumpsters will be relocated to the northwest side of the existing building and include a concrete dumpster pad and solid fence enclosure. The proposed generator pad will be screened with a similar fence to the dumpster enclosure.

21.7 Lighting

The hours of operation for the Casino are intended to be 8 am to 1 am, Sunday to Thursday and 8 am to 2 am, Friday and Saturday. As such, the Casino lighting intends to comply with the exceptions for Article 21.7.3.F.a and b, which states, "If the use is being operated, normal illumination shall be allowed during

the activity and for not more than 1-hour before or after the activity occurs”; therefore, normal illumination can occur from 7am to 2am, Sunday to Thursday and 7am to 3am, Friday and Saturday. Security lighting would be provided outside of the normal illumination times and meet the requirement that the average illumination on the ground or any vertical surface does not exceed 1-foot candle.

21.8 Sewer & Water

The existing 3/4-inch water service at the rear of the building will be upgraded to provide both domestic and fire protection. The size will be determined by the MEP engineer and coordinated with the Water Department. The existing sewer is sufficient in size for the use though an external grease trap is proposed adjacent to the existing sewer main and is proposed to discharge to the existing on site sewer manhole.

21.9 Traffic & Access Management

There is no change in the traffic and access management provided for the 2025 approval.

21.10 Filling & Excavation

The building addition is not within a floodway, but within the 100-year flood zone with a base flood elevation 471. The addition is proposed at elevation 472, which is 1-foot above the 100-year flood elevation as required. The applicant will work with the Floodplain Administrator during the building permit process to secure a floodplain development permit.

21.11 Surface Water & Wetlands

Consistent with the 2025 approval, the property is fully developed with building and paved parking. There do not appear to be any surface waters or wetlands on site.

21.12 Hazardous & Toxic Materials

Consistent with the 2025 approval, there are no hazardous or toxic materials believed to be associated with the existing or proposed use.

21.13 Noise

Consistent with the 2025 approval, the noise associated with the proposed use is minimal as patrons at the gaming facility will be indoors. The use will likely create no more noise than the adjacent movie theater or other similar uses.

21.14 Architectural & Visual Appearance

The existing building will be enhanced by the proposed improvements and will encompass the entire building so that the building has a cohesively upgraded appearance. The new front vestibule will feature entry canopy, storefront glazing, and selective red brick accents at the entry corners, consistent with traditional materials seen throughout Keene. The existing brick will have a light gray “wash” over the existing brick and a dark charcoal gray at the mansard roof. Along the back of the building, the existing block will be painted for a more uniform appearance, and the rear addition will use a light gray metal siding. See Architectural and Visual Appearance Narrative for full details.

Exemption Requests

An exemption from 26.12.5.C, Submittal Requirements specifically Drainage Report, Soil Analysis, and Historic Evaluation is requested.

Drainage Report

As noted in the above Explanation of Compliance with Article 21, the stormwater management on the site will not be changed due to the proposed updates to the site plan. Runoff from the site will continue to be captured by existing parking lot catch basins. There will be no increase in runoff since there is no increase in impervious surfaces. Therefore, a Drainage Report is unnecessary as there is no material change to the site that warrants this analysis.

Soil Analysis

Regarding a soil analysis, the site is fully developed and mainly consists of impervious paved or building surfaces. As such, the soil analysis will not produce meaningful information needed for the proposed site improvements.

Historic Evaluation

Regarding Historic Evaluation, the existing building was constructed around 1965 and consists of a single-story structure with a brick façade in the front and block wall in the rear. There will be minimal changes to the majority of the existing structure. As noted in the Architectural Analysis, the changes are focused on the proposed front entrance vestibule, providing a light gray “wash” over the existing brick façade, providing a dark charcoal gray at the mansard roof and painting the block wall. The rear building addition will consist of light gray metal siding. No major structural changes are proposed; therefore, further Historic Evaluation is not warranted.

Conclusion

In summary, this project aims to improve the overall aesthetic and safety of the existing building and parking area for the proposed Charitable Gaming Facility use approved in 2025. The building improvements provide for an updated façade along the entire building so the entire plaza has a cohesive updated appearance. The new entrance vestibule features an entry canopy, storefront glazing and red brick accents consistent with traditional materials within the City. Landscape additions, screening of dumpster and parking areas and full parking lot lighting upgrades, will further enhance the site appearance and overall site safety.



Revo Casino Keene New Hampshire Architecture and Visual Appearance Narrative

133 Key Road, Keene, New Hampshire

January 14, 2026

This narrative is provided to support the City's review of the proposed exterior and site improvements at 133 Key Road. Per staff guidance, we have developed the design approach and its upgrades to the City of Keene Land Development Code (LDC), Article 21, Section 21.14, while also reflecting key Revo Casino and Entertainment brand elements.

This application reflects tenant-driven improvements following the earlier landlord-driven approvals. Most of the reinvestment upgrades are exterior and site improvements. The new entry vestibule addition is the primary feature and reason this project is returning before the Planning Board.

Design Intent

The existing building was constructed in 1965. It has served the community for more than six decades, but today it appears dated and tired and less consistent with the newer developments throughout the community. Our goal is to reinvest in the property and update the exterior in a way that 'fits' Keene better and respects the surrounding area. Article 21.14 Architectural & Visual Appearance notes the City's objective that new and redeveloped buildings "blend aesthetically with the City's historic character" and "do not detract from viewsheds and view corridors." This application achieves that objective.

A More Welcoming Front

One of our main priorities is improving the building's identity and dividing the long frontage. The LDC states, "Front facades and exterior walls shall be articulated to express an architectural identity to avoid a uniform appearance." The enhanced entry, canopy, and storefront glazing create an easy to identify and more welcoming public face, while keeping the overall form simple and consistent. The entry vestibule also improves the arrival experience and provides a safer, more comfortable airlock for guests in all seasons.

The LDC also encourages design features that "provide visual interest at the pedestrian scale" and "reduce massive aesthetic effects." The enhanced entry features, glazing and material transitions add depth and detail consistent with traditional aesthetics where guests experience the building up close, without introducing anything that would feel out of place.

Materials and Colors

We appreciate the feedback about avoiding anything visually aggressive and to 'lean towards' traditional style of architecture. We adjusted the exterior building materials and the color palette accordingly. The LDC is clear that "Exterior materials, textures, and colors shall minimize visual aggressiveness" and "shall harmonize with the City's distinctive architectural identity and unique character." In response, the proposed palette uses dark charcoal gray at the mansard roof, a light gray 'wash' over the existing brick, and selective red brick accents at the entry corners. The red brick is consistent with traditional materials seen throughout Keene and the region. This red brick is also integral to the 'key' areas of the interior fit-out. We seek to unify the design of the interior 'look' with the red brick aesthetic of the exterior.

Consistent Look on Visible Elevations

We understand the City's expectation that improvements should not stop at the front. The LDC calls for "consistent building materials and treatments that wrap around all facades visible from a public right-of-way." The proposed upgrades depicted on the elevation exhibit reflect that continuity with dark charcoal gray mansard and the light gray 'wash' on the existing multi-flash colored brick. The property will appear as a cohesive upgrade rather than a front-only improvement just at our suite.

Where we are modifying or adding to the building, we have remained mindful of the LDC that "Modifications and additions to existing structures shall be harmonious with the character of the existing structure." The approach keeps the basic building form intact and focuses on improving finishes, detailing, and the guest-facing experience.

Site and Property Improvements

In addition to the façade refresh, we are making practical and safety related site upgrades that improve circulation, operations, and overall curb appeal. These include modest re-striping at the front, improved truck movement and receiving access at the rear, removal of the existing loading dock, and a small rear utility addition. We are also adding screened areas for dumpsters and a generator, along with an accessible ramp and related site adjustments.

Landscaping will also be enhanced with street trees along the frontage, added planting in interior islands, and low-maintenance shrubs and flowering perennials at 'key' vehicular entries to add more greenery and seasonal color to the site.

Rear Elevations and Service Areas

The rear of the building is primarily block construction and is little to not visible from public frontage, but we propose to invest in upgrading the appearance in the rear of the structure. Along the back of the building, the existing block will be painted for a more uniform appearance, and the rear utility addition will use a durable light gray metal siding. Lighting at the rear will be upgraded with downcast fixtures to improve safety and visibility while limiting glare and spill.

Lighting Approach and Operations

The existing site lighting is being replaced. It presently 'fires' illumination indiscriminately causing glare, over illumination in some areas, light pollution, etc. The new energy saving LED lighting is being upgraded to significantly improve guest and team member safety and to vastly improve the overall appearance of the site while minimizing any glare and spill. The LDC includes the requirement that "Lighting fixtures shall be full cut-off" LED type with a correlated color temperature "between 3,000K and 4,000K." Our photometric plan will also demonstrate compliance with the City's lighting performance requirements, including CRI, uniformity, and average illumination limits.

Conclusion

Overall, this project is about reinvesting in the property and improving how it looks and 'feels' from the street. We are updating a building that has clearly aged, but we are doing it in a way that compliments Keene's character and aligns with the LDC in Article 21, Section 21.14. With the updated façade, a calmer and more cohesive palette, improved landscaping, and upgraded lighting, we believe the project will be a significantly better and positive change for the corridor and achieve a better reflection of the community's expectations for this site. We appreciate the City's time and guidance and look forward to continuing to work with staff and the Planning Board as we move through the review process.

February 9, 2026

Mr. Evan Clements
City of Keene
Community Development Department
3 Washington Street
Keene, NH 03431

RE: PB-2025-18, Mod. 1
109-147 Key Road Site Plan Review Response
Fuss & O'Neill Reference No. 20250018.000

Dear Evan:

The attached materials have been revised to address the comments of the Review Memo dated January 30, 2026 for the above referenced project. The original comments are provided below with our responses in red bold font.

COMMENTS:

1. Lighting Plans: The lighting standard for hours of operation, section 21.7.3.F allows for normal illumination 1-hour before and after operating time. Outside those hours, only security lighting is permitted. For 24-hour businesses, light levels must be reduced by 50% between the hours of 10:00 pm and 6:00 a.m. These lighting standards apply for each use in the plaza, including the parking areas.

A full-lighting plan and a reduced (50%) lighting plan were submitted with this application.

- a. What are the intended hours of operation for each lighting plan (full and reduced)?

FO Response: As noted in the submittal letter, Explanation of Compliance with Article 21, 21.7 Lighting, the hours of operation for the Casino are intended to be 8 am to 1 am, Sunday to Thursday and 8 am to 2 am, Friday and Saturday. As such, the Casino lighting intends to comply with the exceptions for Article 21.7.3.F.1.b, which states, "If the use is being operated, normal illumination shall be allowed during the activity and for not more than 1-hour before or after the activity occurs"; therefore, normal illumination can occur from 7am to 2am, Sunday to Thursday and 7am to 3am, Friday and Saturday. This is the applicants intent and the lighting that is shown on drawing CL-101.

21.7.3.F.1.a states, "Security lighting, provided the average illumination on the ground or on any vertical surface does not exceed 1-footcandle." Therefore, security lighting is proposed from 2am to 7am Sunday to Thursday and 3am to 7am, Friday and Saturday. Drawing CL-102 shows the security level lighting where the average illumination does not exceed 1-footcandle.

Drawings CL-101 and CL-102 depict the highest level of lighting that will occur on the property. Other businesses on the western side of the site have businesses that close earlier than the casino. Fixtures serving non-casino tenants may be scheduled to shift to security mode earlier; in all cases lighting will not exceed the levels shown on CL-101 (full) and CL-102 (security) .

- b. Are any 24-hour businesses operating on the site?

FO Response: There are no 24-hour businesses on the site.

2. Drainage: The drainage narrative states that the existing drainage will be unchanged by the proposed improvements. City engineering staff recommend that the existing private drainage system be reviewed and analyzed to confirm it is sufficiently sized and in good operating condition.

FO Response: This application is not for a Change of Use. The Change of Use was already approved by the planning board. This application is for a tenant fit up and exterior refresh with minor modifications to the parking lot. The proposed modifications do not add impervious surface to the property and modifications do not alter existing drainage flow patterns.

The building addition in the rear will be constructed where pavement exists today, and the front vestibule addition will be constructed where sidewalk and pavement exist today. Parking lot modifications result in no increase of impervious surface. Therefore, this project exchanges impervious surface for impervious surface, which results in no increase in runoff. As such, we are not proposing to alter the existing drainage system, and the existing drainage system will be maintained.

3. Water Service: The narrative, relative to the existing water service, states that the existing 3/4" water services will be replaced with a water service for fire and domestic as sized by the MEP. Based on this description, engineering staff offer the following comments:

- a. Please be aware that separate water services are required to be provided for the domestic and fire service water supply lines, in accordance with City code.

FO Response: The proposed water service has been revised to show separate domestic and fire services for the building.

- b. The developer and/or owner will need to obtain a Utility Connection Permit and Excavation Permit for the proposed new water services. A plan of the proposed water line locations, pipe sizes, pipe materials, pipe class, etc. will be required to confirm conformance with City code and Public Works standards.

FO Response: CU-101 shows the location of the new water lines including the pipe size, material and pipe class. Additionally, a note has been added that the developer and/or owner will need to obtain a Utility Connection Permit and Excavation Permit for the proposed water services.

- c. The proposed water service(s) will require water meters and backflow preventors to be scheduled and installed by Public Works.

FO Response: A note has been added to CU-101 requiring water meters and backflow preventors to be scheduled and installed by Public Works.

- d. Please add notes stating these requirements to the plans to ensure that these requirements are understood during site improvements and construction.

FO Response: Notes have been added to CU-101.

4. Grease Trap: The proposed grease trap must be permitted, inspected, and registered with Public Works for yearly inspection. Please add a note to the plan to reference the requirement for yearly inspection.

FO Response: A leader note with this requirement has been added to CG-102.

5. Sewer Service: The plans specify a 6" sewer lateral connecting to SMH#1245. Based on this proposed scope of sanitary sewer work engineering staff offer the following comments:

- a. The existing sewer manhole shown is City SMH ID#3247 not SMH#1245, as specified on the plans, this should be revised to eliminate confusion.

FO Response: The plans have been revised to show this as SMH 3247

- b. The existing sewer manhole is brick, and it would not be feasible to core into it and install a boot. A replacement precast concrete manhole would need to be provided for this proposed connection. Additionally, the plans must specify that the sewer manhole invert is required to be rebuilt for this City-owned and maintained manhole.

FO Response: Based on photos of this manhole, the bottom section of the manhole is concrete. However, the proposed connection to the existing manhole has been eliminated and the connection will occur upstream of the manhole to further alleviate this concern.

- c. The laterals in and out of the existing manhole are 6" AC sewer pipe, not 8" VCP, as specified on the plans.

FO Response: The plans have been updated to show the laterals in and out of the manhole as 6" AC.

- d. Although proposed as a private lateral, we do not recommend the use of a bend and cleanout in the parking lot prior to the proposed lateral discharging to the sewer manhole. All proposed bends should be made with sewer manholes, or the pipe alignment should be re-configured to eliminate this bend.

FO Response: A few modifications to the alignment have been made. Respectfully, the use of bends is preferred and considered standard practice.

- e. The narrative, relative to the sanitary sewer lateral, states that the sewer flows are unchanged by the proposed development, but no information or calculations are provided supporting this statement. This should be provided as part of the narrative.

FO Response: Since this is not a change of use, sewer calculations were thought to have already been provided with that application and approval, however, it is our understanding that those were not previously provided. As such, sewer calculations are enclosed.

- f. The proposed modifications to the City's sewer manhole will require a utility connection permit to be obtained from Public Works. Given the anticipated sewer flows from the proposed development, the proposed sewer improvements are also required to be submitted to NHDES in accordance with Env Wq 700.

FO Response: Modifications to the existing sewer manhole have been eliminated and sewer calculations indicate an average daily flow of 3,850 GPD, which is less than the 5,000 GPD that triggers the need for a NHDES Sewer Connection Permit.

Evan Clements, AICP
February 9, 2026
Page 4

- g. The intent of the existing and proposed sewer services are unclear, is the existing sewer service being abandoned/removed and replaced with the proposed sewer service or are two sewer services proposed as part of the proposed improvements? Please clarify on the plans and in the narrative. If the intent is to discontinue the use of the existing sewer service, that sewer lateral will need to be capped and abandoned or removed.

FO Response: The plans have been updated to show approximately 32-feet of the existing sewer lateral connecting to existing SMH 3247, will remain. A new 6" PVC will connect to the existing 6" AC to accommodate the outlet connection from the grease trap and the domestic sanitary service. The remaining existing sewer lateral to the existing toy store will be removed per Public Works requirements. See CU-102 for updated sewer design.

6. Coordination with City Contractor: The City's Engineering Division has a project under contract to replace the existing 72" and 48" CMP culverts that discharge to the North of the building and along the parking lot to the East of the site in April and May 2026. The proposed site improvements, including the scope and associated phasing, will need to be coordinated with the City's contractor, Park Construction. Please add a note to the plans regarding the need for this coordination.

FO Response: The coordination is noted on CP-101 and CG-101.

7. Conditions of Approval: Please be aware that the recommended conditions of approval for this application may include the following:

- Owner's/owners' signature(s) appear(s) on the plans.
- Submittal of five (5) full sized paper copies and a flattened PDF version of the final plan set.
- Submittal of a security to cover the cost of as-built plans, landscaping and/or sediment/erosion control measures in a form and amount acceptable to the Community Development Director.
- Prior to the commencement of site work, all sediment and erosion control measures shall be installed and inspected by the Community Development Director.
- Following the installation of landscaping, the Community Development Department shall be contacted to perform an initial inspection.
- One year following the installation of all landscaping, the Community Development Department shall be contacted to perform a final landscaping inspection.

FO Response: The above recommended conditions of approval, a. through f. have been added to the Cover of the Site Plan set.

The following materials are enclosed with this letter.

- (2) copies of the Revised Plan Set
- (1) Sewer Calculations

Please let me know if you have any questions regarding our responses above.

Sincerely,



Amy R. Sanders, PE
Project Manager

ARS/ars

c: Stefan Huba, Dick Anagnost, Michael Powers

Design Flow Calculations

Revo Casino Keene
TM 111 LOT 21
Keene, NH

2.3.2026
Calc'd By: JMG
Checked By: ARS

Design Unit Flow:

		Unit		Average Flow
Restaurant	40 GPD	28	Seat	1,120 GPD
Bar & Lounge	20 GPD	24	Seat	480 GPD
Recreation, toilet waste only	5 GPD	285	Person	1,425 GPD
Employee	20 GPD	40	Person	800 GPD

**Total Average
Daily Flow 3,825 GPD**

Convert to cubic feet per second (cfs)

$$= 3,825 \frac{\text{gal}}{\text{day}} \times \frac{1 \text{ day}}{24 \text{ hours}} \times \frac{1 \text{ hour}}{60 \text{ min.}} \times \frac{1 \text{ min}}{60 \text{ sec}} \times \frac{1 \text{ cf}}{7.481 \text{ gal}}$$

Average daily flow = 0.00592 cfs

Add Infiltration

Total length of 6" sewer = 72 ft

$$\text{Infiltration} = 300 \frac{\text{gal}}{\text{inch} \cdot \text{mile} \cdot \text{day}} \times 6 \text{ inches} \times \frac{1 \text{ day}}{24 \text{ hrs}} \times \frac{1 \text{ hour}}{60 \text{ min.}} \times \frac{1 \text{ min}}{60 \text{ sec}} \times \frac{1 \text{ cf}}{7.481 \text{ gal}} \times 0.014 \text{ miles}$$

$$= 0.000038 \text{ cfs}$$

Total Infiltration = 0.000038 cfs

Total Average design flow = Average Daily Flow + Infiltration
= 0.00596 cfs **3,850 GPD**

Peak Flow: [EnvWS 706.3 (c)]

$$Q_{\text{peak}} = 0.00596 \text{ cfs} \times \text{Peak factor } 6$$

$$Q_{\text{peak}} = \mathbf{0.0357 \text{ cfs}} \qquad \mathbf{23,097 \text{ GPD}}$$



REVO CASINO

TMP# 110-022-000-000-000 · 133 KEY ROAD · KEENE · NEW HAMPSHIRE

PREPARED FOR
**KEY ROAD
DEVELOPMENT, LLC**
1662 ELM STREET
MANCHESTER, NH 03101

SITE IMPROVEMENTS
JANUARY 14, 2026
REVISED FEBRUARY 9, 2026

PREPARED BY
**FUSS &
O'NEILL**
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.668.8223
www.fando.com



PROJECT TEAM

FUSS AND O'NEILL
ENGINEER AND SURVEYOR
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603-668-8223

R2ARCHITECTS, LLC
ARCHITECT
110 KRESSON-GIBBSBORO ROAD, SUITE 8
VOORHEES, NJ 08043
856.566.1515

EXPOSURE LIGHTING
SITE LIGHTING DESIGN
501 ISLINGTON STREET
PORTSMOUTH, NH 03801
603-601-8080

CONCORD BINGO TOO, LLC
APPLICANT
887B CENTRAL AVE
DOVER, NH 03820

THE LOCATION OF ANY UTILITY
INFORMATION SHOWN ON THIS PLAN
IS APPROXIMATE. FUSS & O'NEILL
MAKES NO CLAIM TO THE ACCURACY
OR COMPLETENESS OF UTILITIES
SHOWN. 72 HOURS PRIOR TO ANY
EXCAVATION ON SITE, THE
CONTRACTOR SHALL CONTACT
DIG-SAFE AT 1-888-DIG-SAFE.

SHEET INDEX

Sheet no.	Sheet Title
GI-001	COVER
CN-001	GENERAL NOTES
CC-101	EXISTING CONDITIONS PLAN
CP-101	SITE PREPARATION PLAN
CS-101	SITE LAYOUT PLAN
CS-102	SITE CIRCULATION PLAN
CG-101	NORTH SIDE GRADING & DRAINAGE DETAIL PLAN
CG-102	SOUTH SIDE GRADING & DRAINAGE DETAIL PLAN
CU-101	NORTH SIDE UTILITY DETAIL PLAN
CU-102	SOUTH SIDE UTILITY DETAIL PLAN
CL-101	LIGHTING PLAN
CL-102	SECURITY LIGHTING PLAN
LP-101	LANDSCAPE PLAN
CD-501	LANDSCAPE, SIGN BOLLARD & PAVEMENT MARKING DETAILS
CD-502	PAVEMENT, CURB, SIDEWALK, LANDING & STAIR DETAILS
CD-503	DRAINAGE & UTILITY DETAILS
CD-504	LIGHTING & EROSION & SEDIMENT CONTROL DETAILS
CD-505	DUMPSTER & FENCE DETAILS
CD-506	RAMP & HANDRAIL DETAILS
A30.00	EXTERIOR RENDERINGS (BY OTHERS)
A30.01	PROPOSED EXTERIOR ELEVATIONS (BY OTHERS)

CONDITIONS OF APPROVAL

- OWNER'S/OWNERS' SIGNATURE(S) APPEAR(S) ON THE PLANS.
- SUBMITTAL OF FIVE (5) FULL SIZED PAPER COPIES AND A FLATTENED PDF VERSION OF THE FINAL PLAN SET.
- SUBMITTAL OF A SECURITY TO COVER THE COST OF AS-BUILT PLANS, LANDSCAPING AND/OR SEDIMENT/EROSION CONTROL MEASURES IN A FORM AND AMOUNT ACCEPTABLE TO THE COMMUNITY DEVELOPMENT DIRECTOR.
- PRIOR TO THE COMMENCEMENT OF SITE WORK, ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED BY THE COMMUNITY DEVELOPMENT DIRECTOR.
- FOLLOWING THE INSTALLATION OF LANDSCAPING, THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE CONTACTED TO PERFORM AN INITIAL INSPECTION.
- ONE YEAR FOLLOWING THE INSTALLATION OF ALL LANDSCAPING, THE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE CONTACTED TO PERFORM A FINAL LANDSCAPING INSPECTION.

PROGRESS SET
PLANS UNDER DESIGN
DEVELOPMENT. ISSUED FOR
INTERIM REVIEW ONLY.

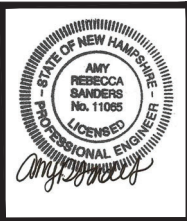


LOCATION MAP
SCALE: 1" = 500'

OWNER'S SIGNATURE _____ DATE _____

1	2.9.2026	REV PER KPD COMMENTS	JO	ARS	
NO.	DATE	DESCRIPTION	DESIGNER	REVIEWER	

PERMITTING			
	PERMIT NO.	DATE APPROVED	DATE EXPIRES
TOWN OF KEENE			
SITE PLAN APPROVAL	PENDING		



PROJ. No.: 20250079.A10
DATE: 1.14.2025

GI-001

LEGEND		
EXIST	PROP	
		PROPERTY LINE/RIGHT-OF-WAY
		CENTERLINE
		LIMIT OF DISTURBANCE
		EASEMENT
		BUILDING SETBACK
		STATE HIGHWAY BASELINE
		BASELINE
		ZONING LINE
		EDGE OF WATER
		WETLAND LINE
		BUFFER ZONE
		WETLAND SYMBOL
		GRAVEL ROAD
		EDGE OF PAVEMENT
		BITUMINOUS CURB
		CONCRETE CURB
		SLOPED GRANITE CURB
		VERT. GRAN. CURB
		LIMIT OF CURB TYPE
		SAW CUT
MATCH LINE	SEE SHEET XXX-XX	MATCH LINE
		SOLID WHITE LINE
		SOLID YELLOW LINE
		BROKEN WHITE LINE
		BROKEN YELLOW LINE
		SOLID WHITE CHANNELIZING LINE
		SOLID YELLOW CHANNELIZING LINE
		DOUBLE YELLOW LINE
		STOP LINE
		GUARD RAIL
		STOCKADE FENCE
		WIRE FENCE
		CHAIN LINK FENCE
		TREE LINE
		SHRUB LINE
		STONE WALL
		RETAINING WALL
		MINOR CONTOUR
		MAJOR CONTOUR
		TOP OF SLOPE
		BOTTOM OF SLOPE
		BUILDING
		BOLLARD
		SIGN
		DOUBLE SIGN
		PARKING METER
		PARKING COUNT
		CROSSWALK
		CONC. PAVEMENT
		HANDICAP RAMP
		HANDICAP PARKING
		VAN-ACCESSIBLE
		HANDICAP PARKING
		TOP & BOTTOM ELEVATION
		SPOT ELEVATION w/LEADER
		SPOT ELEVATION
		SOIL BORING
		MONITORING WELL
		TEST PIT LOCATION
		IRON PIPE
		DRILL HOLE
		IRON PIN
		MONUMENT
		MAIL BOX
		CONTROL POINT
		SILT FENCE
		HAYBALES
		STORM DRAIN
		ELECTRIC/DATA LINE
		FOUNDATION DRAIN
		SANITARY SEWER PIPE
		OVERHEAD WIRES
		WATER MAIN
		UNDERGROUND GAS

[illegible]

12. EXISTING LANDSCAPING SHOWN PER REFERENCE PLAN #1 ALONG WITH AERIAL IMAGERY AND SITE OBSERVATION. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THE LANDSCAPE LOCATIONS OR MATERIALS.
13. IF ANY ERROR OR OMISSION IN THESE PLANS IS DISCOVERED BY THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IMMEDIATELY IN WRITING FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR SHALL DISCONTINUE WORK IN THE AFFECTED PROJECT AREA UNTIL AGREEMENT HAS BEEN REACHED WITH THIS FIRM ON CORRECTIVE ACTION.

SITE PREPARATION PLAN NOTES:

1. THE PURPOSE OF THE SITE PREPARATION PLAN IS TO SHOW THE LIMITS OF DISTURBANCE INCLUDING REMOVAL OF PAVEMENT, STRUCTURES, AND CURBING ON THE SUBJECT PARCEL LOCATED ON TAX MAP 110 L2 22, WITH A PHYSICAL ADDRESS OF 133 KEY ROAD, KEENE, NH.
2. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE INFORMATION BASED ON REFERENCE PLANS 1, 2 AND AERIAL, NO REPRESENTATION FOR WARRANTY IS MADE AS TO NON-SURVEY FEATURES OF REFERENCE BY FUSS AND O'NEILL.
3. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET. ALL PLAN SHEETS WILL BE ON FILE AT THE CITY OF KEENE. SEE OTHER PLAN SHEETS FOR RELATED NOTES AND ASSOCIATED INFORMATION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS SURROUNDING IT AND THEREON.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE LOCATION OF EXISTING FEATURES BOTH ABOVE GROUND AND BELOW, NO GUARANTEE IS MADE BY THIS OFFICE OR INDIVIDUALS AS TO THE LOCATION OF EXISTING FEATURES. UNDERGROUND UTILITIES ARE APPROXIMATE BASED ON REFERENCE PLANS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT NEW HAMPSHIRE DIG SAFE, AT 1-888-DIG-SAFE, AT LEAST 72 HOURS BEFORE DIGGING.
7. IF AN OBSTRUCTION IN THESE PLANS IS DISCOVERED BY THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IMMEDIATELY IN WRITING FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR SHALL DISCONTINUE WORK IN THE AFFECTED PROJECT AREA UNTIL AGREEMENT HAS BEEN REACHED WITH THIS FIRM ON CORRECTIVE ACTION.

SITE PLAN NOTES:

1. THE PURPOSE OF THE SITE PLAN IS TO ILLUSTRATE THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE 15,004+ SF RENOVATION OF EXISTING BUILDING SPACE AND TWO ADDITIONS TOTALING 2,640 SF FOR UTILITY, LOADING AND VESTIBULE SPACE FOR A CHARITABLE GAMING FACILITY LOCATED AT 133 KEY ROAD IN KEENE, NH
2. THE SUBJECT PROPERTY, TWP 110-022-000-000-000, OWNED BY KEY ROAD DEVELOPMENT, LLC IS ZONED COM-COMMERCE. ZONING REQUIREMENTS FOR THE COM ZONING DISTRICT ARE AS FOLLOWS:

	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
MIN. LOT SIZE	15,000 SF	5.83 AC	5.83 AC
MIN. FRONT SETBACK	20'	60'	NO CHANGE
MIN. SIDE SETBACK	20'	40'	NO CHANGE
MIN. REAR SETBACK	20'	65'	49' (PROP ADDITION)
MAX. HEIGHT	42'	<42'	±32'
MAX. STORIES	3	1	1 (PROP. ADDITION BLDG)
MAX IMPERVIOUS COVER	80%	89%	89% (EX. NONCONFORMANCE)

3. PARKING CALCULATIONS: SHOWN PER APPROVED REFERENCE PLAN 1, PREPARED BY OTHERS.

REQUIRED PARKING
CHARITABLE GAMING FACILITY : 190± SEATS X 0.75 SPACES/SEAT = 142.5 SPACES
RESTAURANT : 52 SEATS X 1 SPACE/5 SEATS = 10.4 SPACES
RETAIL: 24,651 SF X 4 SPACES /1,000 SF = 98.6 SPACES
OFFICE: 15,976 SF X 4 SPACES/1,000 SF = 63.9 SPACES
STORAGE: 4,350 SF X 1 SPACE/3,000 SF = 1.5 SPACES

TOTAL REQUIRED PARKING = 317 SPACES
TOTAL PARKING PROVIDED = 348 SPACES (INCLUDES 14 ADA ACCESSIBLE SPACES)

5. ALL PLAN SHEETS WILL BE ON FILE AT THE CITY OF KEENE, NH PLANNING DEPARTMENT.
6. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON ANY ONE PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
6. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE OWNER.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
8. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY FUSS & O'NEILL, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THEIR WORK. THE CONTRACTOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEM WHICH MAY BE REQUIRED BY THE U.S., OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
10. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS, IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
11. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY THEIR WORK AT ALL TIMES.
12. IN THE EVENT OF AN EMERGENCY, THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IMMEDIATELY IN WRITING FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR SHALL DISCONTINUE WORK IN THE AFFECTED PROJECT AREA UNTIL AGREEMENT HAS BEEN REACHED WITH THIS FIRM ON CORRECTIVE ACTION.
13. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF KEENE LAND DEVELOPMENT CONTROL REGULATIONS, CITY OF KEENE DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS, AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH THE CITY OF KEENE.
14. SNOW SHALL BE STORED IN OPEN AREAS ON SITES. SNOW SHALL NOT BLOCK SIGHT DISTANCES AND SHALL BE TRANSPORTED OFFSITE OR INTO OPEN AREAS IF NEEDED. OFFSITE TRANSPORT OF SNOW SHALL BE DONE SO IN ACCORDANCE WITH NHDES REGULATIONS.
15. THE CONTRACTOR IS RESPONSIBLE FOR SNOW PLOWING, REMOVAL AND MANAGEMENT WITHIN OR TO THE CONSTRUCTION AREAS DURING THE DURATION OF CONSTRUCTION.

NORTH AND SOUTH SIDE GRADING, DRAINAGE, AND UTILITY PLAN NOTES:

1. THE PURPOSE OF THE GRADING, DRAINAGE, AND UTILITY PLAN IS TO ILLUSTRATE THE PROPOSED GRADING, DRAINAGE, AND UTILITY, ASSOCIATED WITH THE PROPOSED SITE IMPROVEMENTS FOR THE SUBJECT PARCEL.
2. REMOVE UNSUITABLE MATERIALS AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS. BORINGS, SOIL SUITABILITY AND FOUNDATION DESIGNS SHALL BE PROVIDED BY GEOTECHNICAL ENGINEER.
3. UTILITY LOCATIONS AS SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM VARIOUS SOURCES AND THEIR LOCATIONS ARE ONLY APPROXIMATE. BEFORE ANY CONSTRUCTION ACTIVITY BEGINS, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE AND FIELD VERIFY ALL UTILITY LOCATIONS, ANY RIM AND INVERT ELEVATIONS AND SIZES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SITE AND EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
6. THE CONTRACTOR SHALL VERIFY TEMPORARY BENCH MARKS (TBM) PRIOR TO CONSTRUCTION AND NOTIFY THE CERTIFIED LAND SURVEYOR OF ANY DISCREPANCIES.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE LOCATION OF EXISTING FEATURES BOTH ABOVE GROUND AND BELOW, NO GUARANTEE IS MADE BY THIS OFFICE OR INDIVIDUALS OF LOCATION OF EXISTING FEATURES. UNDERGROUND UTILITIES ARE APPROXIMATE BASED ON REFERENCES LOCATED ON THE COVER SHEET.
8. ALL DRAINAGE STRUCTURES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.

9. DRAINAGE PIPE LENGTHS NOTED ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE COORDINATION, PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY ENGINEER OF ANY PROPOSED MODIFICATIONS PRIOR TO PROCEEDING WITH CHANGES TO UTILITY DESIGN.
12. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
13. INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
14. FLUSH CLEAN AND REMOVE ALL DEBRIS OF EXISTING AND PROPOSED CULVERTS DURING AND POST CONSTRUCTION.
15. IF LEDGE IS DISCOVERED DURING EXCAVATION, REMOVE LEDGE A MINIMUM OF TWO (2) FEET BELOW GRAVELS AND REPLACE WITH SAND.
16. LOAM AND SEED ALL DISTURBED AREAS PER DETAIL LOCATED WITHIN THIS PLAN SET.

LIGHTING PLAN NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERALL LIGHTING DESIGN RELATED TO THE PROPOSED DEVELOPMENT AREA.
2. REFER TO DETAIL DRAWING CD-503 FOR POLE BASE DETAIL.
3. ALL PROPOSED LIGHTS ARE FULL CUT-OFF FIXTURES AND DARK SKY COMPLIANT
4. LIGHTING DESIGN PROVIDED BY EXPOSURE LIGHTING.

KSWEENEY@EXPOSURE2LIGHTING.COM
603.759.1043

REGULATORY REQUIREMENTS

1. PROVIDE TRAFFIC SIGNAGE AND PAVEMENT MARKINGS IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST OSHA STANDARDS, STATE AND LOCAL REQUIREMENTS, AND CITY OF KEENE REQUIREMENTS, POLICIES, AND SPECIFICATIONS.
3. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

EROSION AND SEDIMENT CONTROL

1. INSTALL EROSION CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE. REFER TO THE EROSION AND SEDIMENT CONTROL DRAWINGS FOR MINIMUM REQUIREMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE LOCATIONS SHOWN ON THE PLANS AND DETAILS ARE PROVIDED AS A GUIDE ONLY. THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROLS AND MAINTAIN THEM IN A FUNCTIONING ORDER, AS REQUIRED BY THE ACTUAL SITE CONDITIONS.
3. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY OF KEENE.
4. INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1 (AS APPLICABLE).
5. ALL PROPOSED AND EXISTING CATCH BASINS, THAT MAY RECEIVE STORMWATER RUNOFF FROM THE DEVELOPMENT DURING CONSTRUCTION, SHOULD BE OUTFITTED WITH INLET PROTECTION.
6. IMPLEMENT ALL NECESSARY MEASURES TO PREVENT OR CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. ENFORCE CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIRS TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
7. INSPECT AND MAINTAIN EROSION CONTROL MEASURES. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
8. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED.
9. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN.
10. PRIOR TO CONSTRUCTION A CONSTRUCTION CIRCULATION PLAN SHALL BE PREPARED BY THE SITE CONTRACTOR WHICH DIRECTS CONSTRUCTION TRAFFIC TO EXIT VIA THE PROPOSED CONSTRUCTION ENTRANCE.
11. DURING CONSTRUCTION, THE APPLICANT MUST DOCUMENT ALL INSPECTION AND MAINTENANCE ACTIVITIES, ALL ADVERSE IMPACTS IDENTIFIED DURING INSPECTIONS, AND ACTIONS TAKEN TO REMEDIATE THE ADVERSE IMPACTS.

DEMOLITION

1. REMOVE AND DISPOSE OF UNSUITABLE MATERIAL AS DESCRIBED IN THE PLANS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

PAVEMENT

1. AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES AND PARKING SPACES IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

NPDES NOTES:

1. THIS PROJECT DISTURBS 17200±SF (0.49±AC) OF LAND WHICH DOES NOT EXCEED THE NPDES THRESHOLD AMOUNT OF 43,560 SF (1 AC). THEREFORE, THE PROJECT WILL NOT BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL NOT BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION. THE OWNER SHALL NOT BE RESPONSIBLE FOR THE OBTAINATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT NPDES PERMIT. HOWEVER, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. EROSION AND SEDIMENT CONTROL MEASURES SHOWN IN THIS PLAN SET IS A MINIMUM GUIDANCE. ADDITIONAL CONTROLS MAY BE REQUIRED BASED ON SITE CONDITIONS OR CONSTRUCTION PHASING.

[illegible]

SCALE:
HORZ.:
VERT.:
DATUM:
HORZ.:
VERT.:

**FUSS &
O'NEILL**

50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.668.8223
www.fando.com

TMP 110-022-000-000-000
 KEY ROAD IMPROVEMENTS, LLC
 GENERAL NOTES PLAN
 SITE IMPROVEMENTS
 KEENE NEW HAMPSHIRE

PROJ. No.: 2500018.000
DATE: 1.14.2026



EXISTING CONDITIONS PLAN NOTES

1. SEE CN-001 FOR EXISTING CONDITIONS PLAN NOTES
AND OTHER PROJECT RELATED NOTES.



REVISIONS		DATE	DESCRIPTION	DESIGNER	REVIEWER
1		2.9.2026	REV PER KPD COMMENTS	JG	APS



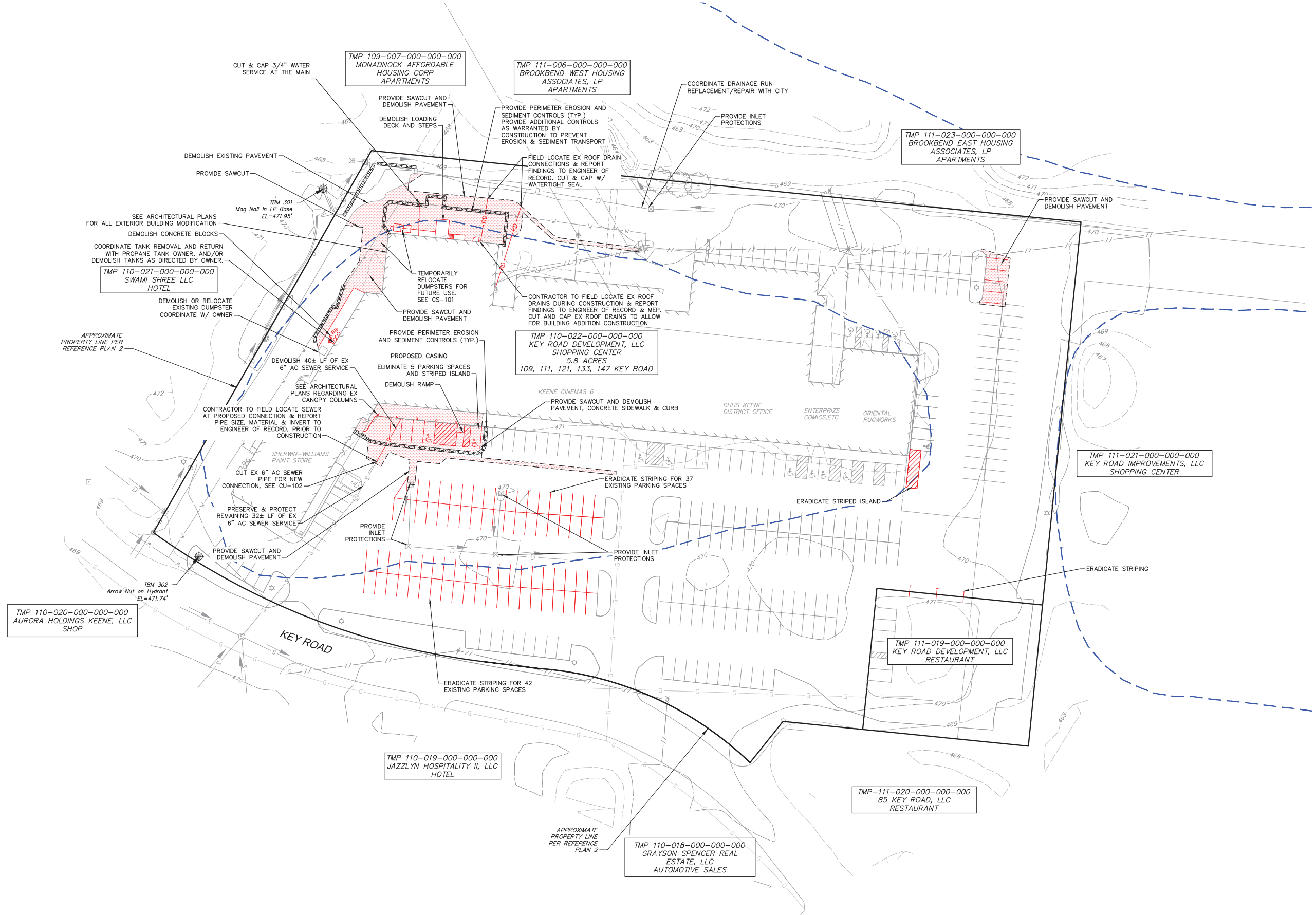
SCALE:	HORIZ.: 1" = 40'
	VERT.: -
DATUM:	HORIZ.: -
	VERT.: -
GRAPHIC SCALE	
0 20' 40' 80'	

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.688.8223
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
EXISTING CONDITIONS PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CC-101



SITE PREPARATION PLAN NOTES

1. SEE CN-001 FOR SITE PREPARATION PLAN NOTES
AND OTHER PROJECT RELATED NOTES.

REVISIONS		DESIGNER		REVIEWER	
No.	DATE	REV PER KPD COMMENTS	DATE	DESIGNER	REVIEWER
1	2.9.2026				



SCALE:	HORZ.: 1" = 40'	VERT.: 1" = 20'
DATUM:	HORZ.: -	VERT.: -
GRAPHIC SCALE		

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.688.8223
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
SITE PREPARATION PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026



1. PARKING FROM REFERENCE PLAN 1, BY OTHERS, IS 348 SPACES. PARKING PROPOSED IS 348 SPACES.
2. SEE CN-001 FOR SITE PLAN NOTES AND OTHER PROJECT RELATED NOTES.

[illegible]

GRAPHIC SCALE

0 20' 40' 80'

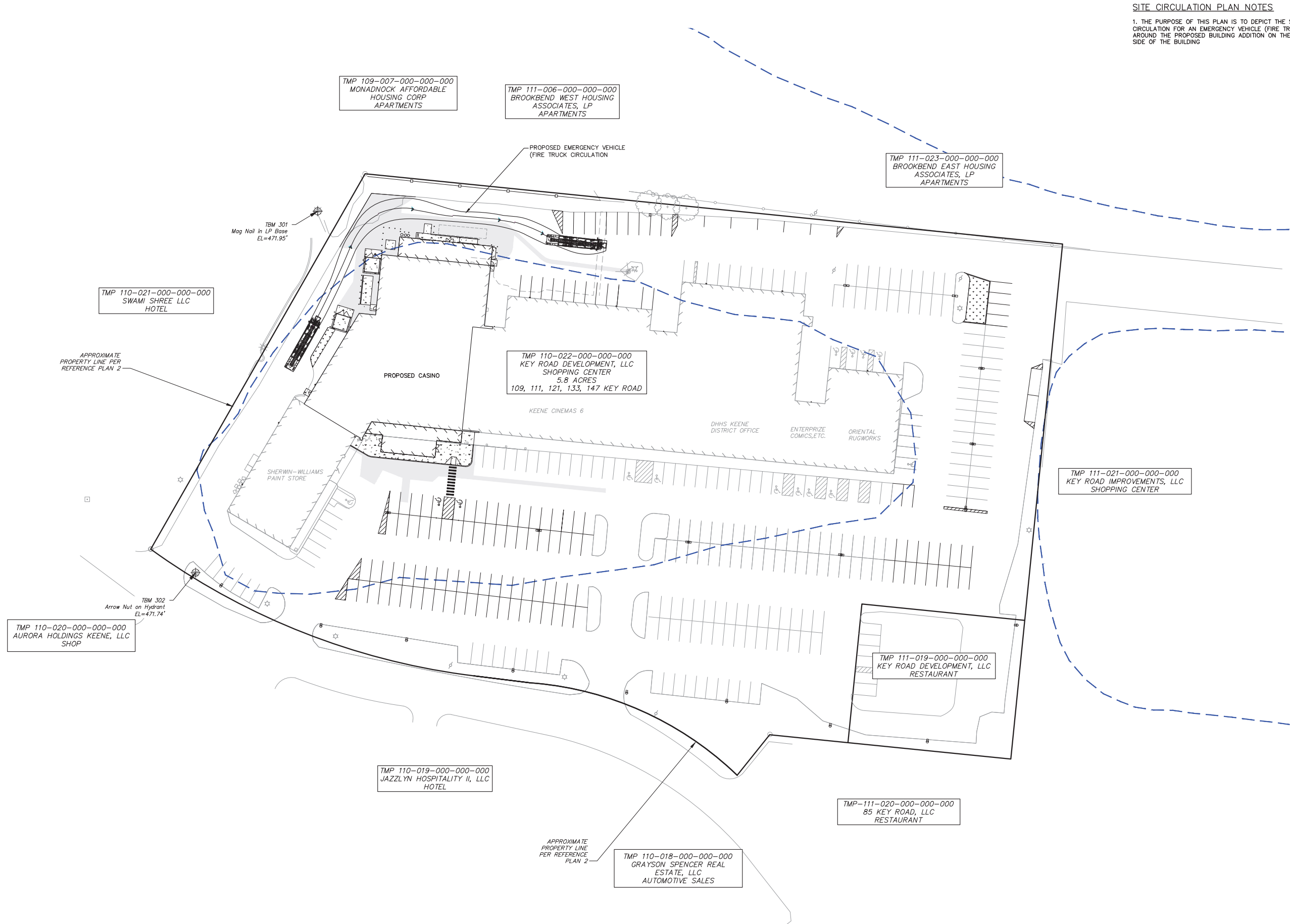
**FUSS &
O'NEILL**

50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.668.8223
www.fando.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
SITE LAYOUT PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CS-101



SITE CIRCULATION PLAN NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE CIRCULATION FOR AN EMERGENCY VEHICLE (FIRE TRUCK) AROUND THE PROPOSED BUILDING ADDITION ON THE NORTH SIDE OF THE BUILDING

No.	DATE	REV PER KPD COMMENTS	DESCRIPTION	DESIGNER	REVIEWER
1	2.9.2026			AS	AS

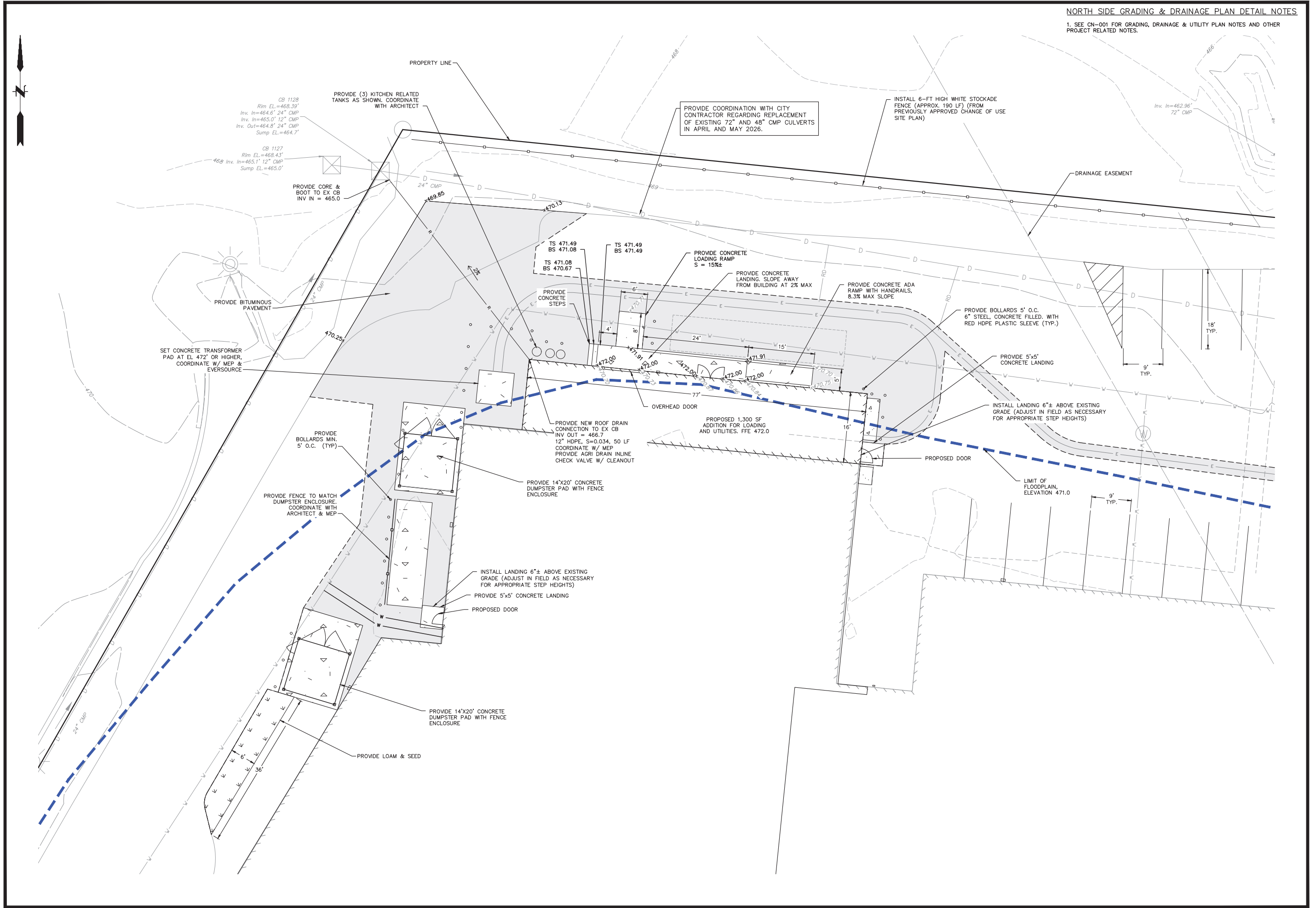


SCALE:	HORIZ.: 1" = 40'	VERT.: -
DATUM:	HORIZ.: -	VERT.: -
GRAPHIC SCALE		

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.688.8223
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
SITE CIRCULATION PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026



CG-101

49

PROJ. No.: 2500018.000

DATE: 1.14.2026

TMP 110-022-000-000-000

KEY ROAD IMPROVEMENTS, LLC

NORTH SIDE GRADING & DRAINAGE DETAIL PLAN

SITE IMPROVEMENTS

NEW HAMPSHIRE

KEENE

FUSS & O'NEILL

50 COMMERCIAL STREET

MANCHESTER, NH 03101

603.688.8223

www.fandoc.com

ANY REBECCA SANDERS No. 11065 LICENSED PROFESSIONAL ENGINEER

amy sanders

SCALE: HORIZ.: 1"=10'

VERT.: -

DATUM: -

HORIZ.: -

VERT.: -

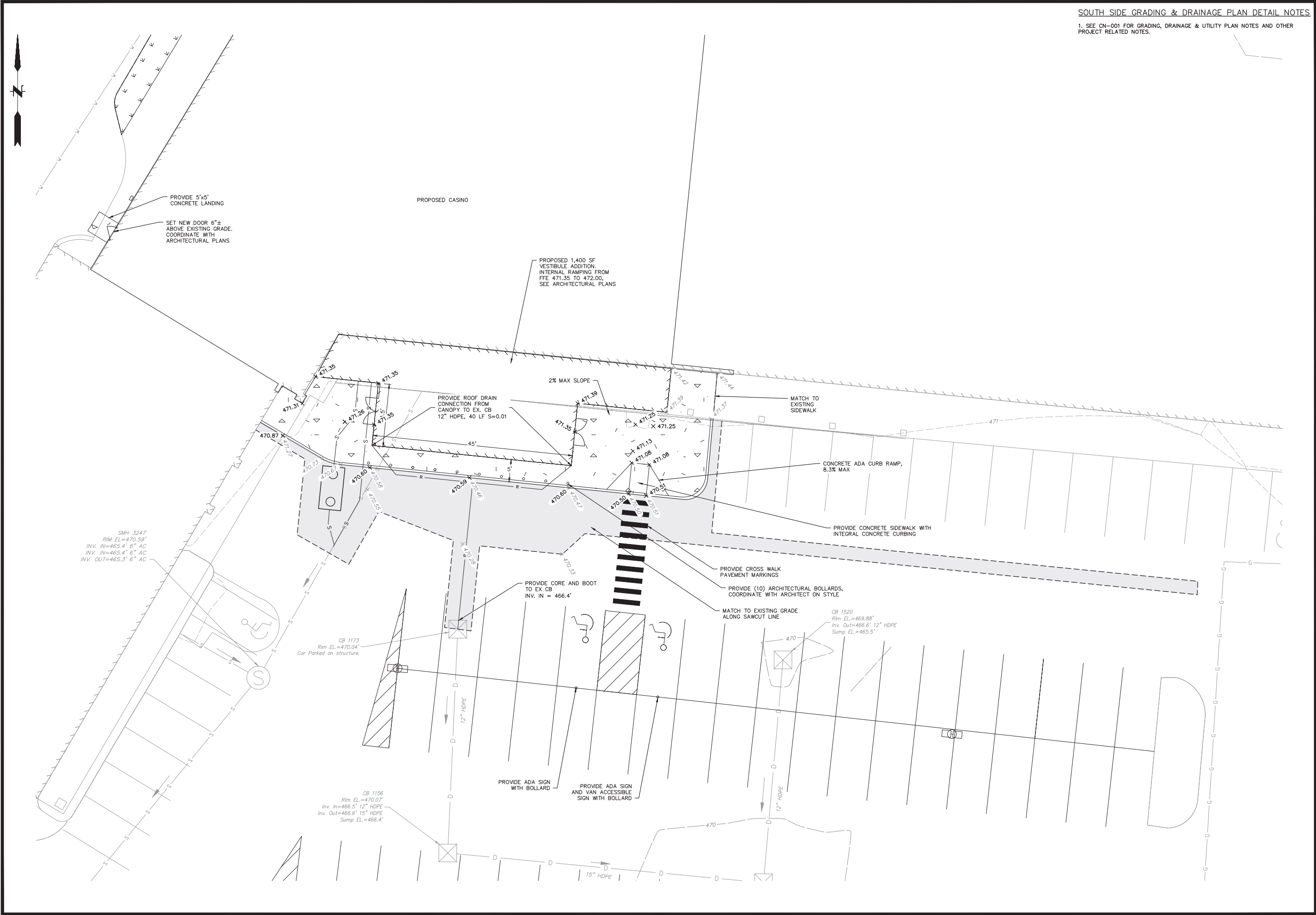
GRAPHIC SCALE

No.	DATE	REV PER KPD COMMENTS	DESCRIPTION
1	2.9.2026		

DESIGNER

REVIEWER

APS



REVISIONS		DESIGNER/REVIEWER	
No.	DATE	DESCRIPTION	DESIGNER/REVIEWER
1	2.9.2026	REV PER KPD COMMENTS	AG

AMY REBECCA SANDERS
No. 11065
LICENSED PROFESSIONAL ENGINEER - 584

SCALE: HORZ.: 1" = 10'
VERT.: -
DATUM: -
HORZ.: -
VERT.: -

GRAPHIC SCALE

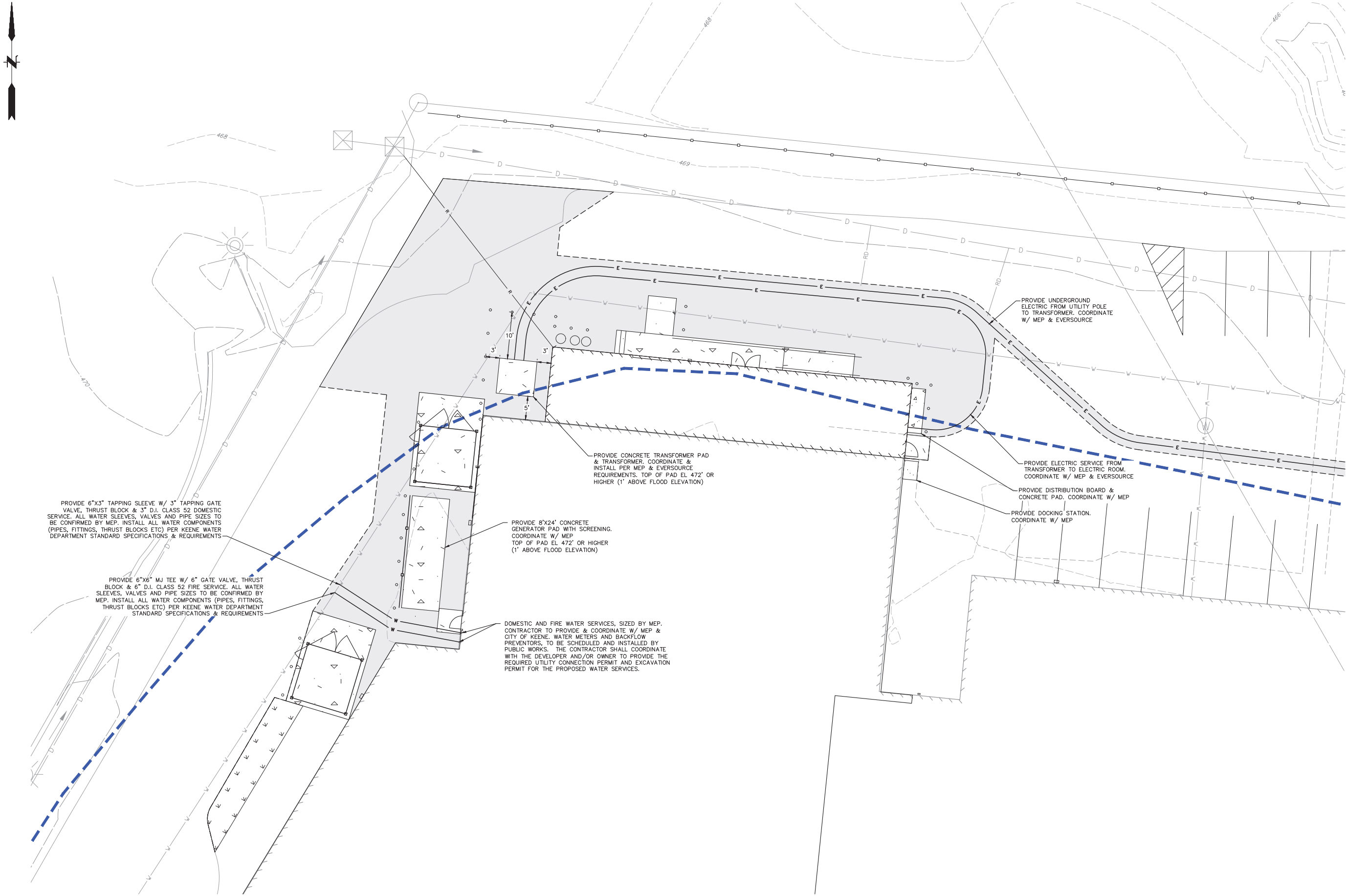
FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.688.8223
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
SOUTH SIDE GRADING & DRAINAGE DETAIL PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CG-102

50



TMP 110-022-000-000-000 KEY ROAD IMPROVEMENTS, LLC		PROJ. No.: 2500018.000 DATE: 1.14.2026	
NORTH SIDE UTILITY DETAIL PLAN		CU-101	
SITE IMPROVEMENTS NEW HAMPSHIRE		51	
FUSS & O'NEILL 50 COMMERCIAL STREET MANCHESTER, NH 03101 www.fandoc.com		AMY REBECCA SANDERS No. 11065 LICENSED PROFESSIONAL ENGINEER amy@fandoc.com	
SCALE: HORZ.: 1" = 10' VERT.: - D.A.T.U.M.: - HORZ.: - VERT.: - GRAPHIC SCALE		No. 1 2.9.2026 REV PER KPD COMMENTS DESCRIPTION DESIGNER REVIEWER	



FRONT PARKING LOT

Illuminance (Fc)
Average = 1.48
Maximum = 4.9
Minimum = 0.4
Avg/Min Ratio = 3.70
Max/Min Ratio = 12.25

SIDE AND NEAR REAR PARKING SPACES

Illuminance (Fc)
Average = 1.98
Maximum = 5.0
Minimum = 0.6
Avg/Min Ratio = 3.30
Max/Min Ratio = 8.33

PARKING AT REAR CENTER OF BUILDING

Illuminance (Fc)
Average = 1.36
Maximum = 2.8
Minimum = 0.4
Avg/Min Ratio = 3.40
Max/Min Ratio = 7.00

APPROXIMATE
PROPERTY LINE PER
REFERENCE PLAN 2

PROVIDE WALL MOUNTED
FIXTURE (TYP.)

PROVIDE LIGHT POLE
AND FIXTURE (TYP.)

PROPOSED CASINO

KEENE CINEMAS 6

LIGHTING INTENSITY
ISO-ILLUMINATION LINES
REPRESENTING 0.25, 0.5, 1.0
AND 2.0 FOOT CANDLES (TYP)

DHHS KEENE
DISTRICT OFFICE

ENTERPRIZE
COMICS, ETC.

ORIENTAL
RUGWORKS

SHERWIN-WILLIAMS
PAINT STORE

KEY ROAD


APPROXIMATE
PROPERTY LINE
PER REFERENCE
PLAN 2

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Tag
	1	S3	Single	VALS-T2L-3W-UNV-30K8-CXX-SA-ALBMR2LR-IS / 450 B3 S11G17.5 S CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE
	9	S4	Single	VALS-T2L-4F-UNV30K8-CXX-SA-ALBMR2LR-IS / 450 B3 S11G17.5 S CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE
	5	S5-N	Back-Back	VALS-06L-5QN-UNV-30K8-CXX-SA-ALBMR2LR / 450 B3 S11G17.5 D180 CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE
	4	S5-W	Back-Back	VALS-15L-5QW-UNV-30K8-CXX-SA-ALBMR2LR / 250 B3 S11G17.5 D180 CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE
	3	W	Single	WPSLS-LED-2L-UNV-DIM-30-CXX	WALL MOUNTED 15' AFG
	1	W1	Single	XWS-LED-02L-SIL-FY-UNV-DIM-30-80CRI-ALBMR1LR-CXX	WALL MOUNTED 15' AFG
	4	W2	Single	XWS-LED-02L-SIL-2-UNV-DIM-30-80CRI-ALBMR1LR-CXX	WALL MOUNTED 15' AFG
	3	W3	Single	XWS-LED-03L-SIL-3-UNV-DIM-30-80CRI-ALBMR1LR-CXX	WALL MOUNTED 15' AFG
	5	WF	Single	XWS-LED-05L-SIL-FY-UNV-DIM-30-80CRI-ALBMR1LR-CXX	WALL MOUNTED 15' AFG

LIGHTING PLAN NOTES

1. PROVIDE NEW LED DOWNCAST, DARK SKY COMPATIBLE LIGHTING FOR ENTIRE PARKING LOT
2. SEE CN-001 FOR LIGHTING PLAN NOTES AND OTHER PROJECT RELATED NOTES.
3. CASINO HOURS OF OPERATIONS ARE 8AM TO 1AM SUNDAY TO THURS AND 8AM TO 2AM FRIDAY AND SATURDAY. THIS PLAN SHOWS THE INTENDED LIGHTING DURING NORMAL OPERATING HOURS AND 1 HOUR BEFORE AND 1 HOUR AFTER NORMAL OPERATING HOURS.

DESIGNER		REVIEWER		DATE		DESCRIPTION	
1	2.9.2026	1	2.9.2026	1	2.9.2026	REV PER KPD COMMENTS	

SCALE:	
	HORIZ.: 1" = 40'
	VERT.: -
DATUM:	
	HORIZ.: -
	VERT.: -
	
GRAPHIC SCALE	

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
www.fandoo.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
LIGHTING PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CL-101



50% OUTPUT

FRONT PARKING LOT
Illuminance (Fc)
Average = 0.74
Maximum = 2.5
Minimum = 0.2
Avg/Min Ratio = 3.70
Max/Min Ratio = 12.50

SIDE AND NE REAR PARKING SPACES

Illuminance (Fc)
Average = 0.99
Maximum = 2.5
Minimum = 0.3
Avg/Min Ratio = 3.30
Max/Min Ratio = 8.33

PARKING AT REAR CENTER OF BUILDING

Illuminance (Fc)
Average = 0.69
Maximum = 1.4
Minimum = 0.2
Avg/Min Ratio = 3.45
Max/Min Ratio = 7.00



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	[MANUFAC]
	1	S3	Single	VALS-12L-3W-UNV-30K8-CXX-SA-ALBMR2LR-IS / 450 B3 S11G17.5 S CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE	LSI INDUSTRIES, INC.
	9	S4	Single	VALS-12L-4F-UNV30K8-CXX-SA-ALBMR2LR-IS / 450 B3 S11G17.5 S CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE	LSI INDUSTRIES, INC.
	5	S5-N	Back-Back	VALS-06L-5QN-UNV-30K8-CXX-SA-ALBMR2LR / 450 B3 S11G17.5 D180 CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE	LSI INDUSTRIES, INC.
	4	S5-W	Back-Back	VALS-15L-5OW-UNV-30K8-CXX-SA-ALBMR2LR / 250 B3 S11G17.5 D180 CXX AB 4BC	17FT 6IN TALL POLE MOUNTED ON 2FT 6IN TALL BASE	LSI INDUSTRIES, INC.
	3	W	Single	WPSLS-LED-2L-UNV-DIM-30-CXX	WALL MOUNTED 15' AFG	LSI INDUSTRIES, INC.
	1	W1	Single	XWS-LED-02L-SIL-FT-UNV-DIM-30-80CRI- ALBMR1LR-CXX	WALL MOUNTED 15' AFG	LSI INDUSTRIES, INC.
	4	W2	Single	XWS-LED-02L-SIL-2-UNV-DIM-30-80CRI- ALBMR1LR-CXX	WALL MOUNTED 15' AFG	LSI INDUSTRIES, INC.
	3	W3	Single	XWS-LED-03L-SIL-3-UNV-DIM-30-80CRI- ALBMR1LR-CXX	WALL MOUNTED 15' AFG	LSI INDUSTRIES, INC.
	5	WF	Single	XWS-LED-05L-SIL-FT-UNV-DIM-30-80CRI- ALBMR1LR-CXX	WALL MOUNTED 15' AFG	LSI INDUSTRIES, INC.

SECURITY LIGHTING PLAN NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE SECURITY LIGHTING LEVELS OUTSIDE OF THE 1 HOUR BEFORE AND AFTER NORMAL BUSINESS HOURS.
2. LIGHTING LEVELS HAVE GENERALLY BEEN REDUCED TO 50% OF NORMAL ILLUMINATION LEVELS.
3. THE AVERAGE FOOT CANDLES DOES NOT EXCEED 1.0.
4. SEE CN-001 FOR LIGHTING PLAN NOTES AND OTHER PROJECT RELATED NOTES.
5. CASINO HOURS OF OPERATIONS ARE 8AM TO 1AM SUNDAY TO THURS AND 8AM TO 2AM FRIDAY AND SATURDAY. THIS PLAN SHOWS THE INTENDED LIGHTING DURING NORMAL OPERATING HOURS AND 1 HOUR BEFORE AND 1 HOUR AFTER NORMAL OPERATING HOURS.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1	2.9.2026	REV PER KPD COMMENTS	JG	APS

SCALE:	HORIZ.: 1"=40'
VERT.: -	
DATUM:	
HORIZ.: -	
VERT.: -	
GRAPHIC SCALE	0 20' 40' 80'

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
www.fandoo.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
SECURITY LIGHTING PLAN
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE


PROJ. No.: 2500018.000
DATE: 1.14.2026

CL-102

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE OBTAINED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE.
8. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 PRIOR TO CONSTRUCTION.
9. ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOIL AND HYDROEDED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING BULKY OR CHANGING OBSTACLES SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND / OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, STORAGE AND PLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
18. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
<u>TREES</u>				
AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY 'AUTUMN BRILLIANCE'	4	1.5"-2" C
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	5	2.5"-3" C
QR	QUERCUS BICOLOR	SWAMP WHITE OAK	5	2.5"-3" C
NS	NYSSA SYLVATICA 'WFH1'	TUPELO TOWER BLACK GUM	4	2.5"-3" C
<u>SHRUBS</u>				
IV	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	19	5 GAL.
VA	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	13	5 GAL.
<u>PERENNIALS/GRASSES</u>				
HH	HEMEROCALLIS HYBRIDA	DAYLILY	74	1 GAL.

[illegible]

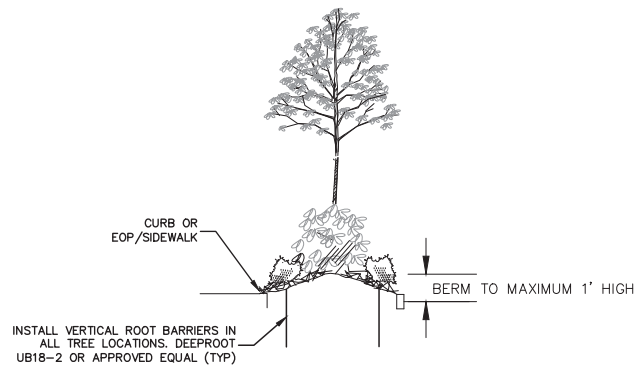
SCALE:	
HORZ.:	1" = 40'
VERT.:	-
DATUM:	
HORZ.:	-
VERT.:	-
	
GRAPHIC SCALE	

**FUSS &
O'NEILL**
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.668.8223
www.fando.com

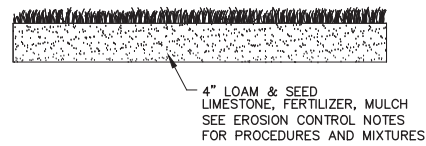
TMP 110-0222-000-000-000
 KEY ROAD IMPROVEMENTS, LLC
 LANDSCAPE PLAN
 SITE IMPROVEMENTS
 KEENE NEW HAMPSHIRE

PROJ. No.: 2500018.000
DATE: 1.14.2026
LP-101
55

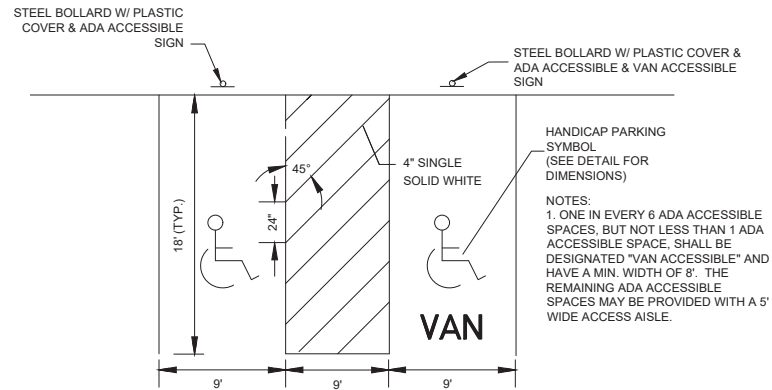
File: J:\DWG\T11on120.2500018.000\CD-501.dwg Layout: CD-501 Plotted: 2026-02-09 4:36 PM Saved: 2026-02-09 3:13 PM User: Jocalyn.Gallo
MS VIEW: LAYER STATE: PC3: NONE STB/CTB: FO STB



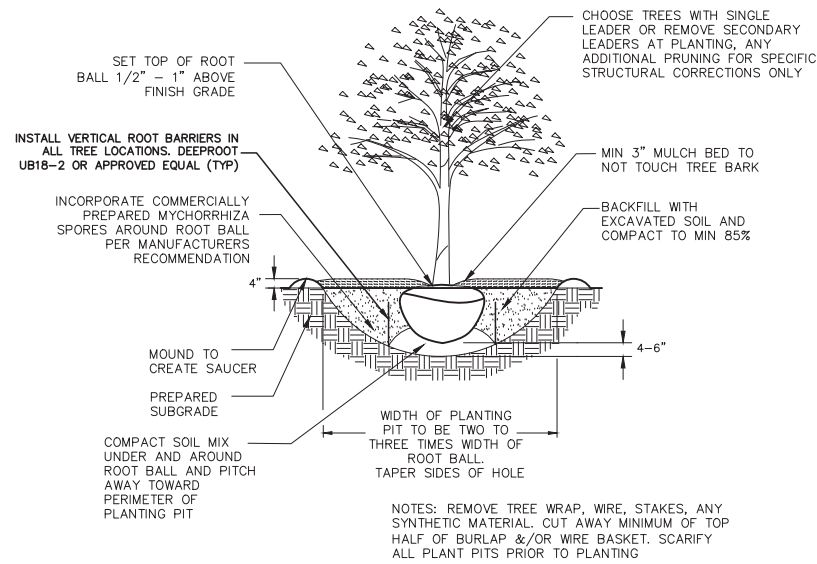
Island Planting Detail
N.T.S.



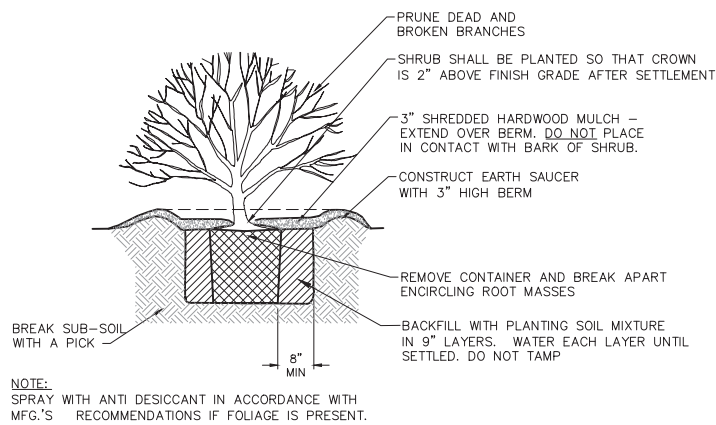
Loam & Seed Detail
N.T.S.



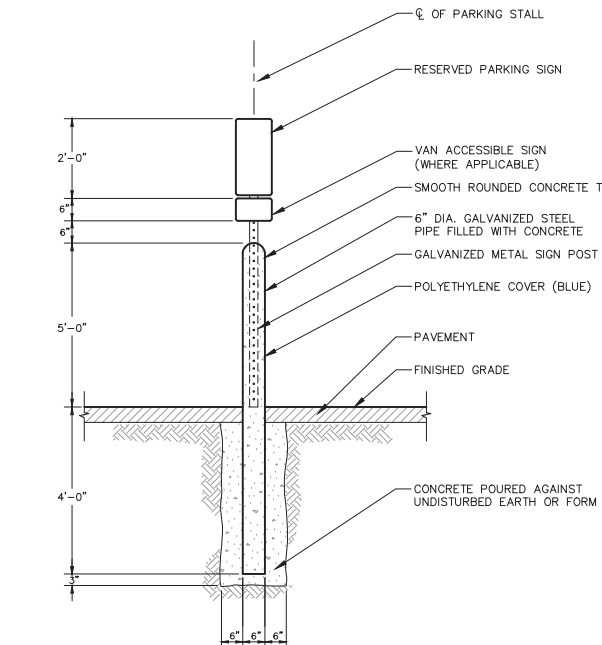
Handicap Ramp & Striping Detail (Van Accessible)
N.T.S.



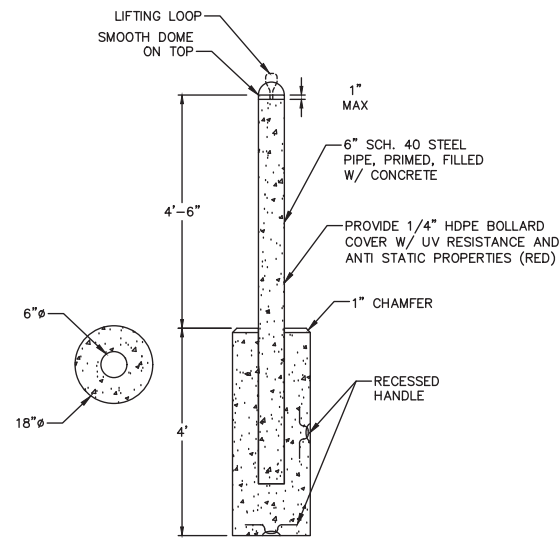
Tree Planting Detail
N.T.S.



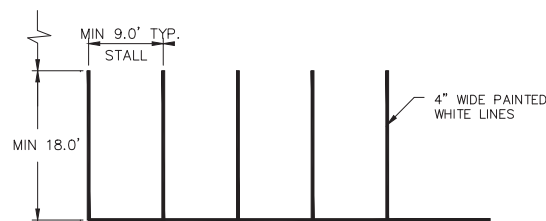
Shrub Planting Detail for Container Shrubs
N.T.S.



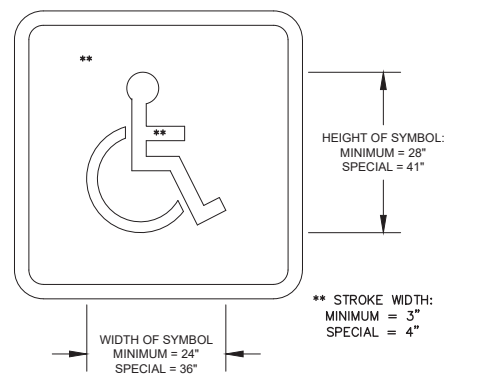
Reserved Parking ADA Sign Post
N.T.S.



Bollard Detail
N.T.S.



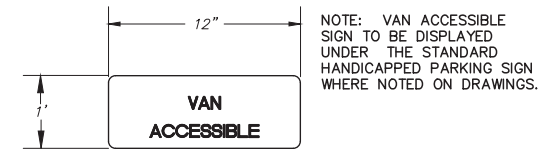
Standard Striping Detail
N.T.S.



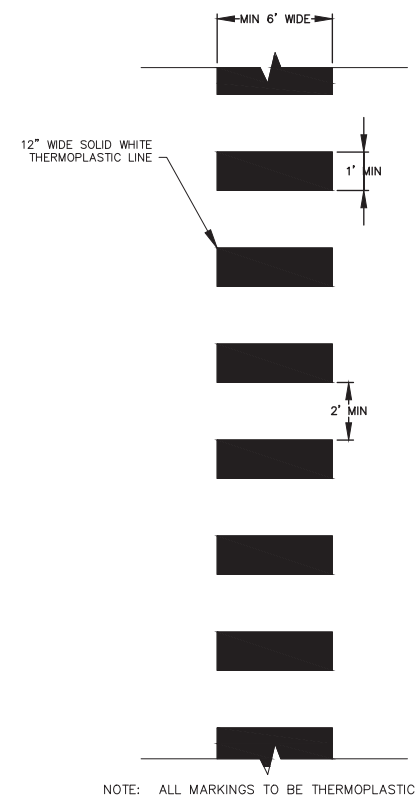
Int'l Symbol of Accessibility Marking
N.T.S.



Reserved Parking Handicap Sign
N.T.S.

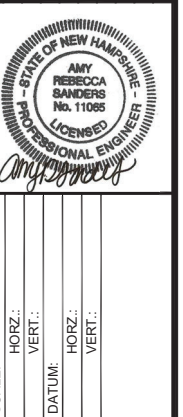


Van Accessible Sign
N.T.S.



Typical Crosswalk
N.T.S.

NO.	DATE	DESCRIPTION	DESIGNER/REVIEWER
1	2.9.2026	REV PER KPD COMMENTS	JG ARS

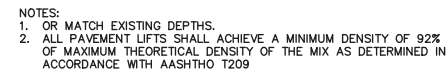


FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
LANDSCAPE, SIGN, BOLLARD &
PAVEMENT MARKING DETAILS
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

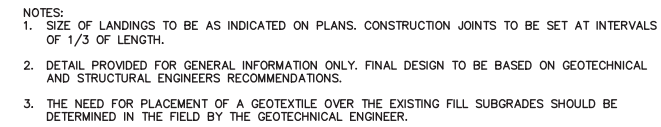
CD-501



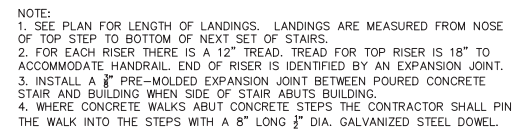
N.T.S.



N.T.S.



N.T.S.



N.T.S.

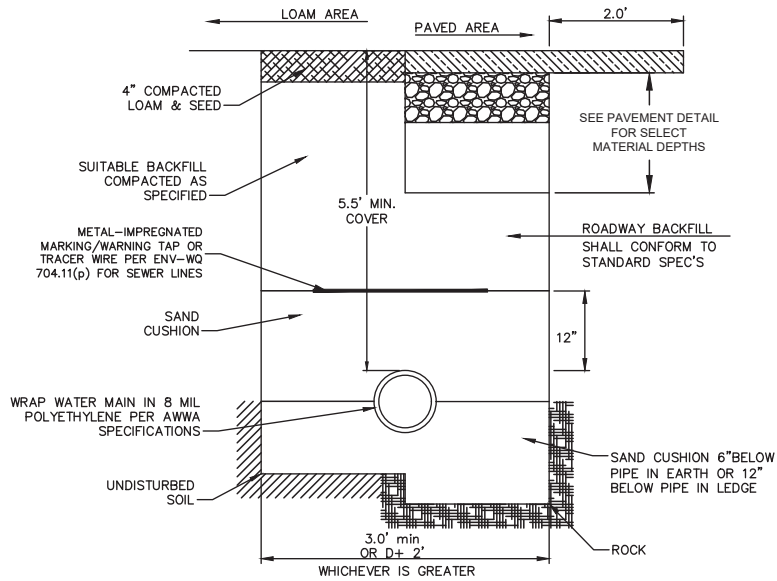


**FUSS &
O'NEILL**
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.668.8223
www.fando.com

PROJ. No.: 2500018.000
DATE: 1.14.2026

57

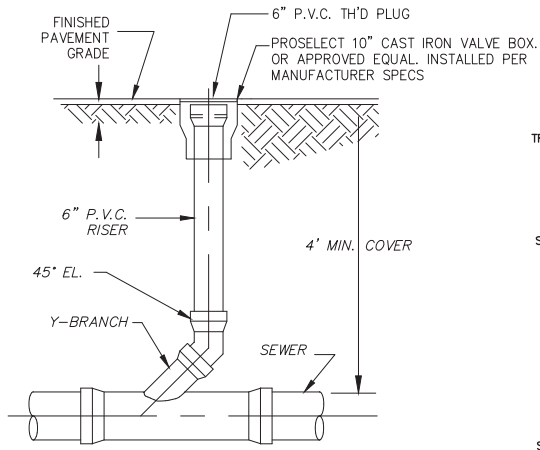
File: J:\DWG\1_V1\120.2500018.000\CD\Plan\120.2500018.000_DET01.dwg Layout: CD-503 Plotted: 2026-02-09 4:36 PM Saved: 2026-02-09 3:13 PM User: Jocalyn.Gallo
LAYER STATE: PC3: NONE ST/CTB: FO STB
MIS VIEW:



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT SHALL BE AS SPECIFIED IN PAVEMENT DETAIL.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO TOWN SPECIFICATIONS.
 3. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 4. A MINIMUM 2' CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.
 5. COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.
 6. BACKFILL MATERIAL SHALL BE COMPACTED IN NO MORE THAN 3-FOOT THICK LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3 FEET SHALL BE COMPACTED IN NOT MORE THAN 12-INCH THICK LAYERS TO THE ROAD SURFACE.

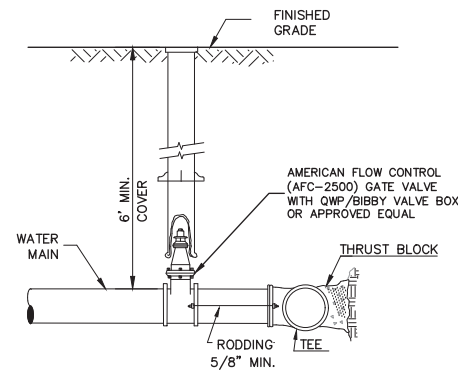
Typical Water Trench Detail

N.T.S.



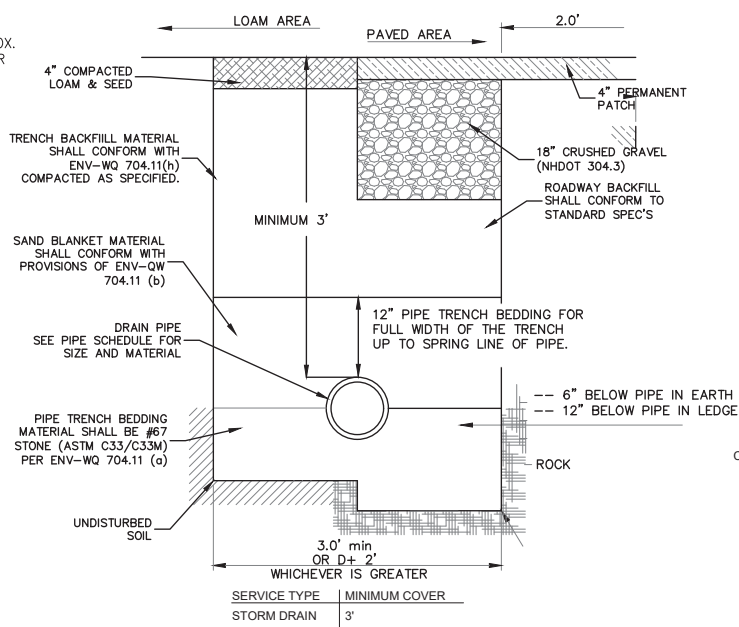
Sewer Cleanout

N.T.S.



Buried Gate Valve Detail

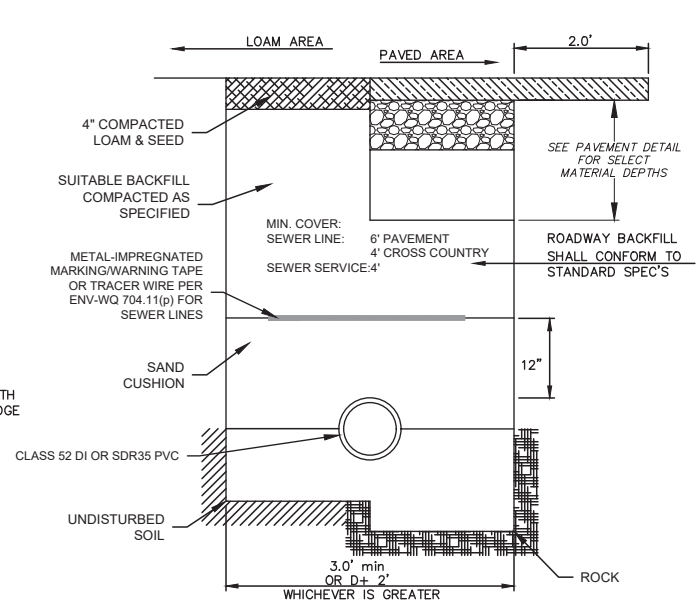
N.T.S.



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT SHALL BE AS SPECIFIED IN PAVEMENT DETAIL.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. IN LIEU OF THE 12" GRAVEL COURSE AND 6" CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 5. A MINIMUM 2' CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.
 6. ALL BACK FILL MATERIAL PLACED IN TRENCHES SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 6" IN COMPACTED THICKNESS AT NEAR OPTIMUM MOISTURE CONTENT USING PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. THE MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF AASHTO METHOD OF TEST T99, METHOD C. WATER SHALL BE UNIFORMLY APPLIED DURING COMPACTION IN THE AMOUNT NECESSARY FOR PROPER CONSOLIDATION, BUT PUDDLING WILL NOT BE ALLOWED.

Typical Drainage Detail

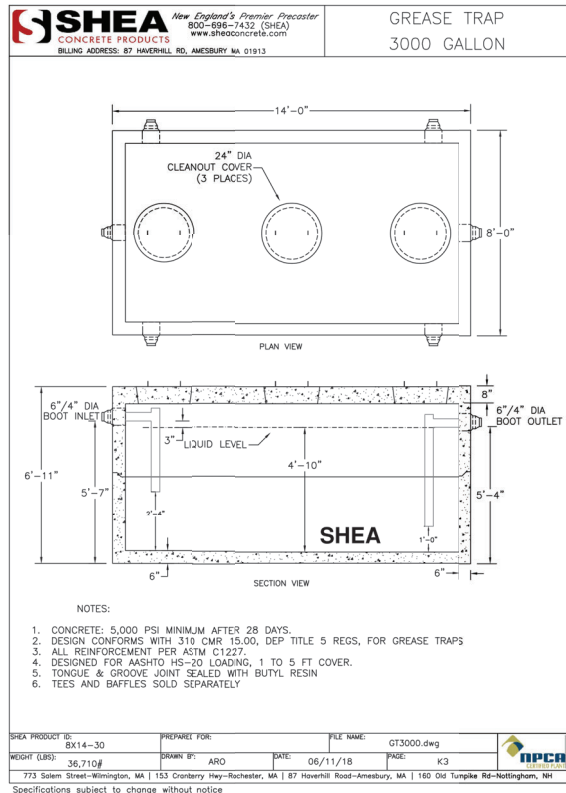
N.T.S.



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT SHALL BE AS SPECIFIED IN PAVEMENT DETAIL.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO CITY OF MANCHESTER STANDARD SPECIFICATIONS.
 3. IN LIEU OF THE 12" GRAVEL COURSE AND 6" CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 5. A MINIMUM 2' CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.
 6. COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.
 7. BACKFILL MATERIAL SHALL BE COMPACTED IN NO MORE THAN 3-FOOT THICK LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3 FEET SHALL BE COMPACTED IN NOT MORE THAN 12-INCH THICK LAYERS TO THE ROAD SURFACE.
 8. TRENCHES FOR SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF ENV-WQ 704.11. PIPE TRENCH BEDDING MATERIAL SHALL BE #67 STONE (ASTM C33/C33M) PER ENV-WQ 704.11(a). SAND BLANKET MATERIAL SHALL CONFORM WITH PROVISIONS OF ENV-WQ 704.11(b). TRENCH BACKFILL MATERIAL SHALL CONFORM WITH ENV-WQ 704.11(h).
 9. GRAVITY SEWER CONSTRUCTION MATERIALS SHALL MEET THE REQUIREMENTS OF ENV WQ. 704.05. PVC PIPE SHALL CONFORM WITH ASTM D3034 AND ASTM D2412 AND PVC JOINTS SEALS SHALL CONFORM WITH ASTM D3212.

Typical Sewer Trench Detail

N.T.S.



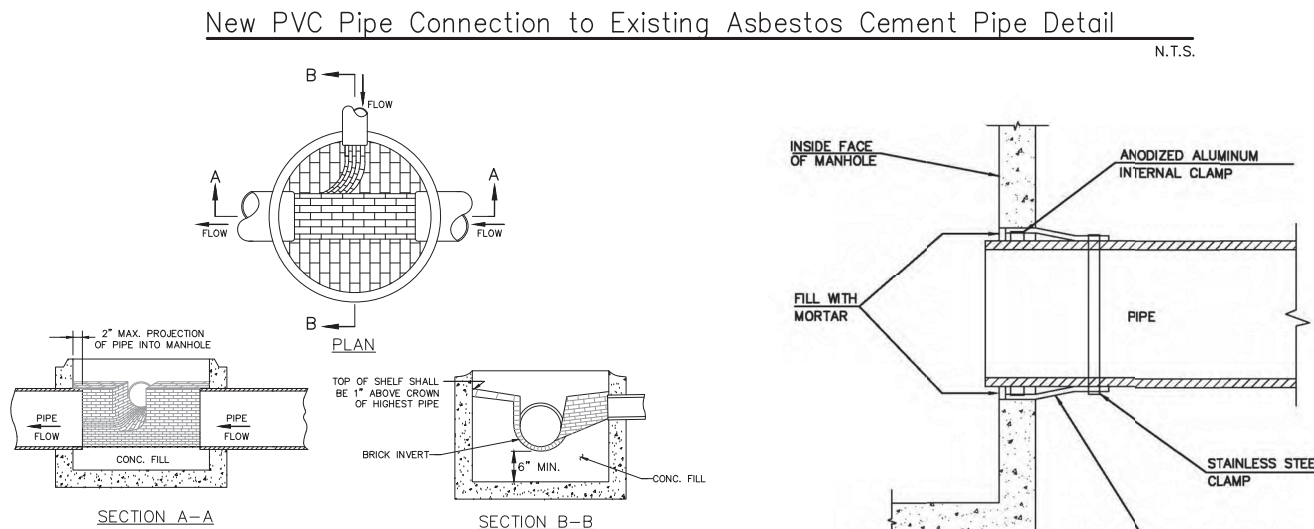
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR GREASE TRAPS
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
 6. TEES AND BAFFLES SOLD SEPARATELY

SHEA PRODUCT NO.	REVISION	DATE	FILE NAME
RE14-30	06/11/18	06/11/18	GT3000.dwg
WEIGHT (LBS)	36,710#	DRAWN BY: ARO	PAGE: K3
773 Salem Street-Wilmington, MA 153 Cranberry Hwy-Rochester, MA 87 Haverhill Road-Amesbury, MA 180 Old Turnpike Rd-Nottingham, NH			

Specifications subject to change without notice

Grease Trap
OR APPROVED EQUAL

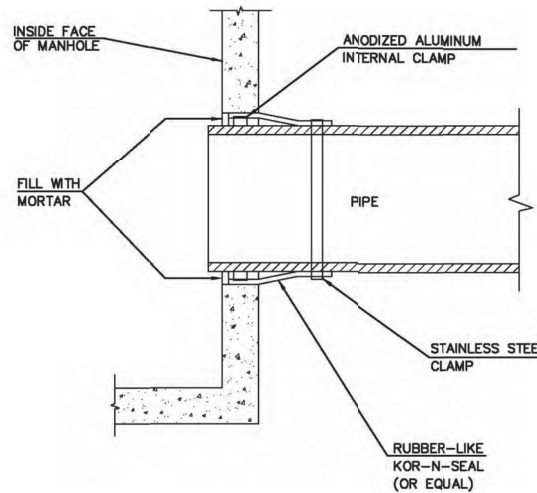
N.T.S.



- NOTES:
1. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARDS THE FLOW THROUGH THE CHANNEL.
 2. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 3. INVERT BRICKS SHALL BE LAID ON EDGE
 4. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.
 5. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.

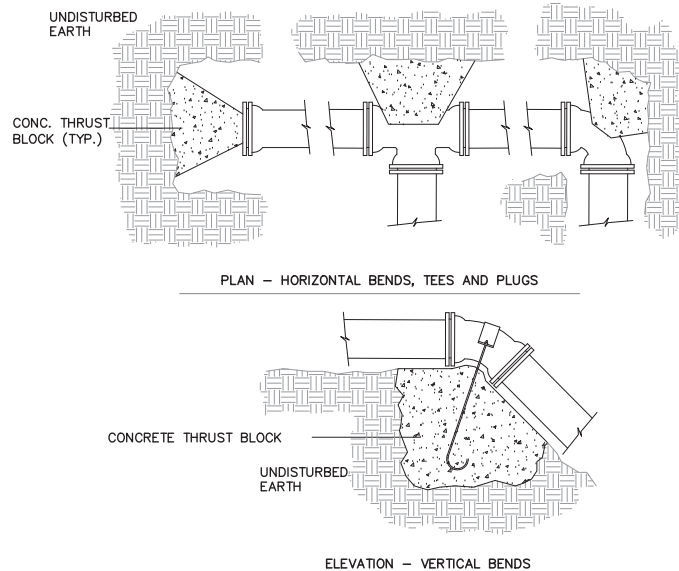
Sewer Manhole Brick Shelf and Invert Detail

N.T.S.



Manhole Joint Sleeve (Boot)

N.T.S.

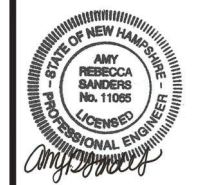


- NOTES:
1. THRUST BLOCK DIMENSIONS TO BE DETERMINED IN FIELD BY ENGINEER BASED ON PIPE SIZE, WATER PRESSURE AND SOIL TYPE.
 2. STONE BACKING MAY BE SUBSTITUTED FOR CONCRETE THRUST BLOCKS PROVIDED THE STONE(S) ARE OF EQUAL SIZE AND BEAR ON UNDISTURBED EARTH.
 3. USE OF JOINT RESTRAINT SYSTEMS SHALL NOT ELIMINATE THRUST BLOCK REQUIREMENTS (WHERE POSSIBLE).

Typical Thrust Blocks

N.T.S.

DATE	2.9.2026	REV PER KPD COMMENTS	1	NO.	DATE	DESIGNER	REVIEWER
DATE	2.9.2026	REV PER KPD COMMENTS	1	NO.	DATE	DESIGNER	REVIEWER



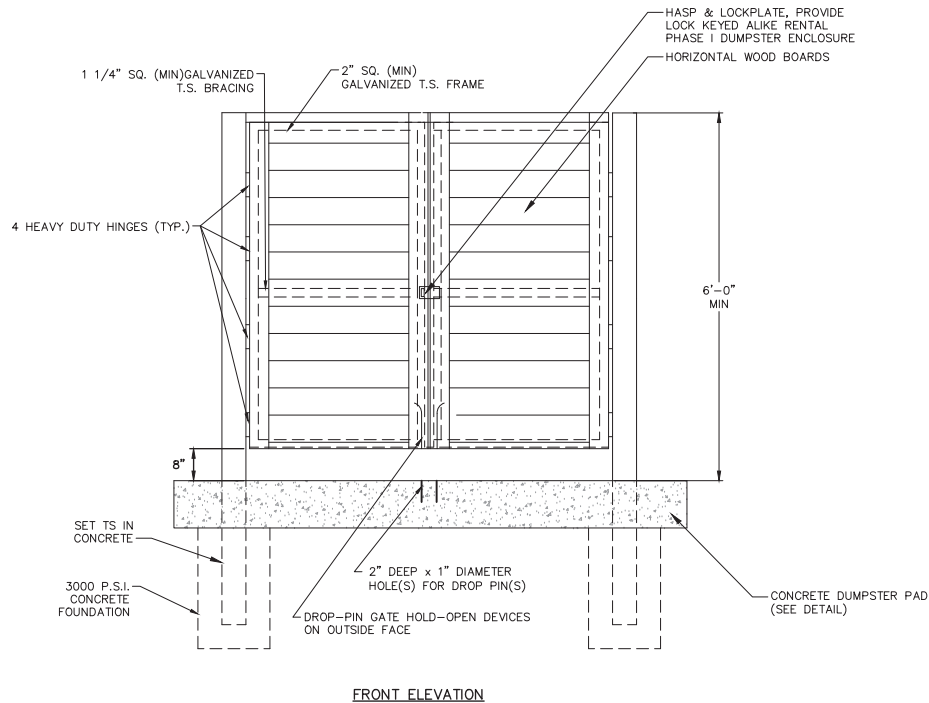
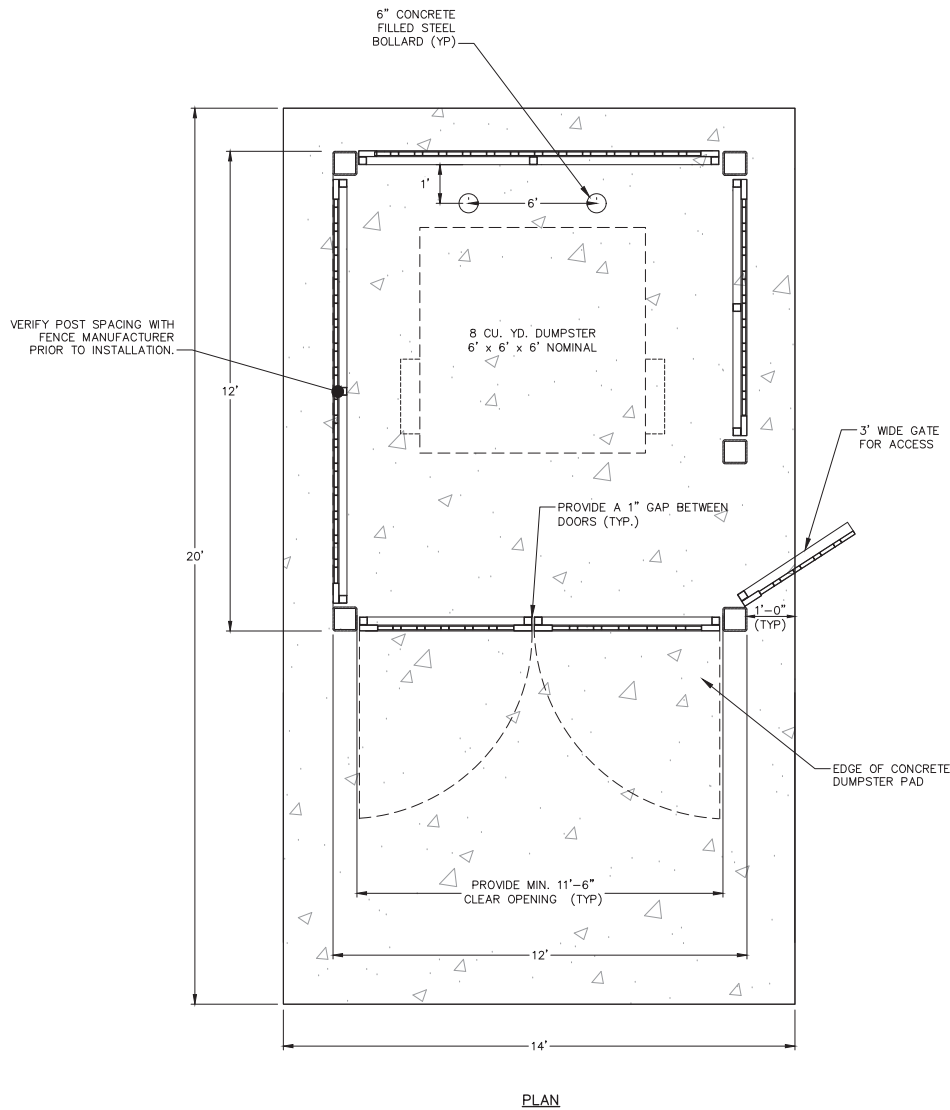
SCALE:	HORIZ.:	VERT.:	HORIZ.:	VERT.:
DATE:	DATE:	DATE:	DATE:	DATE:

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
603.688.8223
www.fandco.com

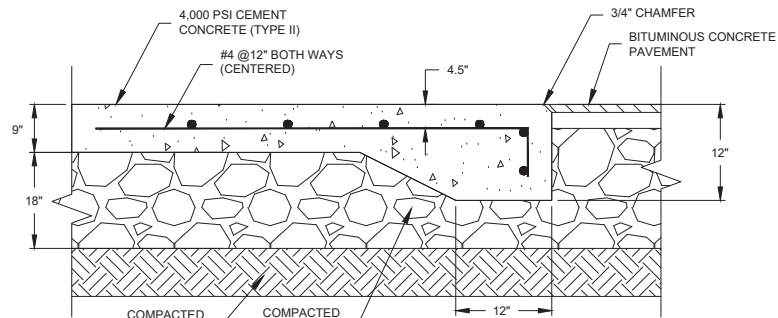
TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
DRAINAGE & UTILITY DETAILS
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CD-503

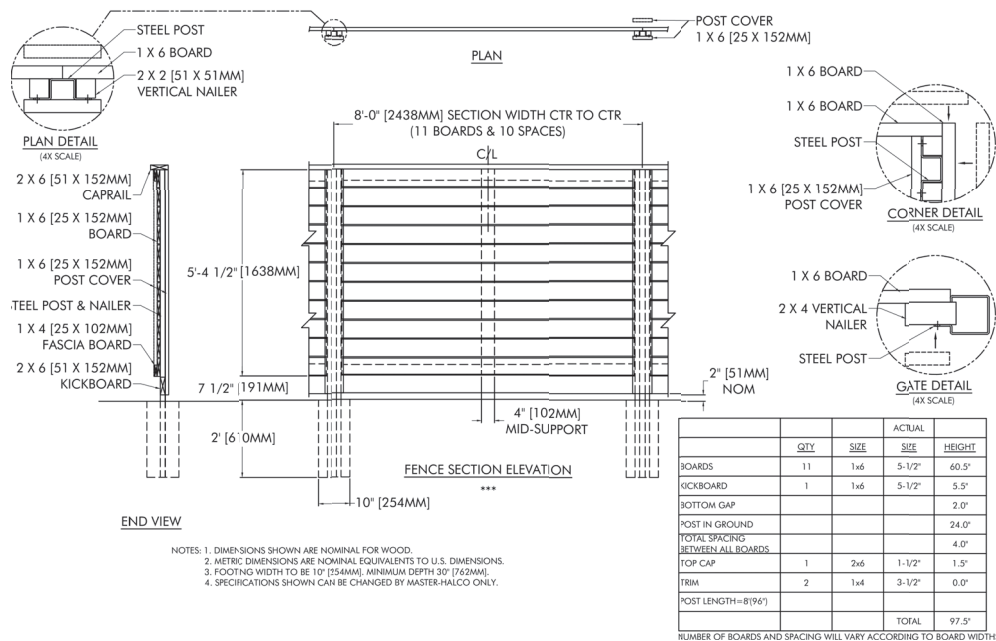


Dumpster Enclosure Detail
N.T.S.



- NOTES:
1. SIZE OF DUMPSTER OR DRIVE THROUGH PAD TO BE AS INDICATED ON PLANS. CONSTRUCTION JOINTS TO BE SET AT INTERVALS OF 1/3 OF LENGTH.
 2. DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. FINAL DESIGN TO BE BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
 3. THE NEED FOR PLACEMENT OF A GEOTEXTILE OVER THE EXISTING FILL SUBGRADES SHOULD BE DETERMINED IN THE FIELD BY THE GEOTECHNICAL ENGINEER.

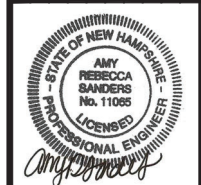
Dumpster Pad
N.T.S.



DUMPSTER ENCLOSURE NOTES

1. AT A MINIMUM, THE DUMPSTER ENCLOSURE MUST BE 6'-FEET IN HEIGHT AND MEET THE MINIMUM REQUIREMENTS OF THE CITY OF KEENE.
2. CHAIN LINK FENCE WITH SLATS IS NOT ALLOWED.
3. THE FENCE AND GATES MUST BE INSTALL PER THE MANUFACTURE'S RECOMMENDATIONS.
4. THE OWNER OR ARCHITECT MAY USE ALTERNATE MATERIALS SUCH AS VINYL, OR WOOD COMPOSIT AND MAY ALTER THE BOARD ORIENTATION.
5. COORDINATE WITH ARCHITECT OR OWNER ON BOARD PAINT OR STAIN COLOR, OR ALLOW TO NATURALIZE.
6. FENCE TO BE PROVIDED BY MASTER HALCO OR APPROVED EQUAL.

NO.	DATE	REV PER KPD COMMENTS	DESCRIPTION
1	2.9.2026		



SCALE:	HORZ.:	VERT.:
DATUM:	HORZ.:	VERT.:

FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NH 03101
www.fandco.com

TMP 110-022-000-000-000
KEY ROAD IMPROVEMENTS, LLC
DUMPSTER & FENCE DETAILS
SITE IMPROVEMENTS
NEW HAMPSHIRE
KEENE

PROJ. No.: 2500018.000
DATE: 1.14.2026

CD-505



1 EXTERIOR AERIAL RENDERING
A30.00 NOT TO SCALE



2 EXTERIOR ENTRY RENDERING 1
A30.00 NOT TO SCALE



3 EXTERIOR ENTRY RENDERING 2
A30.00 NOT TO SCALE

NOTE: IMAGES SHOWN ARE FOR
REFERENCE ONLY; NOT FOR CONSTRUCTION



R2Architects, LLC

110 Kresson-Gibbsboro Road
Suite 8
Voorhees, New Jersey 08043
voice: 856 566 1515
fax: 856 566 0930
web: www.R2Architects.com

PROJ.#: 25972.01
THESE DRAWINGS ARE BASED ON
AVAILABLE DOCUMENTS AND GENERAL FIELD
SURVEY OF THE BUILDING.

RELIANCE ON THESE DOCUMENTS IS LIMITED TO
THE GENERAL LAYOUT, DESIGN CONCEPT
AND SCOPE OF WORK.

CONTRACTOR(S) SUBMITTING BIDS MUST
CERTIFY, THROUGH PRIOR FIELD
INVESTIGATION AND SURVEY OF EXISTING
CONDITIONS AND DIMENSIONS, THAT HIS
BID INCLUDES ALL WORK REQUIRED AND
REFLECTS ACTUAL CONDITIONS OF THE
BUILDING.

ALL DIMENSIONS MUST BE VERIFIED BY
CONTRACTOR AND THE ARCHITECT
NOTIFIED OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE CONSTRUCTION. DO
NOT SCALE DRAWINGS.

© R2ARCHITECTS, LLC

PROJECT TITLE



NEW HAMPSHIRE GROUP
REVO CASINO
KEENE

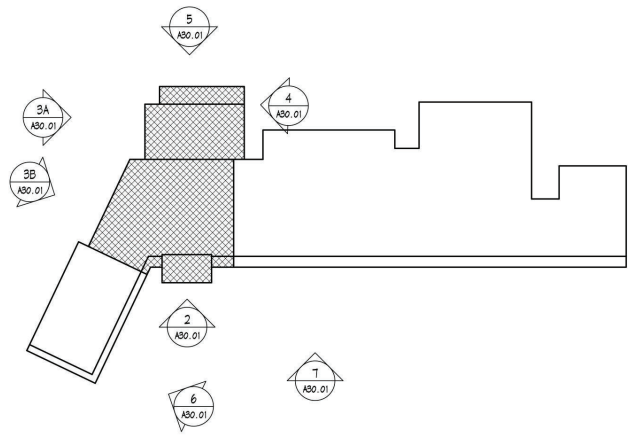
133 KEY ROAD
KEENE
NEW HAMPSHIRE 03431

DRAWING TITLE

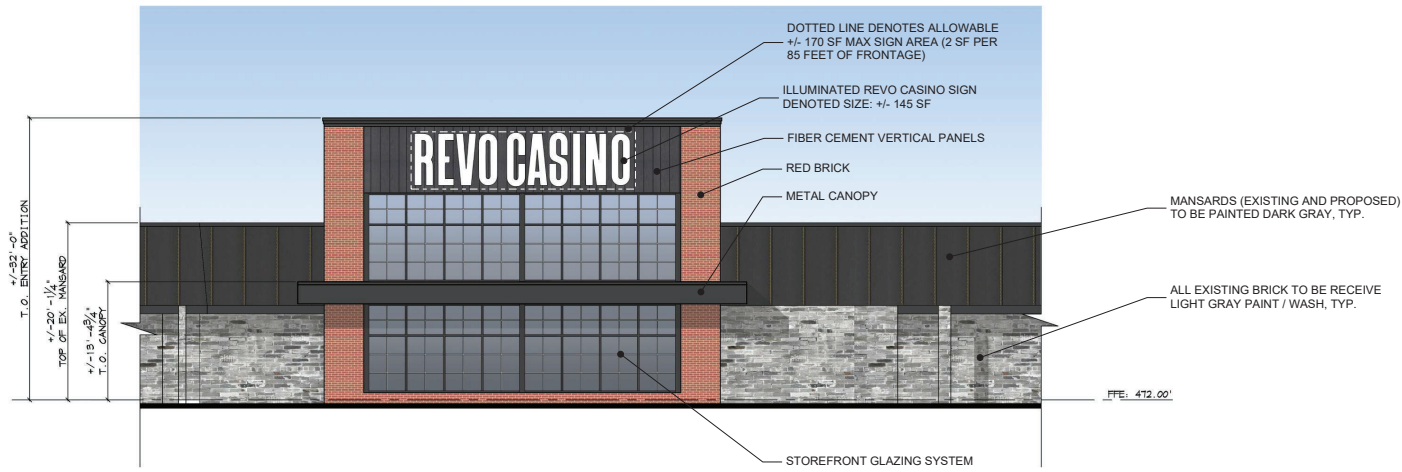
EXTERIOR
RENDERINGS

SCALE	AS NOTED	
DRAWN	MP	
CHECKED	RY	
APPROVED	DJR / JPR	
SUBMISSIONS / REVISIONS		
SYM.	DATE	DESCRIPTION
	01/30/2026	50% CD ISSUANCE

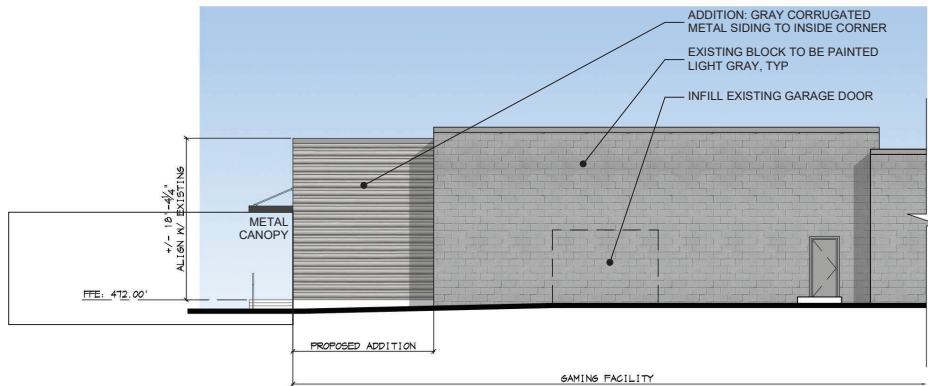
A30.00



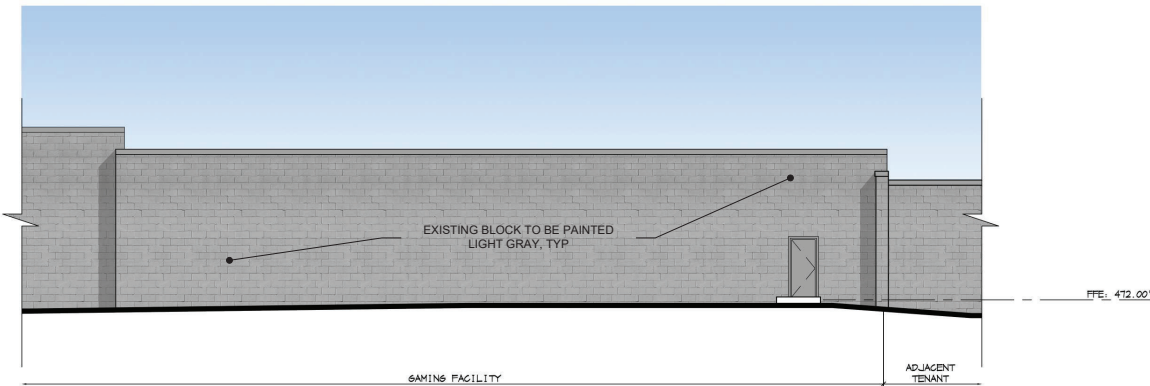
1 EXTERIOR ELEVATION KEY PLAN
1/64" = 1'-0"



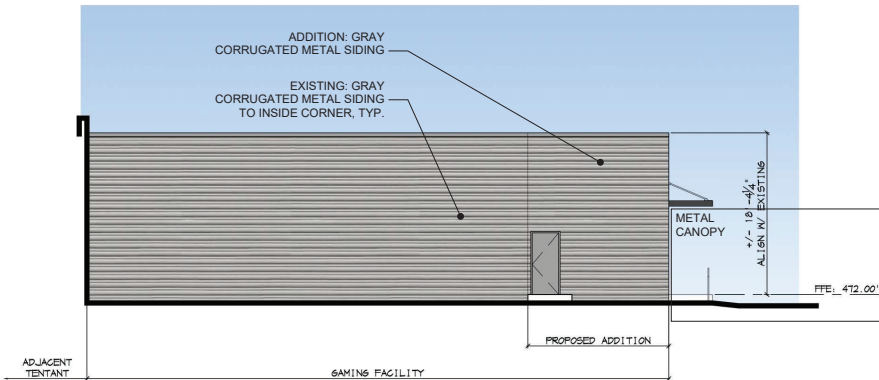
2 FRONT (SOUTH) ELEVATION - PROPOSED
1/8" = 1'-0"



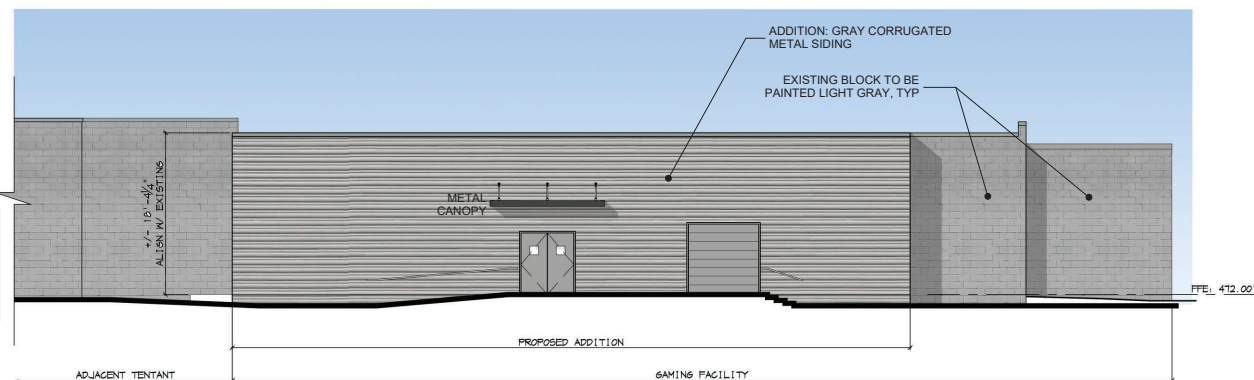
3A SIDE (WEST) ELEVATION - PROPOSED
1/8" = 1'-0"



3B SIDE (WEST) ELEVATION - PROPOSED
1/8" = 1'-0"



4 SIDE (EAST) ELEVATION - PROPOSED
1/8" = 1'-0"



5 REAR (NORTH) ELEVATION - PROPOSED
1/8" = 1'-0"



6 OVERALL FRONT (EAST) ELEVATION - PROPOSED
1/16" = 1'-0"



7 OVERALL FRONT (SOUTH) ELEVATION - PROPOSED
1/16" = 1'-0"



R2Architects, LLC

110 Kresson-Gibbsboro Road
Suite 8
Voorhees, New Jersey 08043
voice: 856 566 1515
fax: 856 566 0930
web: www.R2Architects.com

PROJ.#: 25972.01
THESE DRAWINGS ARE BASED ON AVAILABLE DOCUMENTS AND GENERAL FIELD SURVEY OF THE BUILDING.
RELIANCE ON THESE DOCUMENTS IS LIMITED TO THE GENERAL LAYOUT, DESIGN CONCEPT AND SCOPE OF WORK.
CONTRACTOR(S) SUBMITTING BIDS MUST CERTIFY, THROUGH PRIOR FIELD INVESTIGATION AND SURVEY OF EXISTING CONDITIONS AND DIMENSIONS, THAT HIS BID INCLUDES ALL WORK REQUIRED AND REFLECTS ACTUAL CONDITIONS OF THE BUILDING.
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND THE ARCHITECT NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE CONSTRUCTION. DO NOT SCALE DRAWINGS.
© R2ARCHITECTS, LLC

PROJECT TITLE



NEW HAMPSHIRE GROUP
REVO CASINO
KEENE

133 KEY ROAD
KEENE
NEW HAMPSHIRE 03431

DRAWING TITLE

PROPOSED
EXTERIOR
ELEVATIONS

SCALE		AS NOTED
DRAWN	HP	
CHECKED	RY	
APPROVED	PLR / JPR	
SUBMISSIONS / REVISIONS		
SIM.	DATE	DESCRIPTION
01/30/2026	S01R CD	ISSUANCE

A30.01